

# STORM WATER SEWER IMPROVEMENTS to serve RIDGE PORT NORTH 2ND ADDITION

CITY OF WICHITA, KANSAS

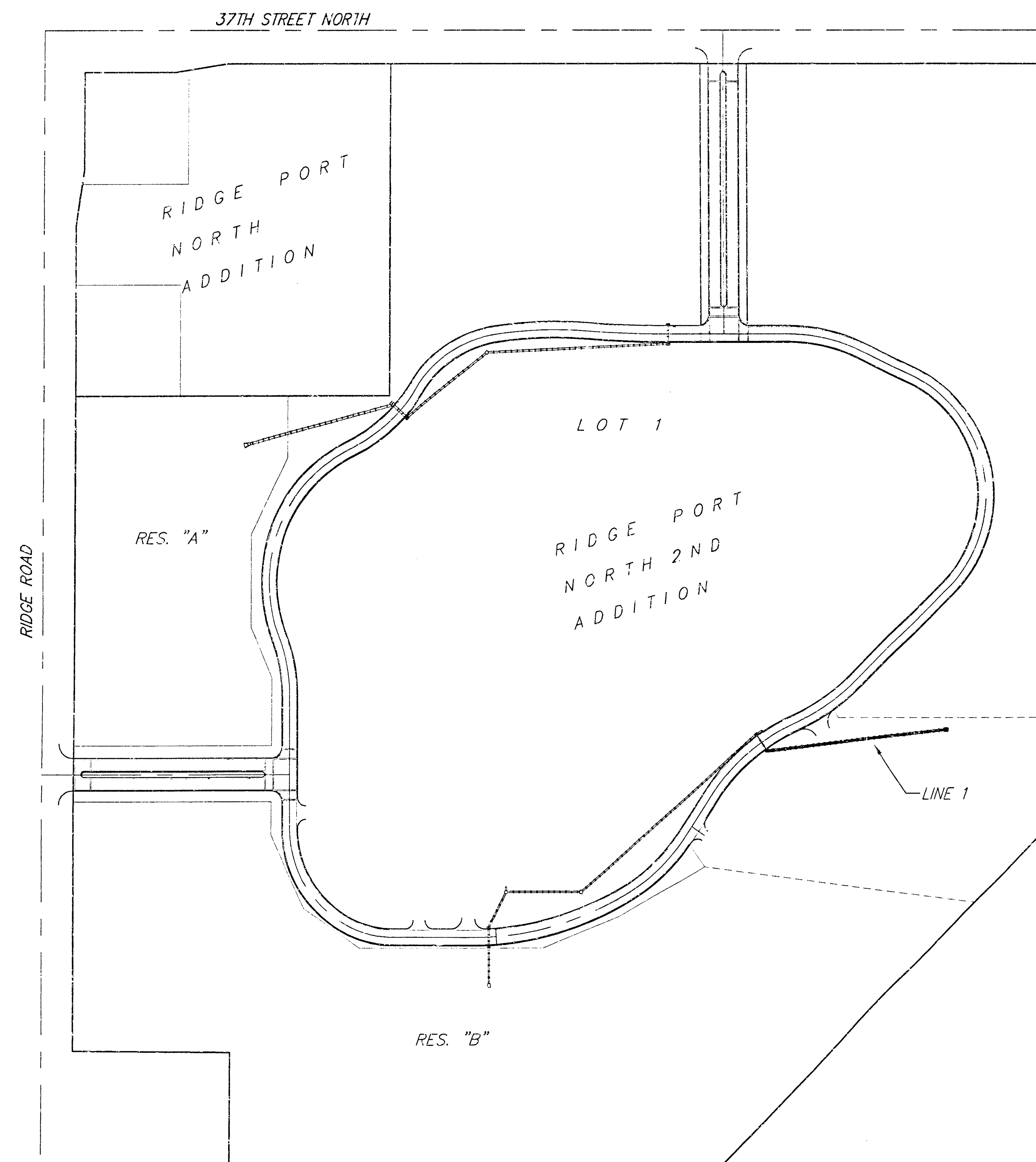
Michael E. Lindebak, P.E. City Engineer

Private Project Number

1104 PPS (607861)

## GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
Cox Communications, Inc. 262-0661  
K.G.E. Electric Service 383-8550  
Kansas Gas Service 383-8600  
Peoples Gas Company 942-8350  
Southwestern Bell Telephone Company 1-571-2611  
City of Wichita Water Dept. 269-4008  
City of Wichita Traffic Engineering 269-4446
- Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days advance notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- When connecting to existing Inlet or stub, the contractor shall reshape Inlet bottom or adjust the existing stub's alignment or elevation as necessary. Cost shall be subsidiary to project.
- Contractor shall grade around exposed manholes & inlets at a 1:1 slope. Manholes & inlets set lower than existing grade shall have 9" berm constructed around manhole or inlet to prevent infiltration into storm sewer system. Cost of dirt, labor, equipment, etc. to be incidental to cost of manhole or inlet.
- The Contractor shall not start work on the project until the Project Inspector is assigned to the project and is present on the sight. Any work done without inspection will be required to be uncovered for inspection.
- The Contractor Shall Hand Form 9" Apron Around Drop Inlet With Coordination With the Proposed Curb.
- The Contractor Shall Contact Baughman Company Prior To Construction For Staking Services.



Scale: 1" = 150'

APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA

Storm Sewers IRH 4/12/01

## NOTE TO CONTRACTORS

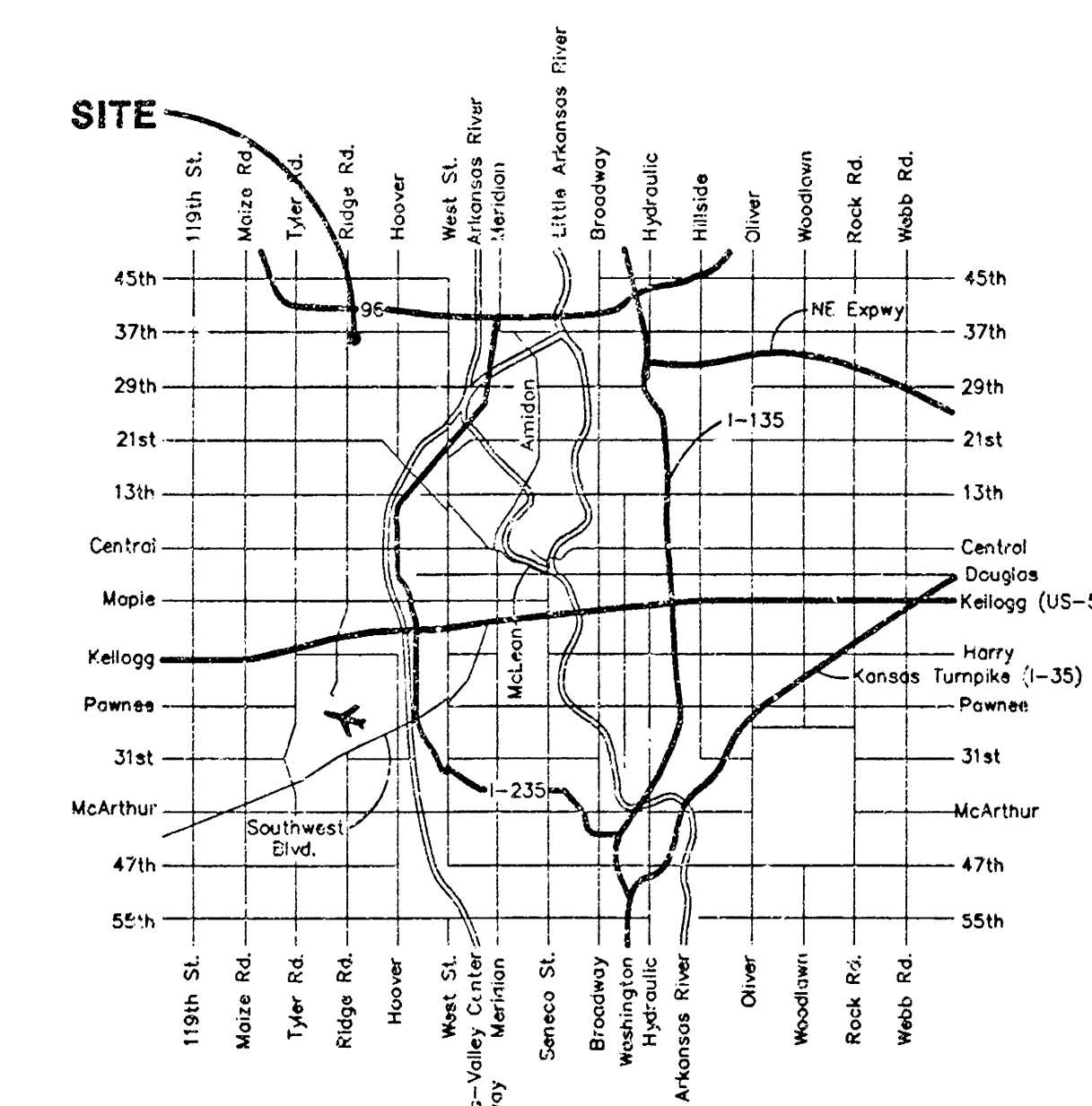
Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

## Sheet Index

|                        |   |
|------------------------|---|
| Title Sheet            | 1 |
| Line 1                 | 2 |
| Std. Drop Inlet Detail | 3 |
| Copy of Plat           | 4 |

## Benchmark

City Disk - SW corner of  
Ridge Road & 29th St. N.,  
80.8' S & 63.7' W of C  
both.  
Elev. = 139.15 (City Datum)



Vicinity Map

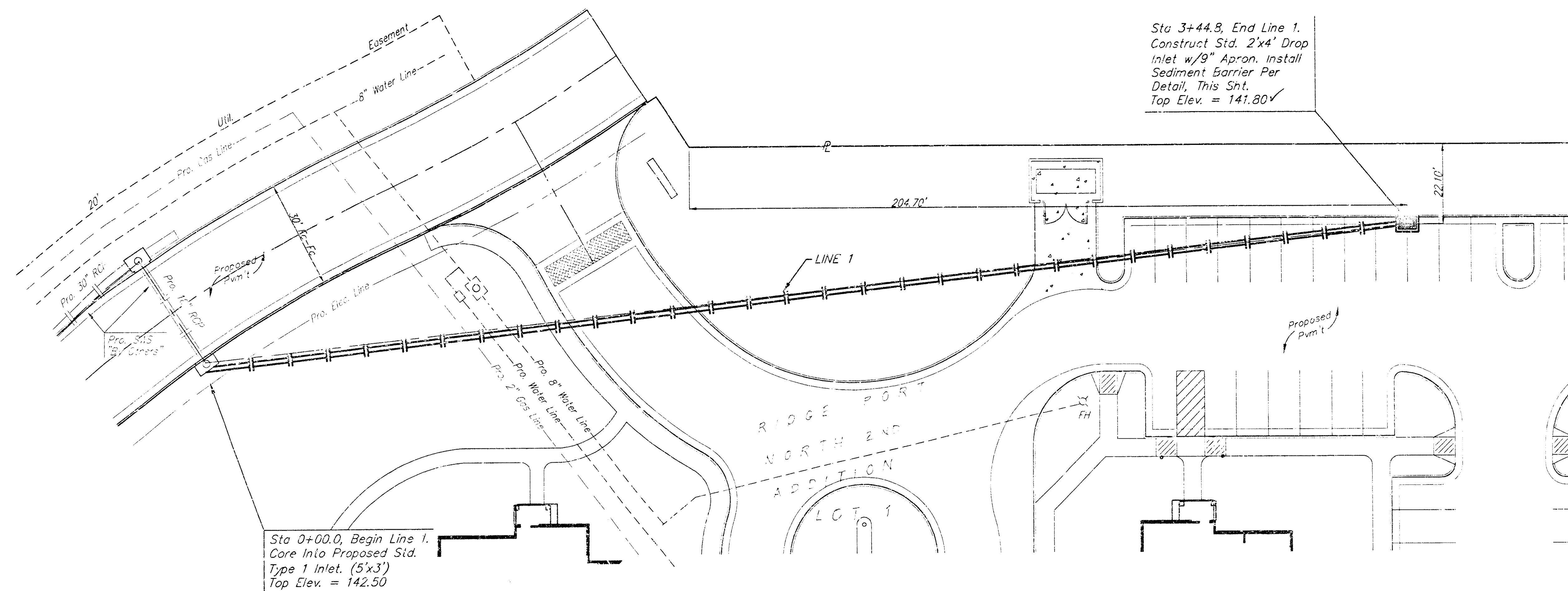
As Built - 9/01 KK



04/11/2001

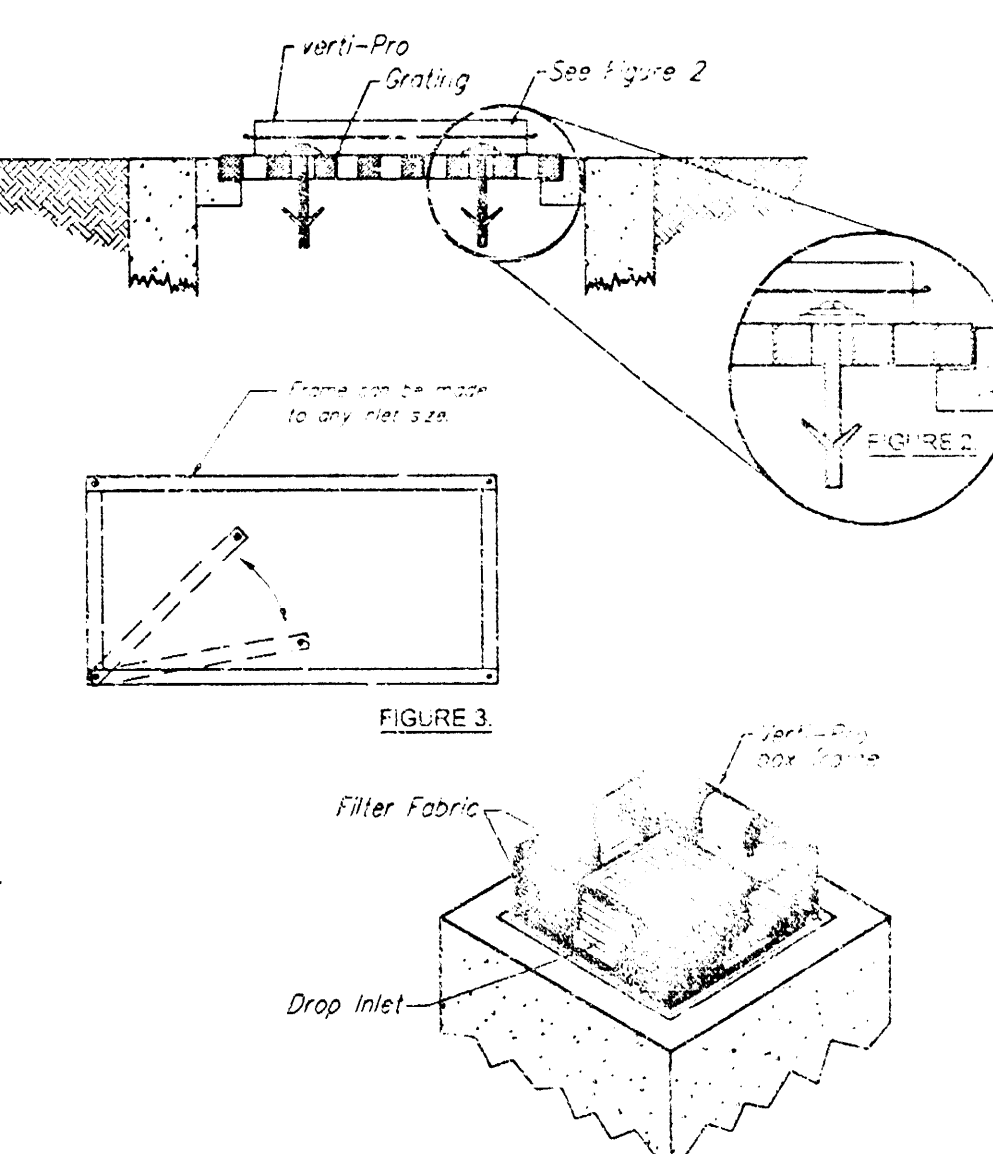
**BAUGHMAN COMPANY P.A.**  
ENGINEERING, SURVEYING, & PLANNING  
18-05 20-12

**BENCHMARK:**  
 □ On the Northside Inlet Top (In The Existing Street) Southeast of the Diagnostic Imaging Building Service Drive Area.  
 Elev. = 142.35 "City Datum"

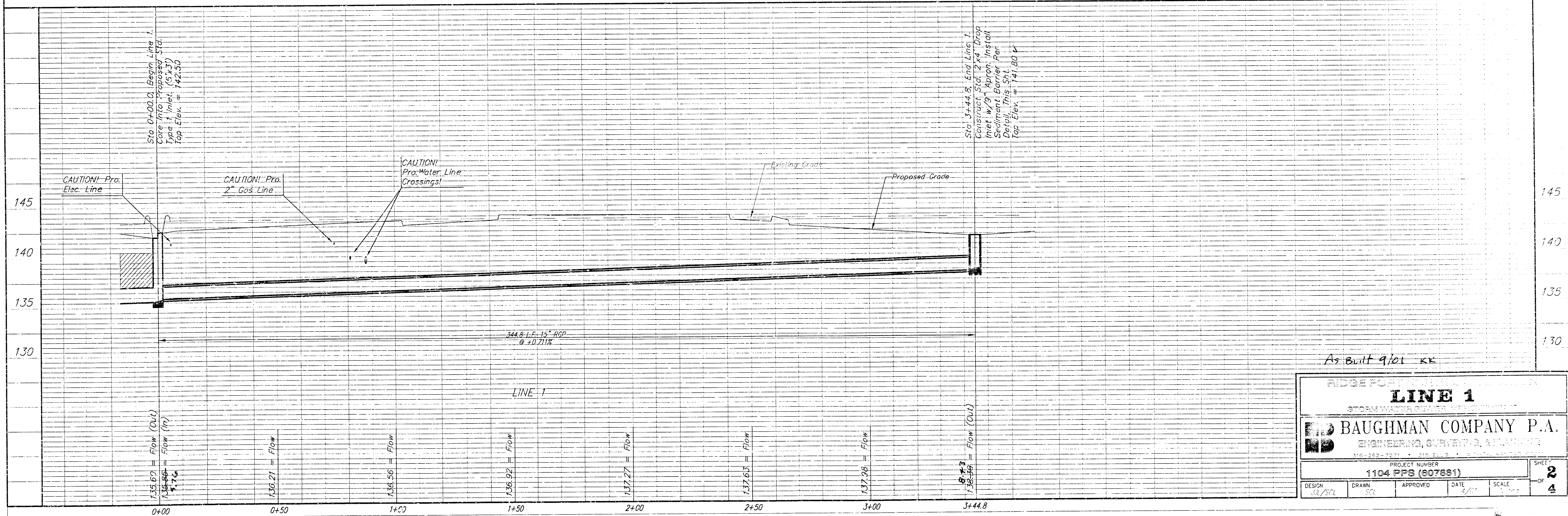


SCALE:  
 1" = 20' HORIZONTAL  
 1" = 5' VERTICAL  
 • = IRON

**NOTES:**  
 Surface of grate must be clean and free of dirt and debris.  
 Position Verti-Pro squarely as the inlet grate.  
 Initial toggle ball assembly (See Figure 2), the hold down plate must contact both the lower frame flange and grate. The toggle ball must engage two bars of grate. Repeat on opposite sides.  
 The Verti-Pro has four (4) legs that unfold just like a card table (See Figure 3). Release legs to upright position on diagonal corners. They will support the upper framework on the Verti-Pro.  
 Align holes in each leg with the two (2) holes in upper frame. Insert a plastic retainer (or equal) in each of the holes from the outside in.  
**MAINTENANCE:**  
 Inspect after each rain event. Remove debris and captured sediment when debris is rough 7" or 1/2 the height of the Verti-Pro. Remove captured debris from the filter fabric with a stiff bristle brush. (Frames are reusable and easy to install).  
**ORDERING:**  
 ALPINE STORMWATER MANAGEMENT COMPANY  
 4127 Stonemay, Suite B  
 Stone City, Ohio 43083  
 Phone: 614-539-8240, Don Strawser, Sr., President

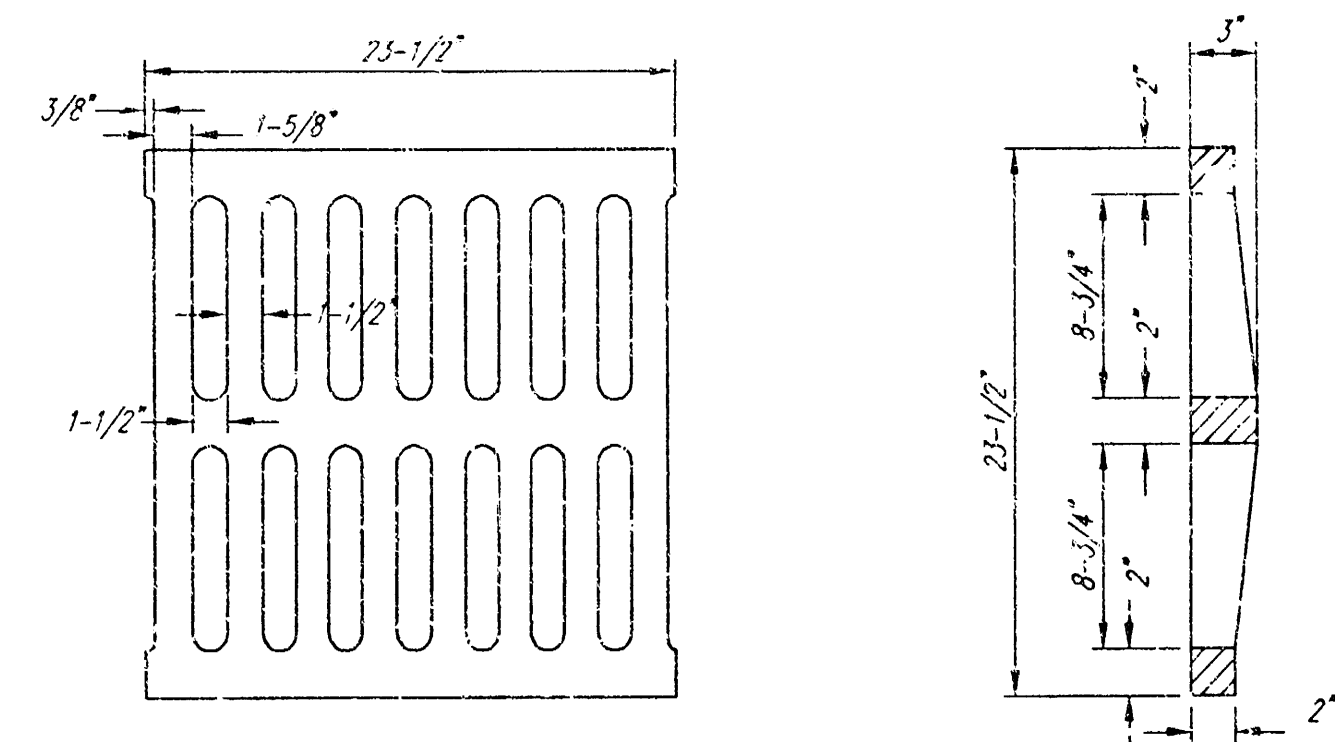
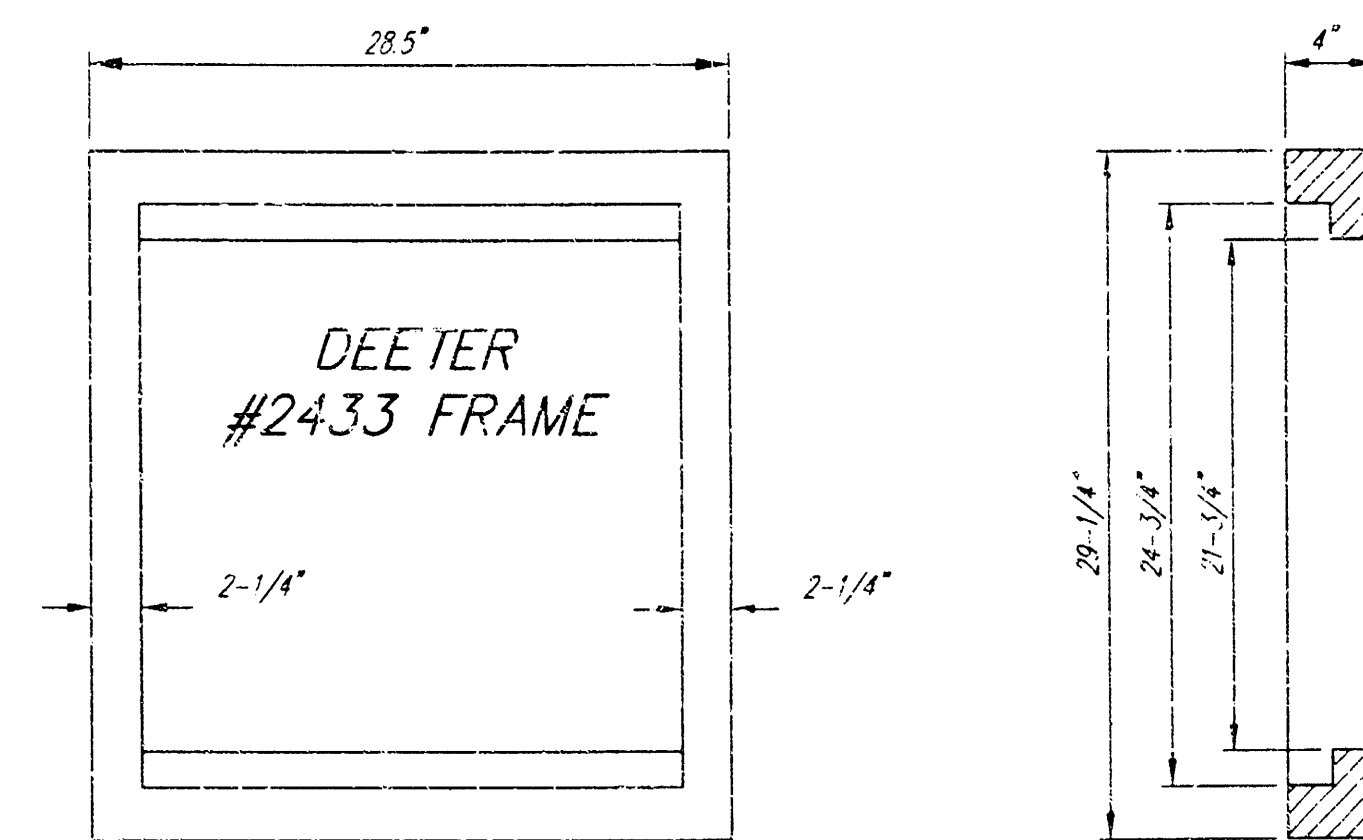


**DROP INLET PROTECTION - The 'Verti-Pro' by Alpine®**  
 For Yard and Parking Lot Inlet Usage



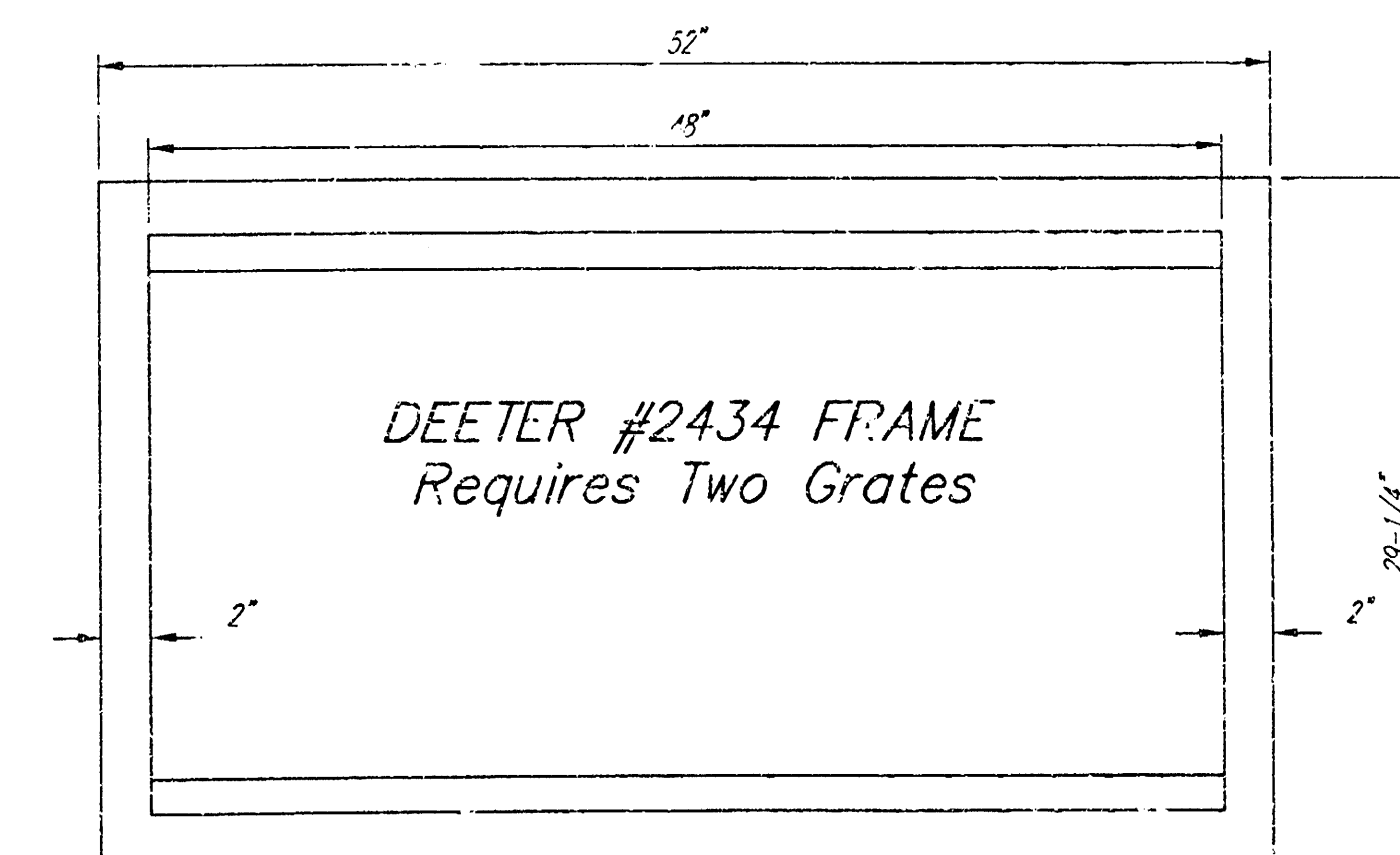
As Built 9/01 KK

|                                               |       |          |       |
|-----------------------------------------------|-------|----------|-------|
| RIDGEPORT NORTH                               |       |          |       |
| <b>LINE 1</b>                                 |       |          |       |
| STORMWATER MANAGEMENT                         |       |          |       |
| <b>BAUGHMAN COMPANY P.A.</b>                  |       |          |       |
| ENGINEERING, SURVEYING, ARCHITECTURE          |       |          |       |
| 315-262-7271 • 315-644-5 • 2000 ADVANCE DRIVE |       |          |       |
| PROJECT NUMBER                                |       |          |       |
| 1104 PFS (607691)                             |       |          |       |
| DESIGN                                        | DRAWN | APPROVED | DATE  |
| JA/STL                                        | STL   |          | 4/01  |
| SCALE                                         |       |          | SHEET |
| 1" = 20' HORIZONTAL                           |       |          | 2     |
| 1" = 5' VERTICAL                              |       |          | 4     |



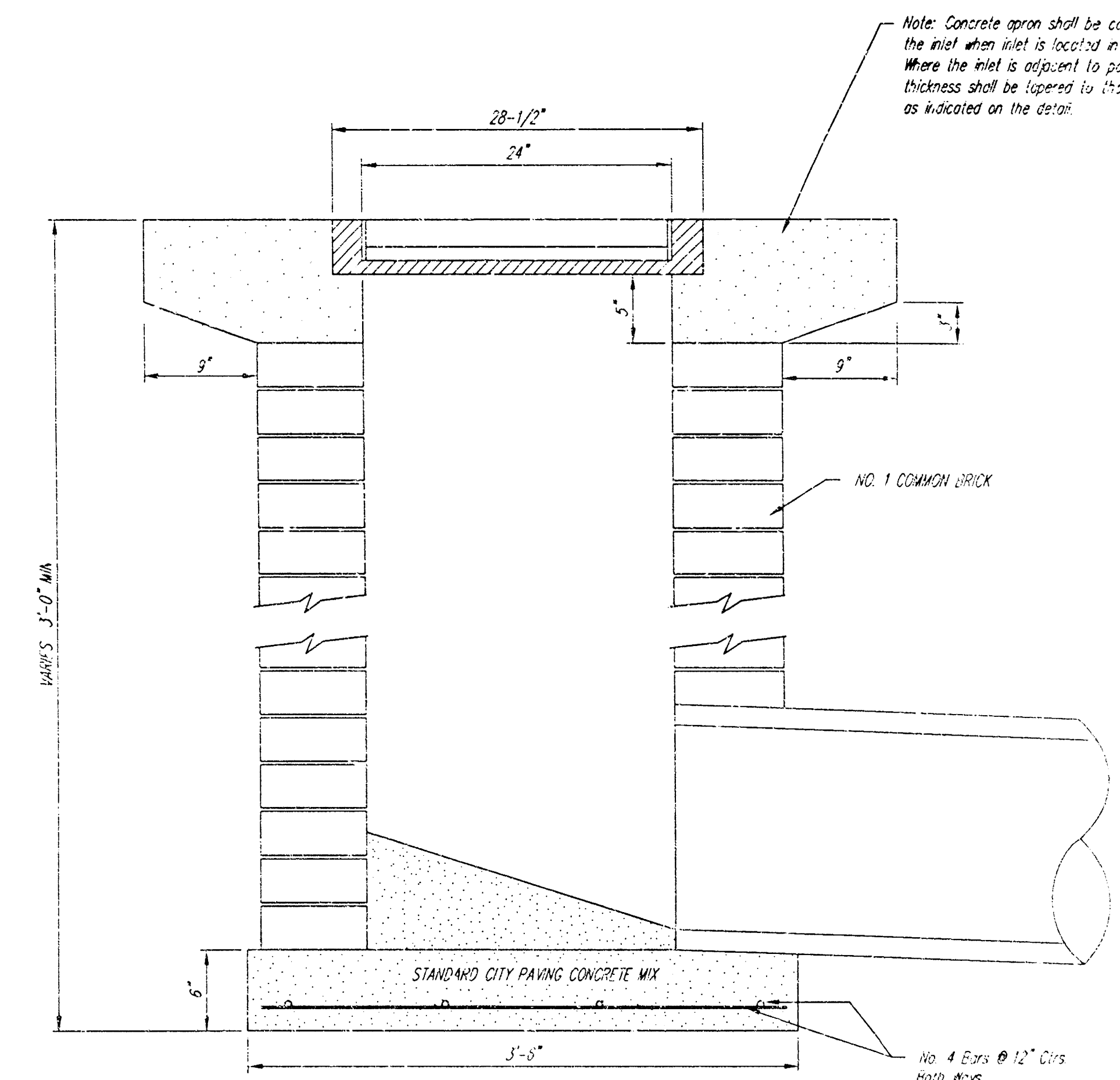
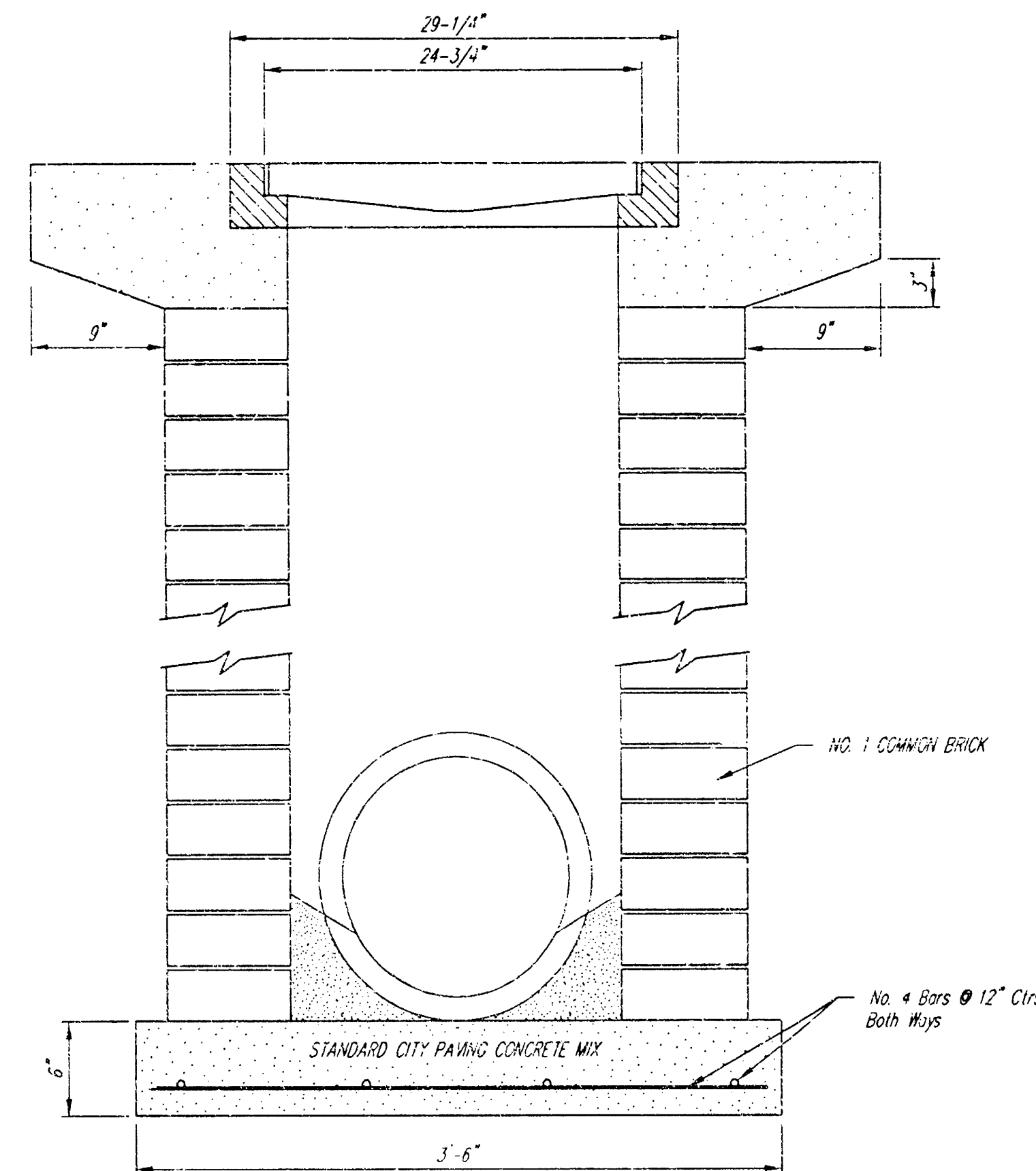
DEETER #2433 GRATE

24" x 24" Frame and Grate Detail

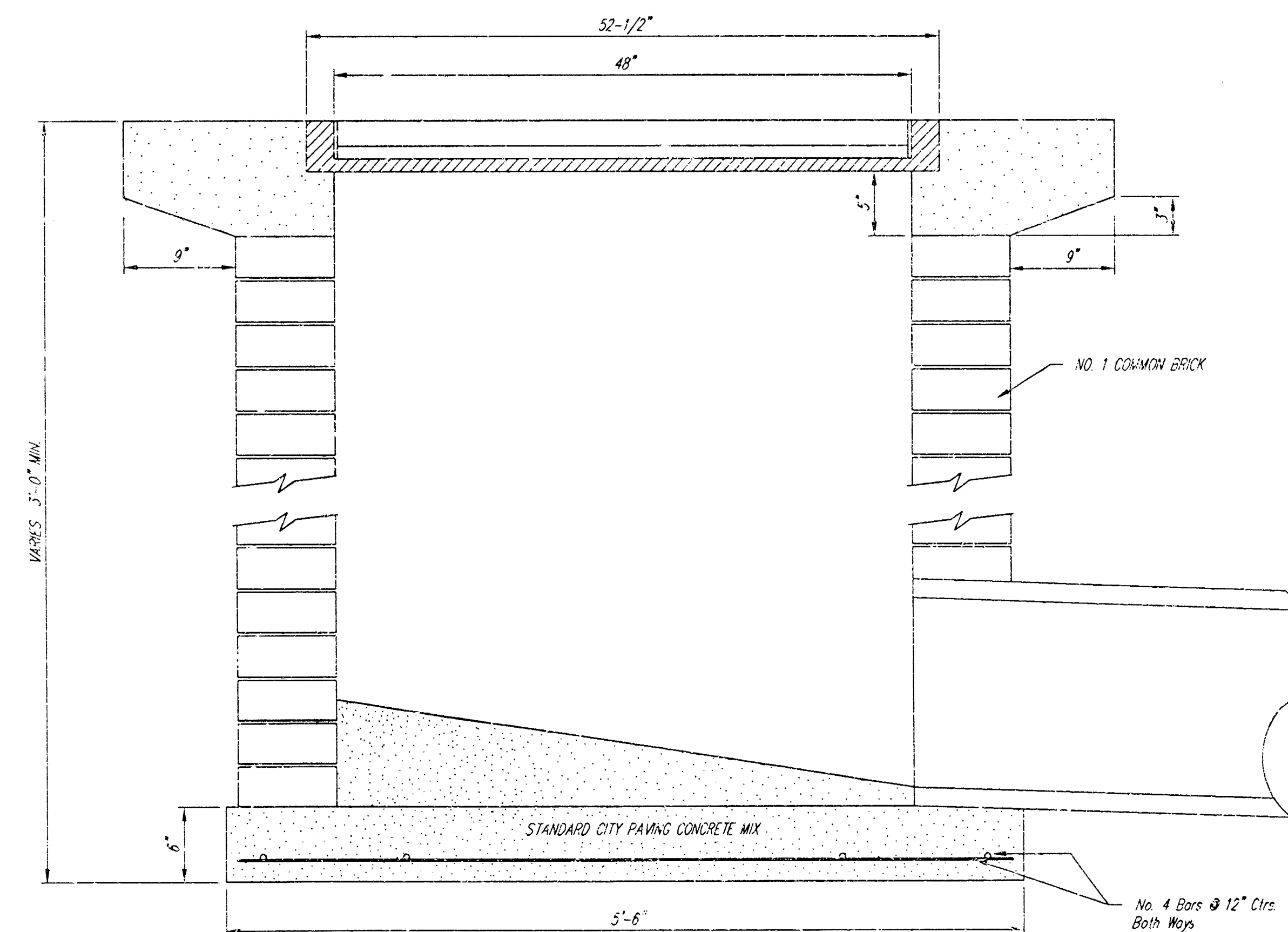


Double 24" x 24" Frame Detail

NOTE: Grates shall be imprinted on the top surface with "CITY OF WICHITA" using letters at least 1" in height. Other marking methods may be approved by the engineer.



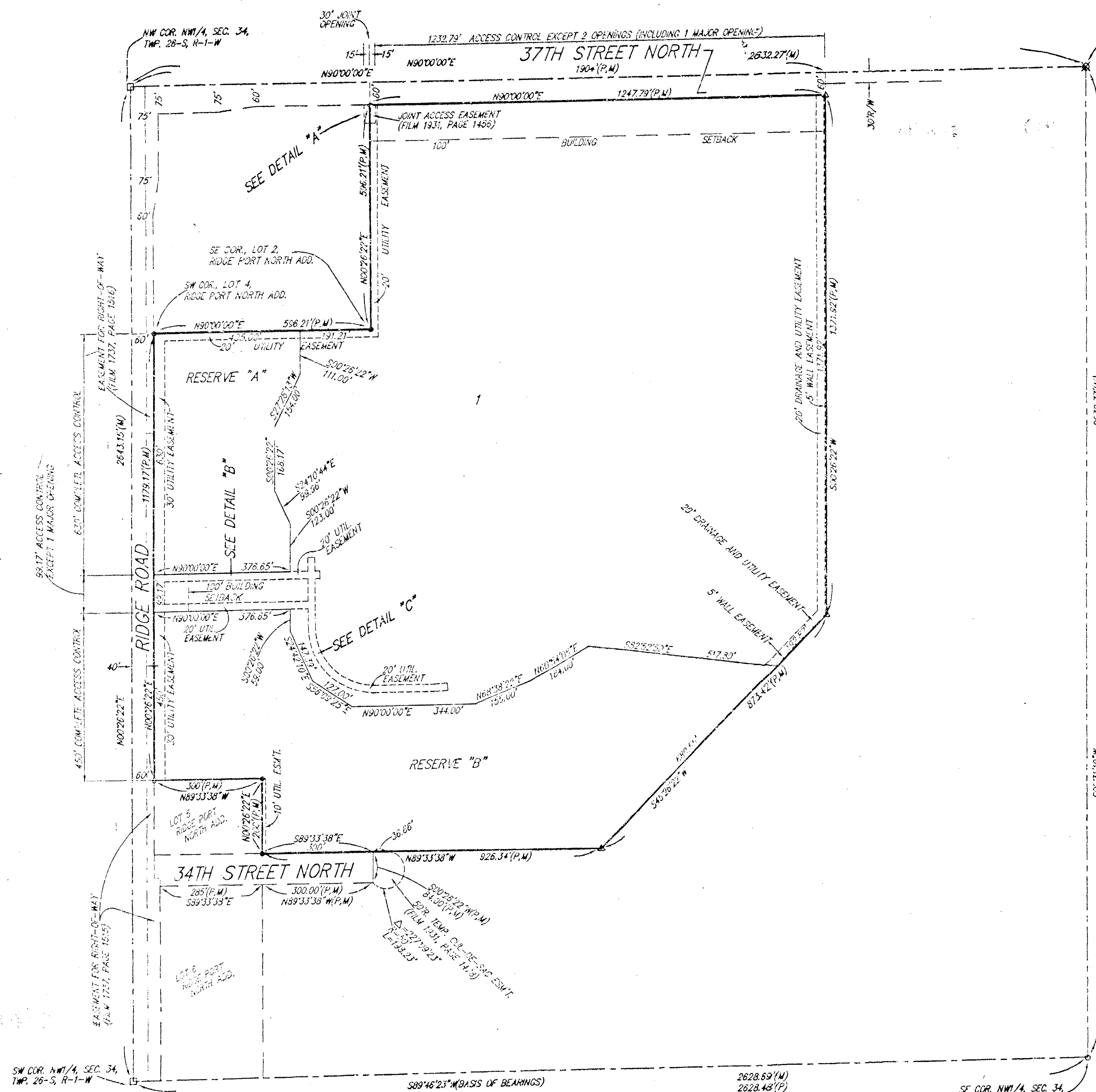
Note: Concrete apron shall be constructed around the inlet when inlet is located in an unimproved area. Where the inlet is adjacent to pavement, the pavement thickness shall be tapered to 1/2" at 9 inches as indicated on the detail.



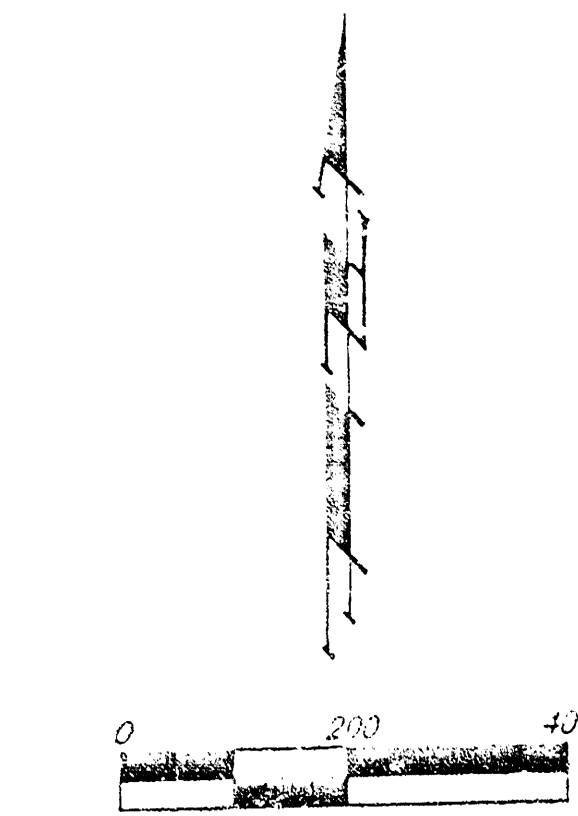
|                                      |       |          |      |       |          |
|--------------------------------------|-------|----------|------|-------|----------|
| <b>Drop Inlet</b>                    |       |          |      |       |          |
| <b>BAUGHMAN COMPANY P.A.</b>         |       |          |      |       |          |
| ENGINEERING, SURVEYING, ARCHITECTURE |       |          |      |       |          |
| PROJECT NUMBER                       |       |          |      |       |          |
| DESIGN                               | DRAWN | APPROVED | DATE | SCALE | SHEET    |
|                                      |       |          |      |       | <b>3</b> |
|                                      |       |          |      |       | <b>4</b> |

# RIDGE PORT NORTH 2ND ADDITION

## WICHITA, SEDGWICK COUNTY, KANSAS



LIBRARY COPY  
SEDGWICK COUNTY, KANSAS  
REGISTER OF DEEDS



(M) = MEASURED  
(P) = PLATTED  
Δ = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)  
• = #4 REBAR W/ "BAUGHMAN" CAP (SET)  
○ = 3/4" IRON (FOUND)  
□ = WALKING SHOE (FOUND)  
X = NAIL IN 1/2" IRON (FOUND)

NOTE:  
ADDITIONAL BUILDING SETBACK REQUIREMENTS  
PER COMMUNITY UNIT PLAN UP-237.

| MINIMUM BUILDING PAD ELEVATION FOR<br>LOWEST OPENING TO THE STRUCTURES |                           |
|------------------------------------------------------------------------|---------------------------|
| LOT                                                                    | ELEVATION<br>(CITY DATUM) |
| 1                                                                      | 144.6                     |

BENCHMARK:  
CITY DISC - SW COR. RIDGE RD. & 29TH ST. NO.  
BLD'G. S. & E. 1/4" W. OF E. 1/4" S. 1/4" E.  
ELEV. = 139.15 CITY DATUM (1328.55 M.S.L.)

State of Kansas) SS  
Sedgwick County) We, Baughman Company, P.A., Surveyors in  
aforesaid county and state do hereby certify that we have surveyed and  
platted "RIDGE PORT NORTH 2ND ADDITION", Wichita, Sedgwick County,  
Kansas and that the accompanying plat is a true and correct exhibit of  
the property surveyed, described as and being a replat of Lot 1 and  
Reserve "D", Ridge Port North Addition, Wichita, Sedgwick County, Kansas.

All being situated in the NW 1/4, Sec. 34, Twp. 26-S, R-1-W  
of the 6th P.M., Sedgwick County, Kansas.  
Existing easements and dedications being vacated by virtue  
of K.S.A. 12-512(b).  
Baughman Company, P.A.

Michael C. Conrey, Surveyor  
LS-979-1299

Know all men by these presents that we,  
the undersigned, have caused the land in the surveyors certificate to be  
platted into a Lot and Reserves to be known as "RIDGE PORT NORTH 2ND  
ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are  
hereby granted as indicated for the construction and maintenance of all  
public utilities. The drainage and utility easements are hereby granted  
as indicated for drainage purposes and for the construction and maintenance  
of all public utilities. The wall easements are hereby granted as indicated  
for the construction and maintenance of a private screening wall and utility  
main lines and service lines shall be allowed to cross these easements.  
Reserves "A" and "B" are hereby reserved for drainage purposes, lakes,  
landscaping, open space, berms, gazebos, screening walls, sidewalks, and  
utilities as confined to easements. Reserves "A" and "B" shall be owned  
and maintained by the owner of Lot 1. Access controls shall be as depicted  
on the face of the plat. The Minimum Building Pad Elevations for the lowest  
opening to the structures shall be as indicated on the face of the plat.

R & R Realty, LLC  
Jay W. Russell, Manager  
Ritchie Associates, Inc.  
Kevin M. Mullen, President

Via Christi Property Services, Inc.  
David M. Mohr, President

State of Kansas) SS  
Sedgwick County) The foregoing instrument acknowledged before me,  
this 12th day of October, 1999, by Jay W. Russell, Manager of  
R & R Realty, LLC, on behalf of the company.

JUDITH M. TERHUNE  
Notary Public - State of Kansas  
My App't. Exp. 11-7-2001

State of Kansas) SS  
Sedgwick County) The foregoing instrument acknowledged before me,  
this 12th day of October, 1999, by Kevin M. Mullen, President of  
Ritchie Associates, Inc., as Manager of R & R Realty, LLC, on behalf of  
the company.

DIANE M. STALBAUM  
Notary Public  
My App't. Exp. 2/14/2003

State of Kansas) SS  
Sedgwick County) The foregoing instrument acknowledged before me,  
this 12th day of October, 1999, by David M. Mohr, President of  
Via Christi Property Services, Inc., on behalf of the corporation.

Philip J. Meyer  
Notary Public  
My App't. Exp. 5/5/01

PHILIP J. MEYER  
NOTARY PUBLIC  
STATE OF KANSAS

This plat of "RIDGE PORT NORTH 2ND ADDITION", Wichita,  
Sedgwick County, Kansas has been submitted to and approved by  
the Wichita-Sedgwick County Metropolitan Area Planning Commission,  
Wichita, Kansas.  
Dated this 16th day of September, 1999.  
Wichita-Sedgwick County Metropolitan Area Planning Commission

William M. Johnson, Chairman  
Marvin S. Krout, Secretary

This plat approved and all dedications shown  
hereon accepted by the City Council of the City of Wichita, Kansas,  
this 23rd day of November, 1999.

Bob Knight, Mayor  
Pat Burnett, City Clerk

Entered on transfer record this 14th day  
of December, 1999.  
James Alford, County Clerk

Reviewed in accordance with K.S.A. 58-2005  
on this 3rd day of November, 1999.

Tricia L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

State of Kansas) SS  
Sedgwick County) This is to certify that this plat has been  
filed for record in the office of the Register of Deeds, this 12th day  
of December, 1999, at 1:00 o'clock P.M. and is duly recorded.

Bill Meek, Register of Deeds  
Linda Kizzire, Deputy

We the undersigned, holders of a mortgage on  
the above described property, do hereby consent to this plat of "RIDGE  
PORT NORTH 2ND ADDITION", Wichita, Sedgwick County, Kansas.  
Intrust Bank, N.A.

GARY D. SCHMITT, Senior U.P.

State of Kansas) SS  
Sedgwick County) The foregoing instrument acknowledged be-  
fore me, this 14th day of October, 1999, by GARY D. SCHMITT,  
Senior U.P. of the Intrust Bank, N.A., on behalf of the bank.

JUDITH M. TERHUNE  
Notary Public  
My App't. Exp. 11-7-2001

BAUGHMAN COMPANY P.A.  
18 08 05 18