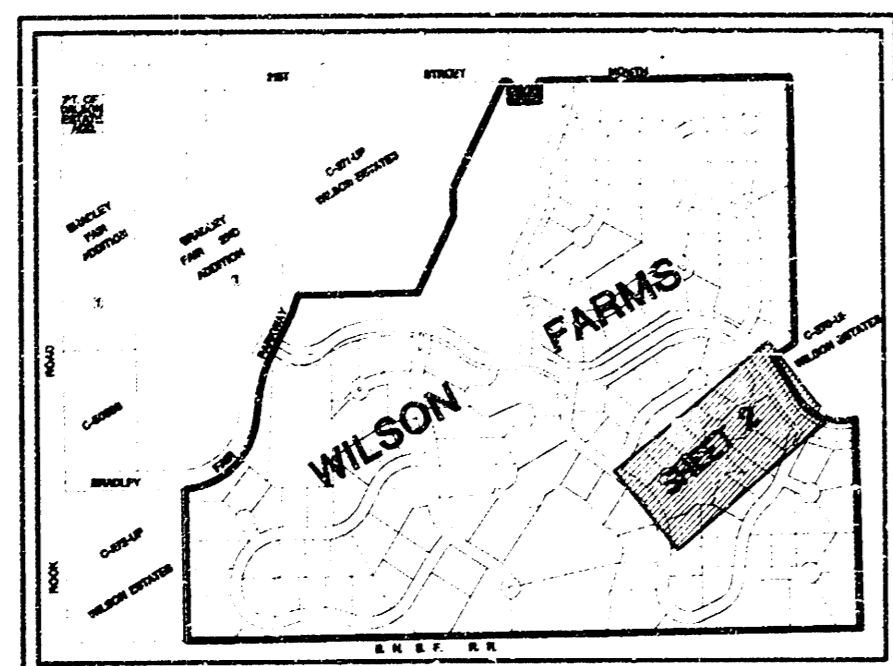
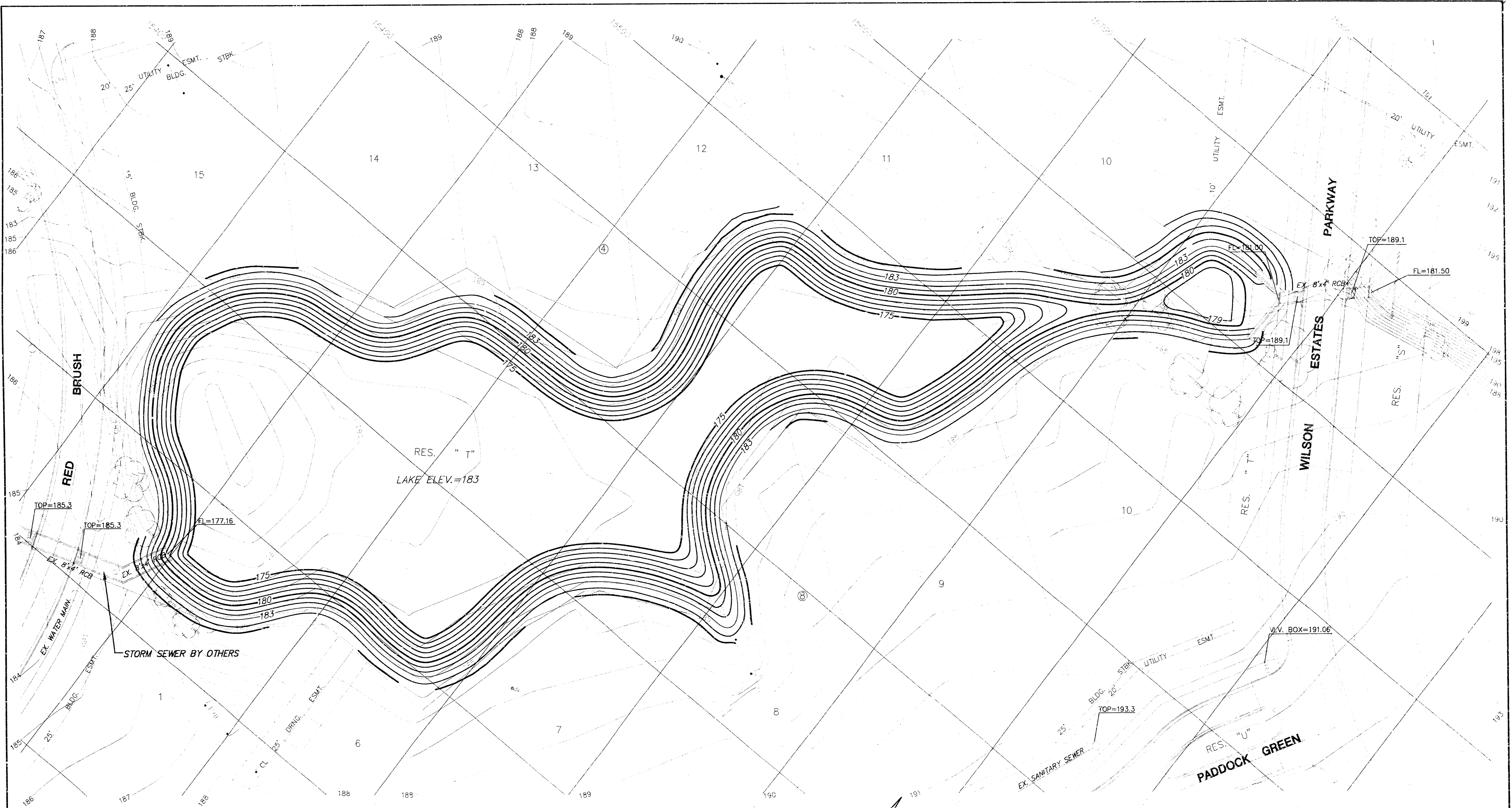
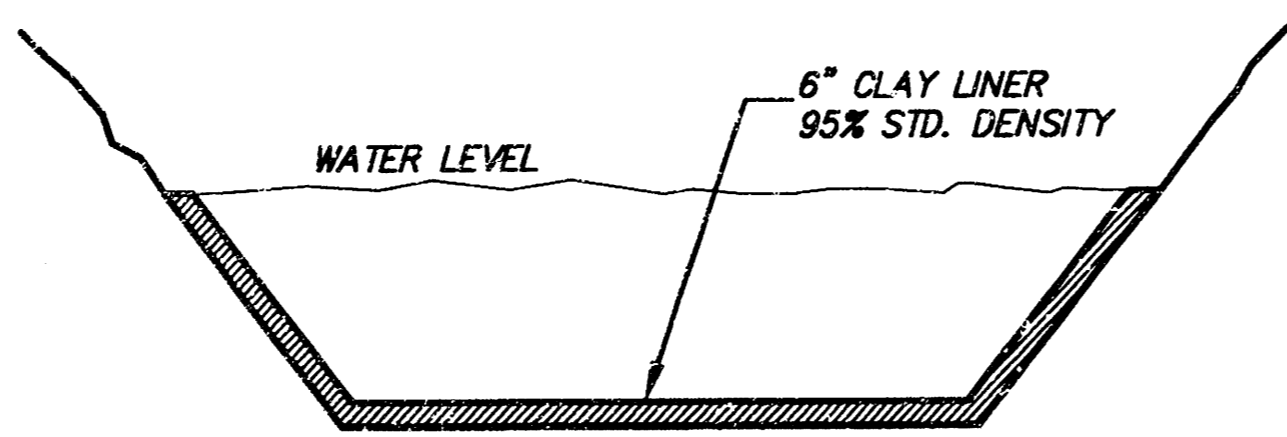




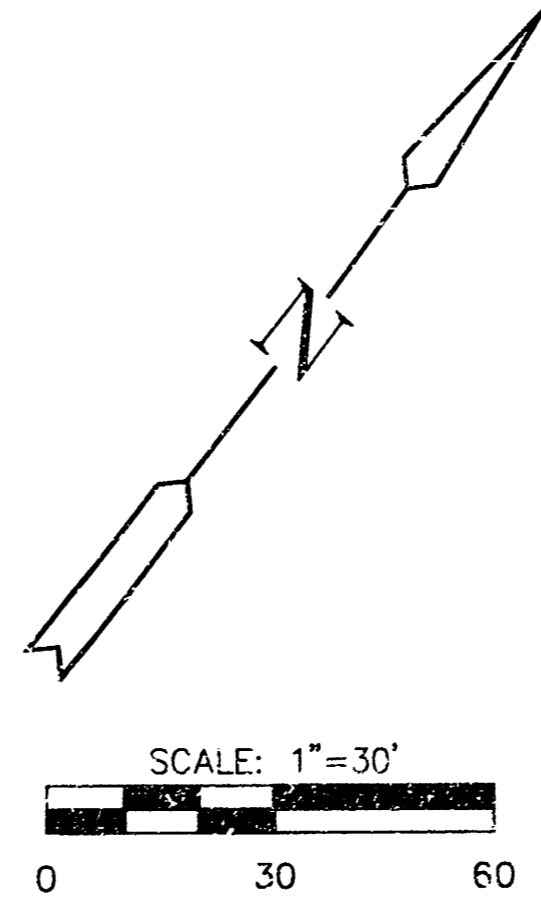
H:\CIVIL\96\96\GRAD\96\_131\96186GR7 Med Dec 03 13:25:03 1997



KEY MAP



TYPICAL LAKE DETAIL  
NO SCALE



**WILSON FARMS ADDITION**  
**STORM WATER DRAIN #131**  
 PROJECT NAME

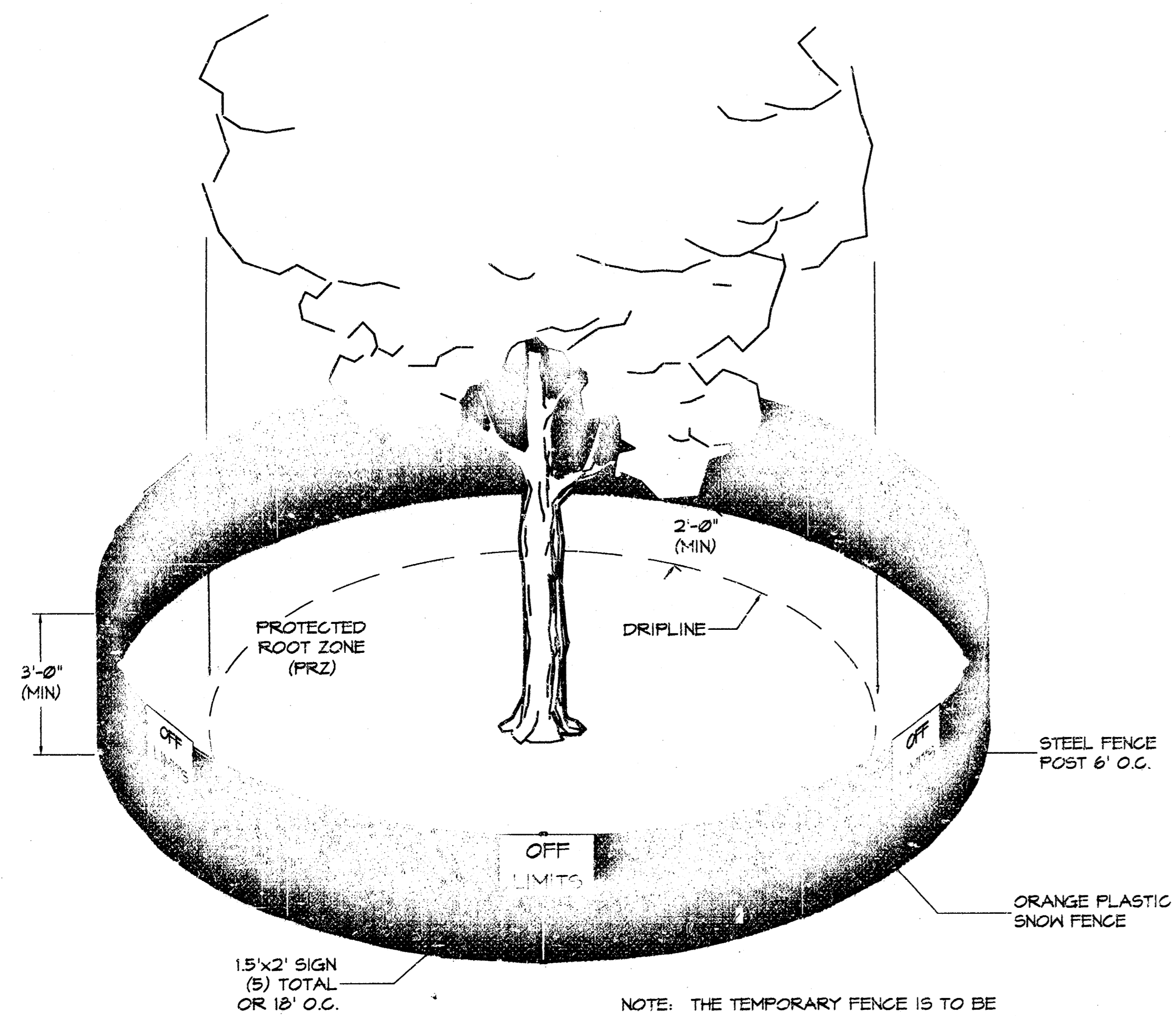
**GRADING PLAN**  
 SHEET TITLE

MID-KANSAS ENGINEERING  
 CONSULTANTS, INC.  
 411 N. WEBB ROAD  
 WICHITA, KS. 67206  
 316-684-9600

JAG  
 DESIGN BY:  
 DECEMBER 1997  
 DATE

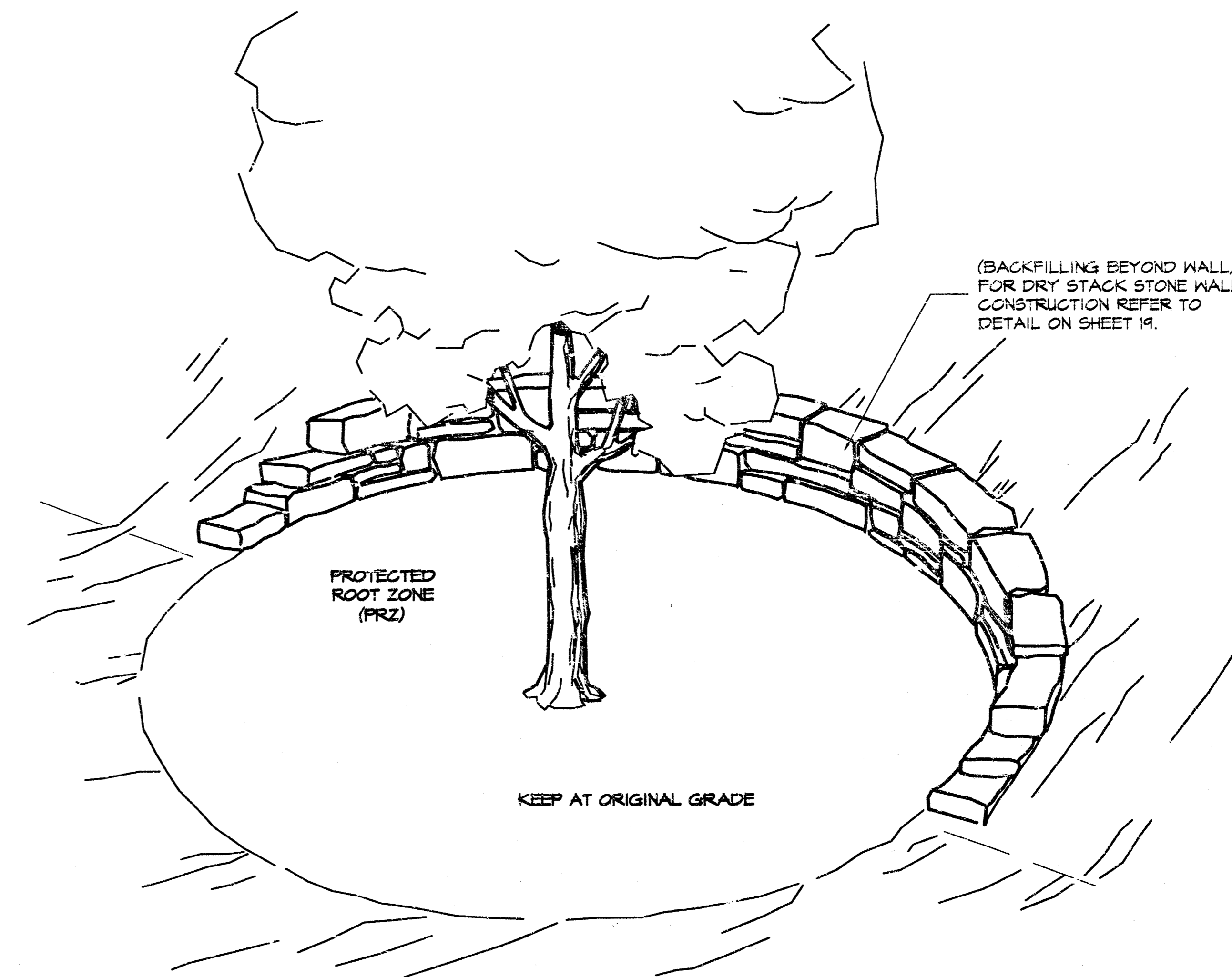
KKL  
 DRAWN BY:  
 96186GR7  
 JOB NO.

GJA  
 CHECKED BY:  
 2 / 6  
 SHEET OF 508



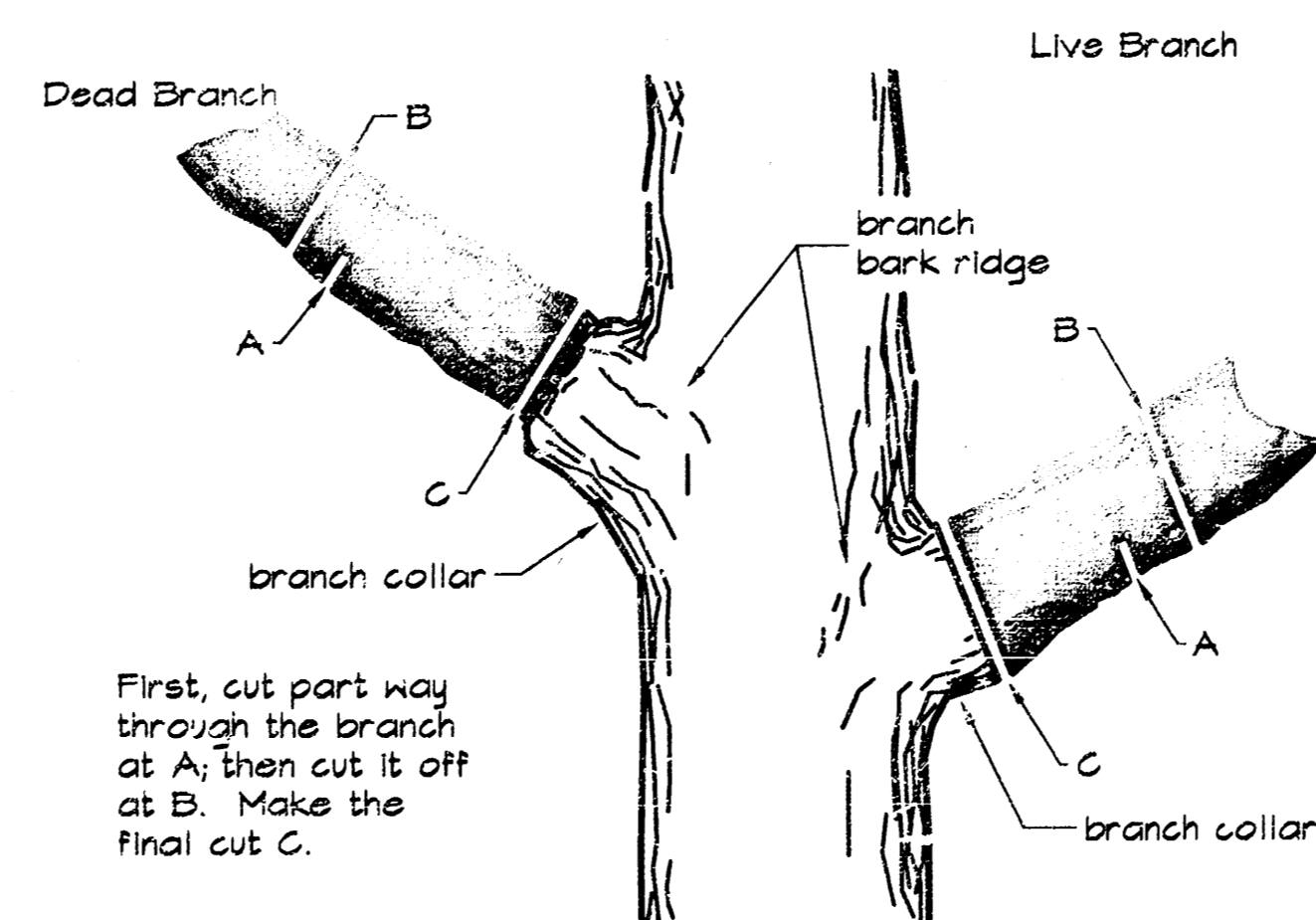
NOTE: THE TEMPORARY FENCE IS TO BE CONSTRUCTED AROUND SPECIFIED AREAS/TREES PRIOR TO ANY CONSTRUCTION AND SHALL REMAIN UNTIL ALL CONSTRUCTION IS COMPLETE. CONSTRUCTION EQUIPMENT AND MATERIALS ARE NOT PERMITTED WITHIN THE (PRZ). THE FENCE PLACEMENT AROUND THE (PRZ) MAY ONLY BE ADJUSTED WITH PERMISSION FROM THE OWNER'S REPRESENTATIVE.

**TEMPORARY TREE PROTECTION DETAIL**  
NOT TO SCALE



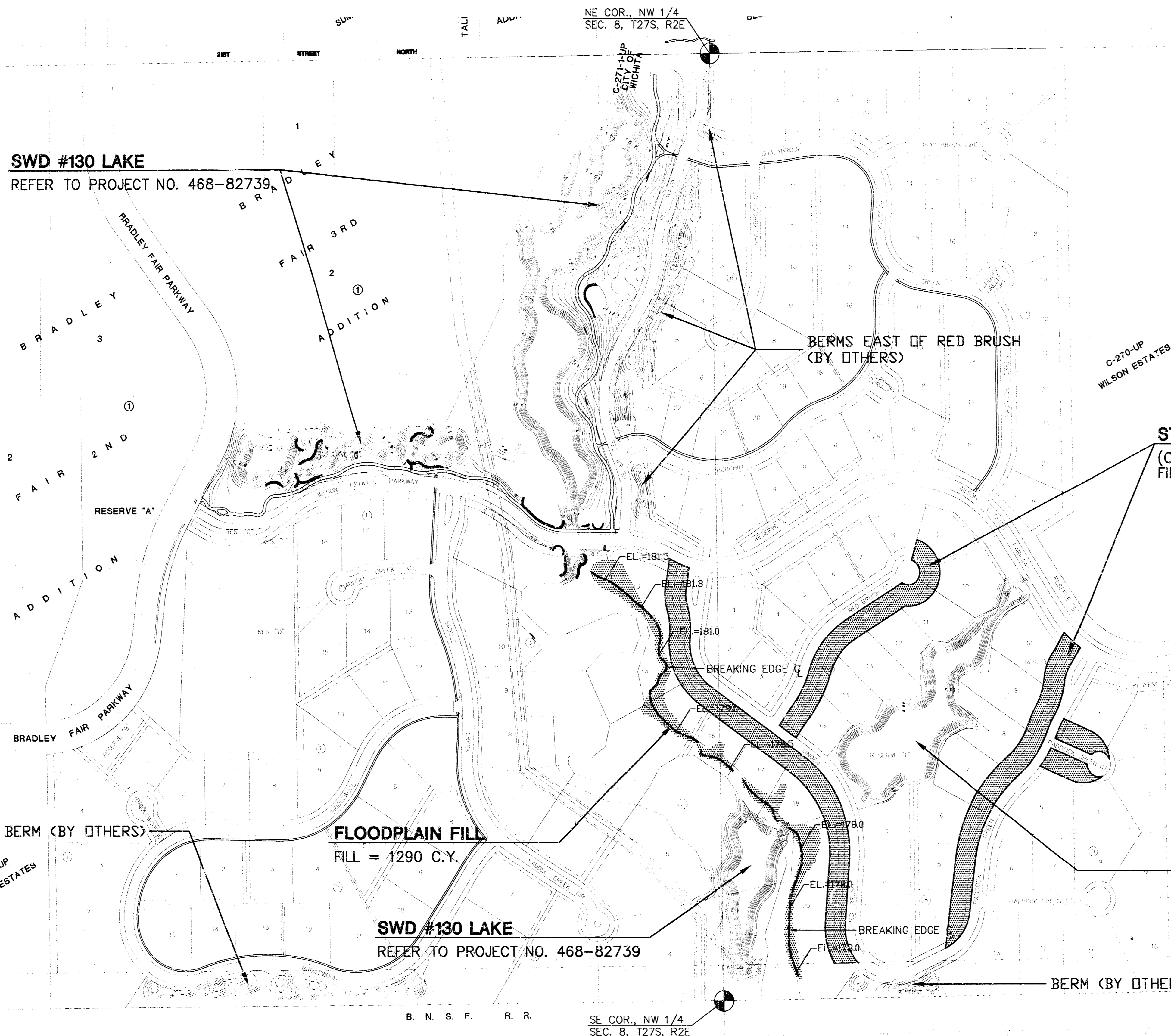
NOTE: NO GRADING SHALL BE DONE WITHIN THE PRZ OF ANY TREE UNLESS SHOWN DIFFERENTLY ON THE PLANS OR WITHOUT THE CONSENT OF THE OWNER'S REPRESENTATIVE. USE DRY STACK STONE WALLS TO RETAIN AS MUCH OF THE ORIGINAL GRADE AS POSSIBLE. THE PRZ (PROTECTED ROOT ZONE) WILL BE DETERMINED BY MEASURING 2' BEYOND THE TREE/TREES DRIPLINE. IN INSTANCES WHERE GRADE CHANGES ALLOW NO OTHER ALTERNATIVE BUT TO GRADE WITHIN THE PRZ, AS MUCH ROOT SPACE AS POSSIBLE WILL BE DEMANDED. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL WORK AROUND THE PRZ.

**DRY STACK STONE WALL  
TREE WELL DETAIL**  
NOT TO SCALE



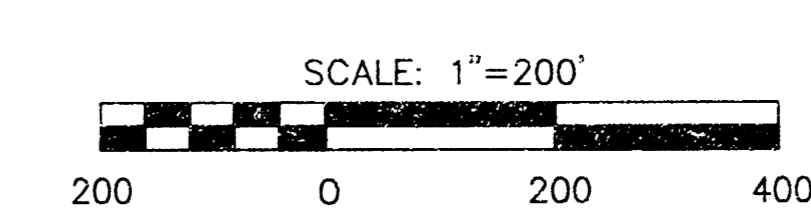
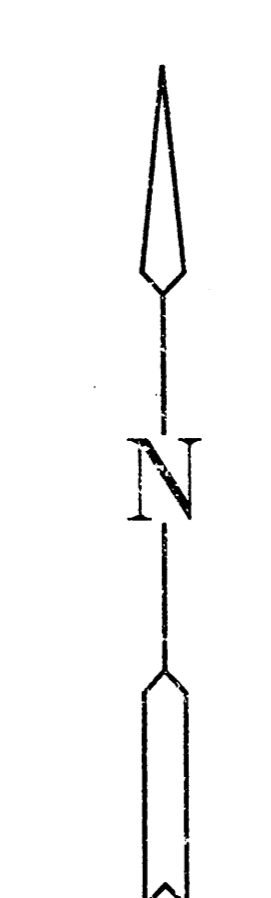
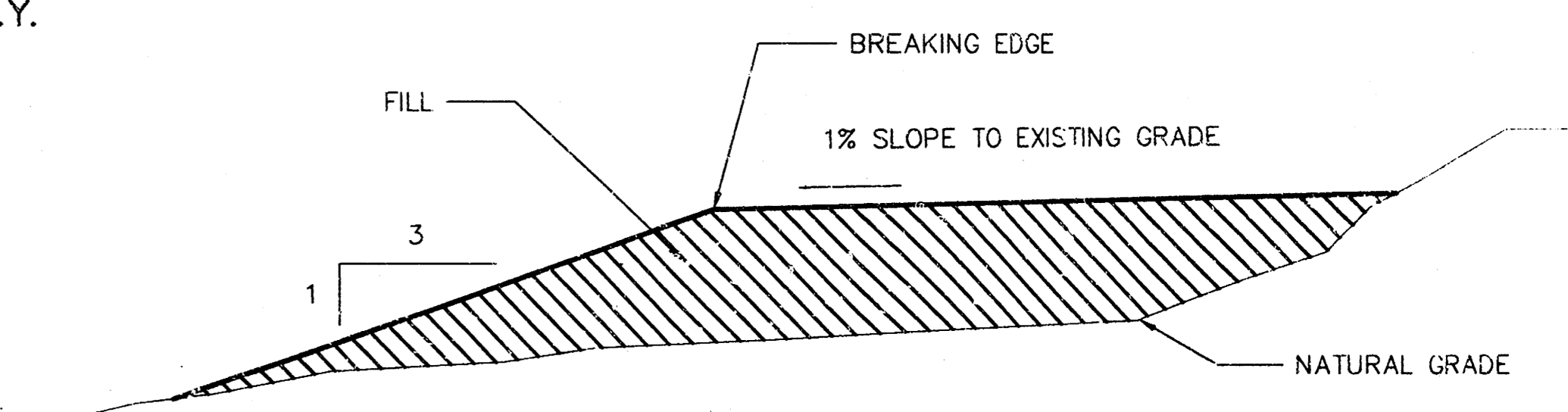
**TREE TRIMMING DETAIL**  
NOT TO SCALE

<p>MID-KANSAS ENGINEERING CONSULTANTS, INC. 411 N. WEBB ROAD WICHITA, KS. 67206 316-684-9600</p>	<b>WILSON FARMS ADDITION</b>		
	PROJECT NAME		
	<b>TREE PRESERVATION/ PROTECTION DETAILS</b>		
	SHEET TITLE		
DESIGN BY: JAG	DRAWN BY: JAG	CHECKED BY: GJA	
DATE: DECEMBER 1997	JOB NO.: 96186gr5	SHEET OF: 3 / 6	

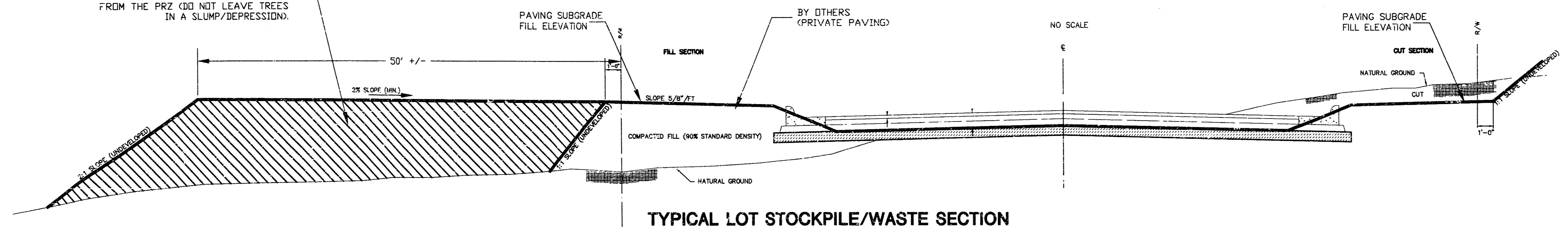


**GENERAL NOTES**

1. THE CONTRACTOR MAY COORDINATE WITH THE OWNER FOR LOCATING OFF-SITE WASTE ON A TRACT OF LAND ON THE NE CORNER OF 127TH ST. AND 13TH STREET (APPROX. 5,000 C.Y.). OWNER CONTACT: ROB RAMSEYER; PH# 684-7300.
2. THE CONTRACTOR SHALL STOCKPILE ON SITE, APPROXIMATELY 50,000 C.Y. IN AN AREA APPROVED BY THE OWNER. OWNER CONTACT: ROB RAMSEYER; PH# 684-7300.
3. THE CONTRACTOR MAY WASTE EXCESS EXCAVATION ON EXISTING LOTS AS DESIGNATED ON THIS SHEET. COST IS SUBSIDIARY TO EXCAVATION. ESTIMATED AMOUNT OF LOT STOCKPILE/WASTE IS 15,000 C.Y. (FOR INFORMATION ONLY).
4. THE CONTRACTOR MAY OBTAIN PRIVATE PAVING PLANS FROM MKEC FOR THE DESIGNATED LOT FILL AREAS, IN ORDER TO VERIFY FINAL GRADE.



STOCKPILE/WASTE: WHEN EXISTING TREES ARE ENCOUNTERED FILL SHALL REMAIN OUTSIDE OF THE PROTECTED ROOT ZONE (PRZ). THE GRATES AROUND TREES SHALL NOT INHIBIT POSITIVE DRAINAGE AWAY FROM THE PRZ (DO NOT LEAVE TREES IN A SLUMP/DEPRESSION).



**WILSON FARMS ADDITION**  
PROJECT NAME

**EARTHWORK PLAN AND QUANTITIES**  
SHEET TITLE

MID-KANSAS ENGINEERING CONSULTANTS, INC.  
411 N. WEBB ROAD  
WICHITA, KS. 67206  
316-684-9600

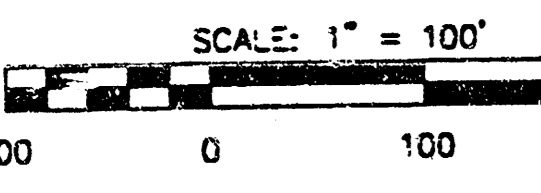
GJA DESIGN BY:	KKL/JAG DRAWN BY:	GJA CHECKED BY:
DECEMBER 1997 DATE	96186GRB JOB NO.	4 / 6 SHEET / OF

FINAL PLAT  
**WILSON FARMS ADDITION**  
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

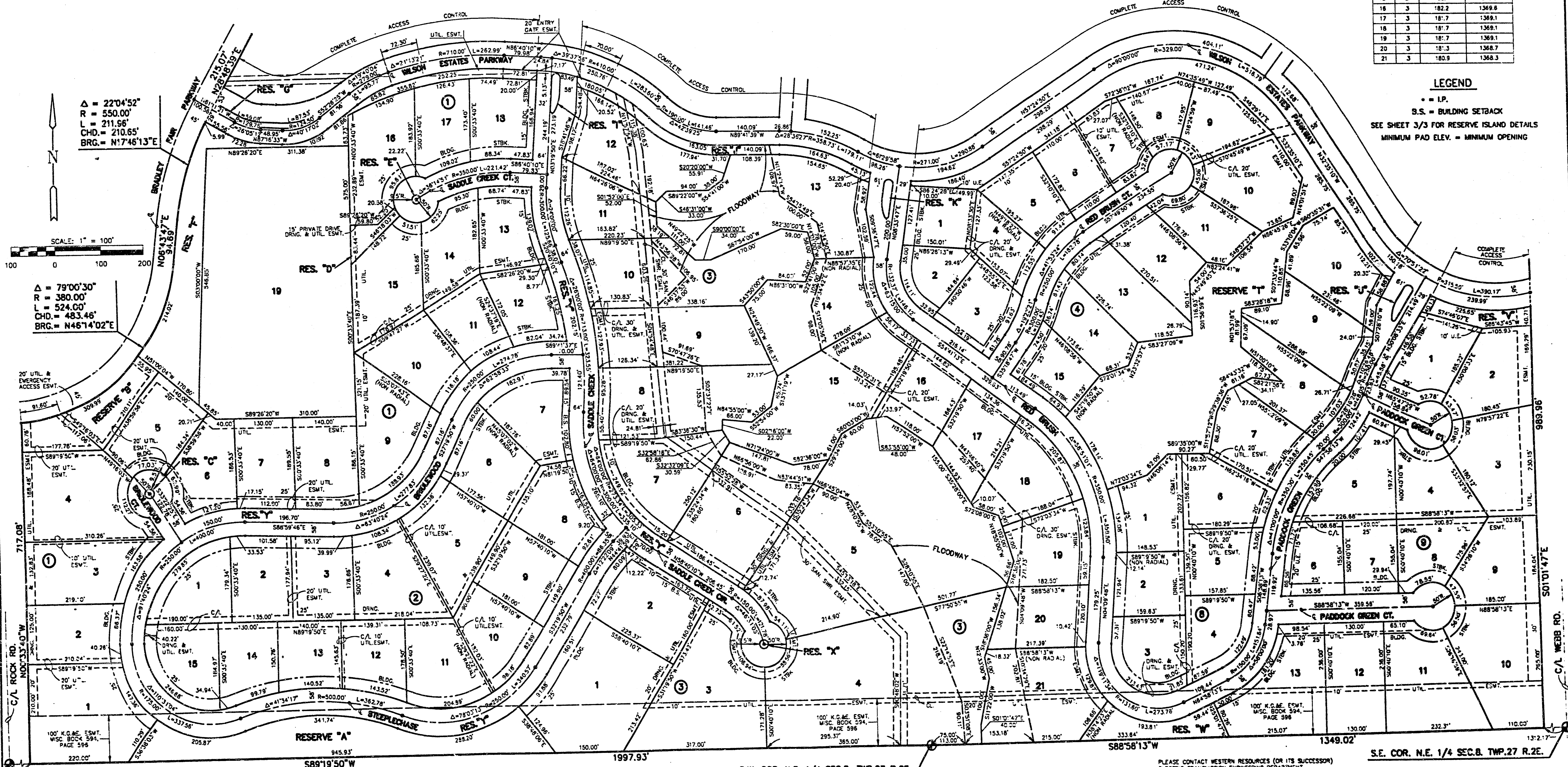
Lot	Block	Min. Pad Elev. (City Datum)	Min. Pad Elev. (USGS Datum)
4	3	180.8	1368.3
5	3	181.2	1368.6
6	3	182.2	1369.6
7	3	182.7	1370.1
8	3	183.1	1370.5
9	3	183.4	1370.8
10	3	184.0	1371.4
11	3	184.5	1371.9
12	3	185.3	1372.7
13	3	185.3	1372.7
14	3	184.0	1371.4
15	3	183.1	1370.5
16	3	182.2	1369.6
17	3	181.7	1369.1
18	3	181.7	1369.1
19	3	181.7	1369.1
20	3	181.3	1368.7
21	3	180.9	1368.3

**LEGEND**  
 • = I.P.  
 B.S. = BUILDING SETBACK  
 SEE SHEET 3/3 FOR RESERVE ISLAND DETAILS  
 MINIMUM PAD ELEV. = MINIMUM OPENING

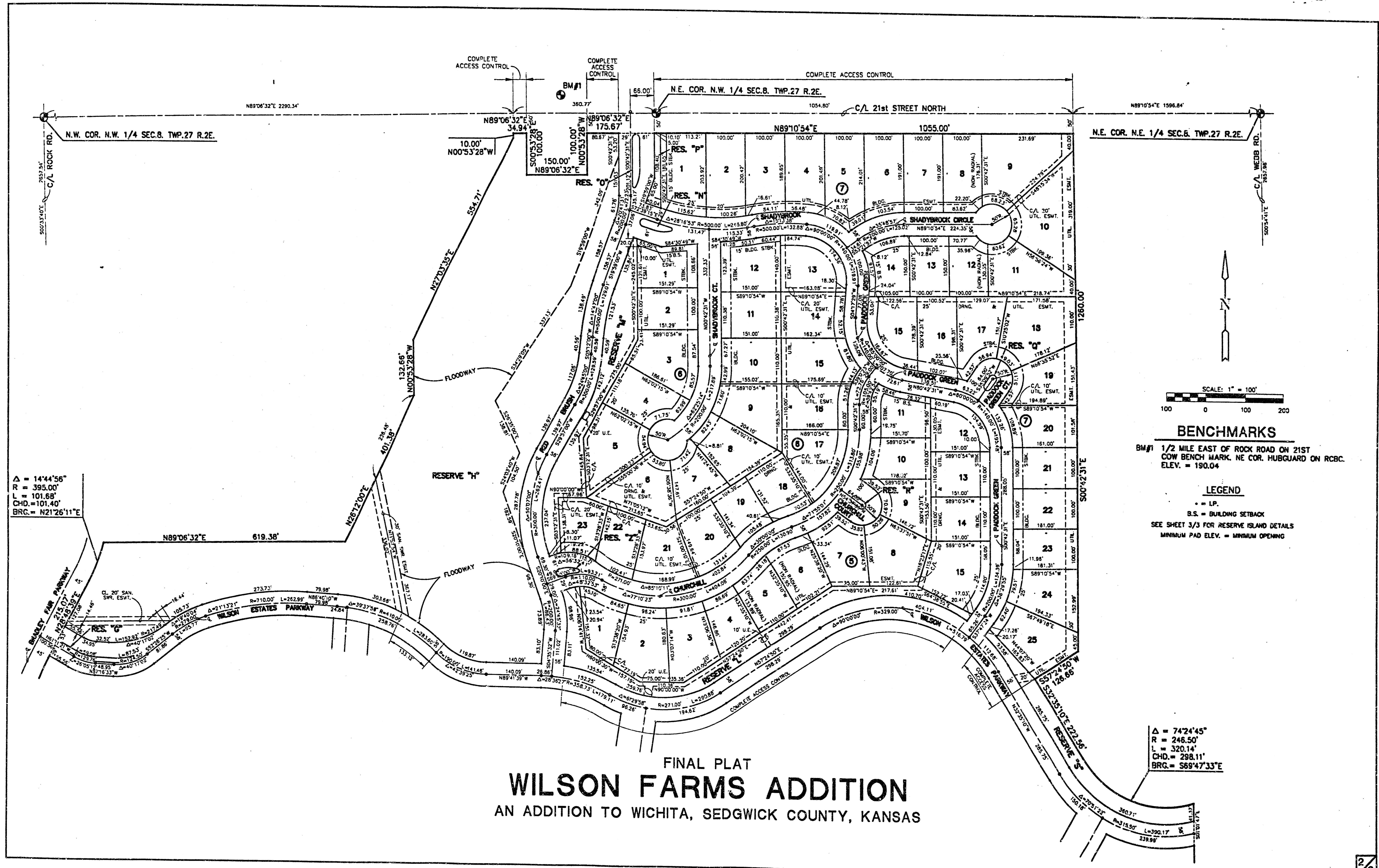
$\Delta = 22^{\circ}04'52''$   
 $R = 550.00'$   
 $L = 211.96'$   
 $CHD = 210.65'$   
 $BRG. = N17^{\circ}46'13''E$



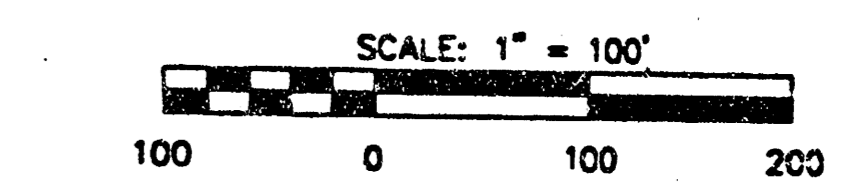
$\Delta = 79^{\circ}00'30''$   
 $R = 380.00'$   
 $L = 524.00'$   
 $CHD = 483.46'$   
 $BRG. = N46^{\circ}14'02''E$



PLEASE CONTACT WESTERN RESOURCES (OR ITS SUCCESSOR)  
 ELECTRIC TRANSMISSION ENGINEERING DEPARTMENT  
 (CURRENTLY 913-271-3013) BEFORE CONDUCTING ANY  
 PROPOSED CONSTRUCTION ACTIVITIES THAT COULD PLACE PEOPLE,  
 EQUIPMENT, OR FACILITIES WITHIN WESTERN RESOURCES'  
 EASEMENT, SHOWN ON THIS PLAT, DESIGNATED AS BOOK 384,  
 PAGE 598, DATED JANUARY 12, 1987.



$\Delta = 14^{\circ}44'56''$   
 $R = 395.00'$   
 $L = 101.68'$   
 $CHD. = 101.40'$   
 $BRG. = N21^{\circ}26'11''E$



**BENCHMARKS**  
 BM#1 1/2 MILE EAST OF ROCK ROAD ON 21ST  
 COW BENCH MARK, NE COR. HUBCARD ON RCBC.  
 ELEV. = 190.04

**LEGEND**  
 \* = L.P.  
 B.S. = BUILDING SETBACK  
 SEE SHEET 3/3 FOR RESERVE ISLAND DETAILS  
 MINIMUM PAD ELEV. = MINIMUM OPENING

$\Delta = 74^{\circ}24'45''$   
 $R = 246.50'$   
 $L = 320.14'$   
 $CHD. = 298.11'$   
 $BRG. = S69^{\circ}47'33''E$

FINAL PLAT  
**WILSON FARMS ADDITION**  
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS