

SERENDIPITY ESTATES ADDITION FINAL PLANNED UNIT DEVELOPMENT

A PORTION OF THE SE1/4 OF SECTION 19, T27S, R3E, CITY OF ANDOVER, BUTLER COUNTY, KANSAS

SURVEYORS CERTIFICATE AND DESCRIPTION

State of Kansas) SS I, the undersigned licensed Land Surveyor in the County of Butler) do hereby certify that the following described tract of land was surveyed on 8-10-2006, and the accompanying final plat prepared and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief:

Beginning at a point 1980.00 feet south of the NW corner of Section 19, Twp. 27-S, R-3-E of the 6th P.M.; thence east 1,320.00 feet and parallel to the north line of said Section; thence south 330.00 feet, thence west 1,320.00 feet; thence north 330.00 feet to the point of beginning, Butler County, Kansas. Subject to public road.

Existing public easements, dedications, building setback lines, and access controls being vacated by virtue of K.S.A. 12-512(b).

Date signed: 8-11-2006 Baughman Company, P.A.



Michael G. Conrey, Surveyor
Michael G. Conrey, L.S.

OWNERS CERTIFICATION AND DEDICATION

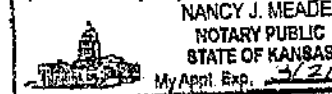
State of Kansas) SS This is to certify that the undersigned owners of the land described in the Surveyors Certificate; have caused the same to be surveyed and subdivided on the accompanying plat into Lots, a Block, and other public easements, under the name of "SERENDIPITY ESTATES ADDITION", Andover, Butler County, Kansas; that all easements as denoted on the plat are hereby dedicated to and for the use of the public for the purpose of constructing, operating, maintaining, and repairing public improvements; and further that the land contained herein is held and shall be conveyed subject to any reservations and covenants on file or hereafter filed in the office of the Register of Deeds of Butler County, Kansas. The contingent street dedication shall become effective in the event that the appropriate governing body determines a need for the right-of-way for any street related purposes. This contingent street dedication shall be a covenant running with the land and shall be binding on all heirs and subsequent owners of all parts of said property covered by said contingent street dedication. All abutters rights of access shall be as indicated on the face of the plat and are hereby granted to the City of Andover, Kansas. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Date signed: Aug 15, 2006

Robert W. Kaplan, Robert W. Kaplan
Carolyn A. Kaplan, Carolyn A. Kaplan, a/k/a Carolyn Kaplan

NOTARY CERTIFICATE

State of Kansas) SS The foregoing instrument acknowledged before me, this 15th day of August, 2006, by Robert W. Kaplan and Carolyn A. Kaplan, a/k/a Carolyn Kaplan, husband and wife.



Nancy J. Meade, Notary Public
My App't. Exp. 3/22/2010

MORTGAGE CERTIFICATE

We, the undersigned, holders of a mortgage on a portion of the above described property, do hereby consent to this plat of "SERENDIPITY ESTATES ADDITION", Andover, Butler County, Kansas.

Washington Mutual Bank, FA
Julie Mulhern, Asst. V.P.
JULIE MULHERN

NOTARY CERTIFICATE

State of Wisconsin) SS The foregoing instrument acknowledged before me, this 29th day of AUGUST, 2006, by JULIE MULHERN, Asst. Vice President of Washington Mutual Bank, FA, on behalf of the bank.

Linda Krause, Notary Public
LINDA KRAUSE
My App't. Exp. 11/16/2008



PLANNING AGENCY CERTIFICATE

State of Kansas) SS This plat approved by the Andover City Planning Commission this 03rd day of May, 2006, and was recommended for approval by the City Council of Andover, Kansas.

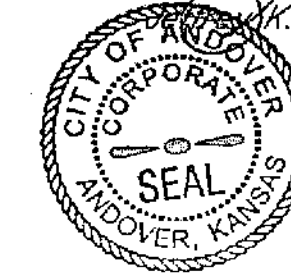
Date signed: Sept. 7, 2006

Quentin Coon, Chairman
Quentin Coon
ATTEST: Jan Cox, Secretary
Jan Cox

GOVERNING BODY CERTIFICATE

State of Kansas) SS The dedications shown on this plat, if any, are hereby accepted by the City Council of the City of Andover, Kansas, this 11th day of July, 2006.

Ben Lawrence, Mayor
Ben Lawrence
ATTEST: Mark Bridges, Jr., City Clerk
Mark Bridges, Jr.

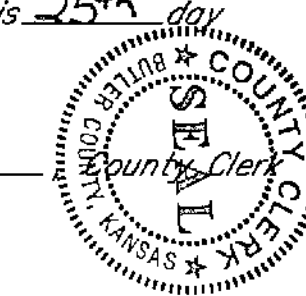


Reviewed in accordance with K.S.A. 58-2005 on this 17th day of August, 2006.

David L. Gillingham, Appointed Land Surveyor
David L. Gillingham, L.S. 606
Appointed Land Surveyor
Butler County, Kansas

TRANSFER RECORD

Entered on transfer record this 25th day of September, 2006.
Ronald Roberts, County Clerk
Ronald Roberts



REGISTER OF DEEDS

State of Kansas) SS This is to certify that this instrument was filed for record in the office of the Register of Deeds at 12:23 o'clock P.M., on the 25th day of September, 2006, and is duly recorded.
Book D Page 49B
Fee: \$90.00

Marcia McCoy, Register of Deeds
Marcia McCoy
Teresa Dawson, Deputy
Teresa Dawson

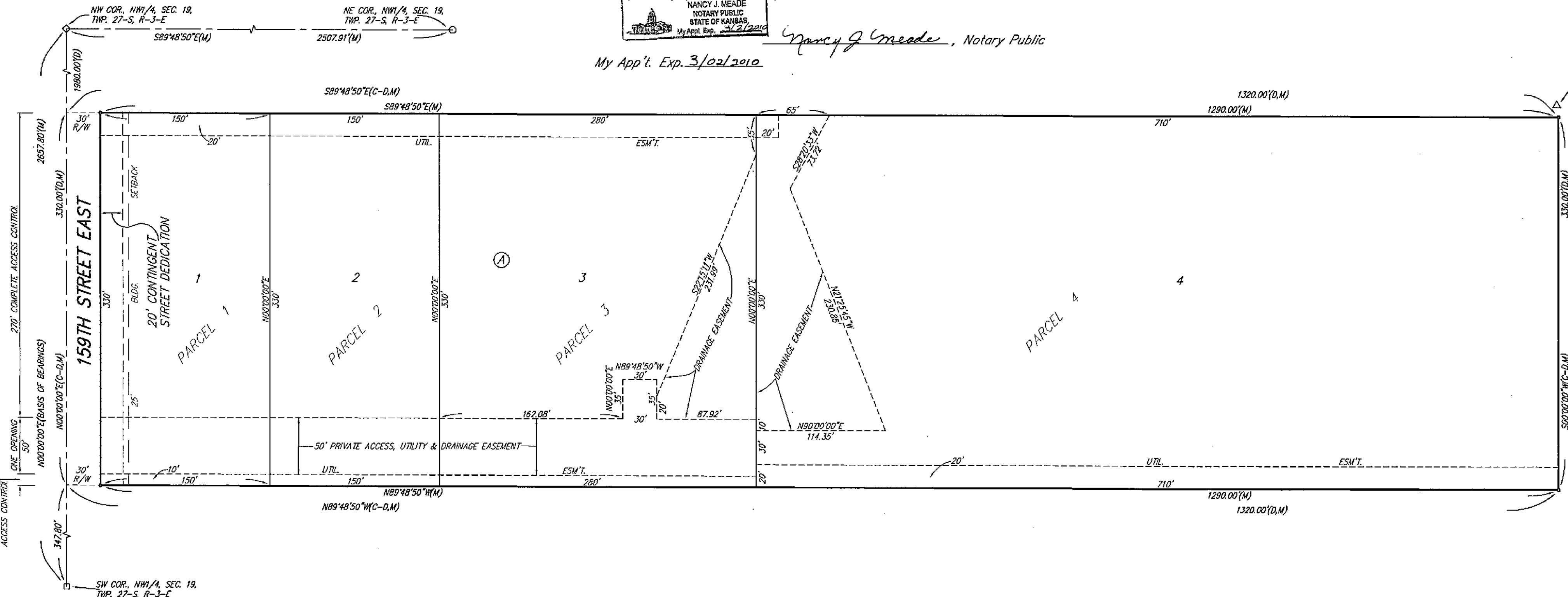
SERENDIPITY ESTATES ADDITION

FINAL PLANNED UNIT DEVELOPMENT
A PORTION OF THE SE1/4 OF SECTION 19, T27S, R3E, CITY OF ANDOVER, BUTLER COUNTY, KANSAS

Baughman Company, P.A.
315 Ellis St., Wichita, KS 67211 P 316.262.2121 F 316.262.0149
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

CITY OF ANDOVER
PLANNING COMMISSION APPROVAL

DATE _____
DATE _____

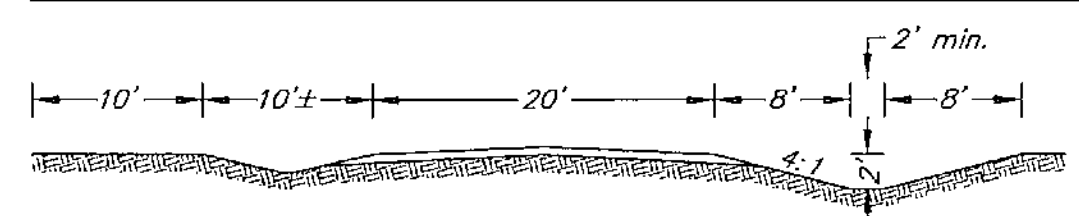


GENERAL PROVISIONS

- Total Net Land Area: 425,700.79 sq.ft. or 9.77± acres
- Setbacks are as indicated on the P.U.D. drawing, or as specified by the "R-1" Single-Family Residential District.
- A Drainage Plan shall be submitted to the City Engineer for approval. Required guarantees for drainage shall be provided at the time of plotting improvements.
- Access Controls shall be as shown on the P.U.D.
- This P.U.D. is in general conformance with Andover's Comprehensive Development Plan for this area. Appropriate City Zoning and Subdivision Regulations have been utilized as a basis for this P.U.D.
- All public improvements shall be guaranteed by petitions filed with the City of Andover.
- A Homeowner's Association shall be formed to address the maintenance of the private drive and easements prior to the development of the site.
- There shall be no parking along the private access drive.
- The existing trees along the south side of the private access drive shall remain to provide screening.
- A hammerhead turnaround, which meets the design standards of the Uniform Fire Code, shall be provided at the dead end.

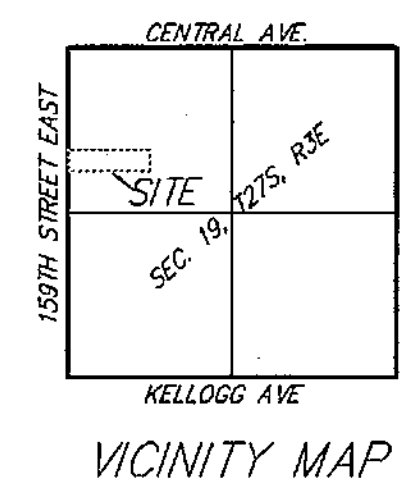
- PARCEL 1**
A. Net Area: 49,500.00 sq.ft., or 1.14± acres
B. Permitted uses: All uses in the "R-1" District.
- PARCEL 2**
A. Net Area: 49,500.00 sq.ft., or 1.14± acres
B. Permitted uses: All uses in the "R-1" District.
- PARCEL 3**
A. Net Area: 93,400.00 sq.ft., or 2.12± acres
B. Permitted uses: All uses in the "R-1" District.
- PARCEL 4**
A. Net Area: 234,300 sq.ft., or 5.38± acres
B. Permitted uses: All uses in the "R-1" District.

TYPICAL PRIVATE DRIVE CROSS SECTION



MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION MSL
3, 4	A	1,326.5

BENCHMARK: BARRACLOUGH SPINE EAST FACE OF POWERPOLE, 27 FEET EAST OF SEC. LINE ON NORTH PROPERTY LINE. ELEVATION=1323.69 NAVD83



0 60 120
SCALE: 1"=100'
DATE OF PREPARATION: 9 MAY 2006
NOTE: AREA = 10.0± ACRES GROSS

- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = CONC. MON. W/ #4 REBAR ON NORTHSIDE (FOUND)
- △ = #5 REBAR (FOUND)
- = #5 REBAR W/ "DARBET" CAP IN THIMBLE (FOUND)
- ◇ = "SCHWAB-EATON" DISC (FOUND)

(M) = MEASURED
(D) = DESCRIBED
(C-D) = CALCULATED PER DESCRIBED INFO.