

# SANITARY SEWER MAIN IMPROVEMENTS

to serve **12200 E 21st St. N**

## NEWSRING COMMERCIAL ADDITION

PRIVATE PROJECT: 2024-008513PPS (53030982)

WICHITA, KANSAS

Paul Gunzelman, P.E. City Engineer

MARCH 2024

### Benchmark

"□" Chiseled on top of concrete curb located on the North end of a median at the entrance of NewSpring Church, 140' north of the centerline of 21st St. North Elevation= 1384.97 (MSL)

### Sheet Index

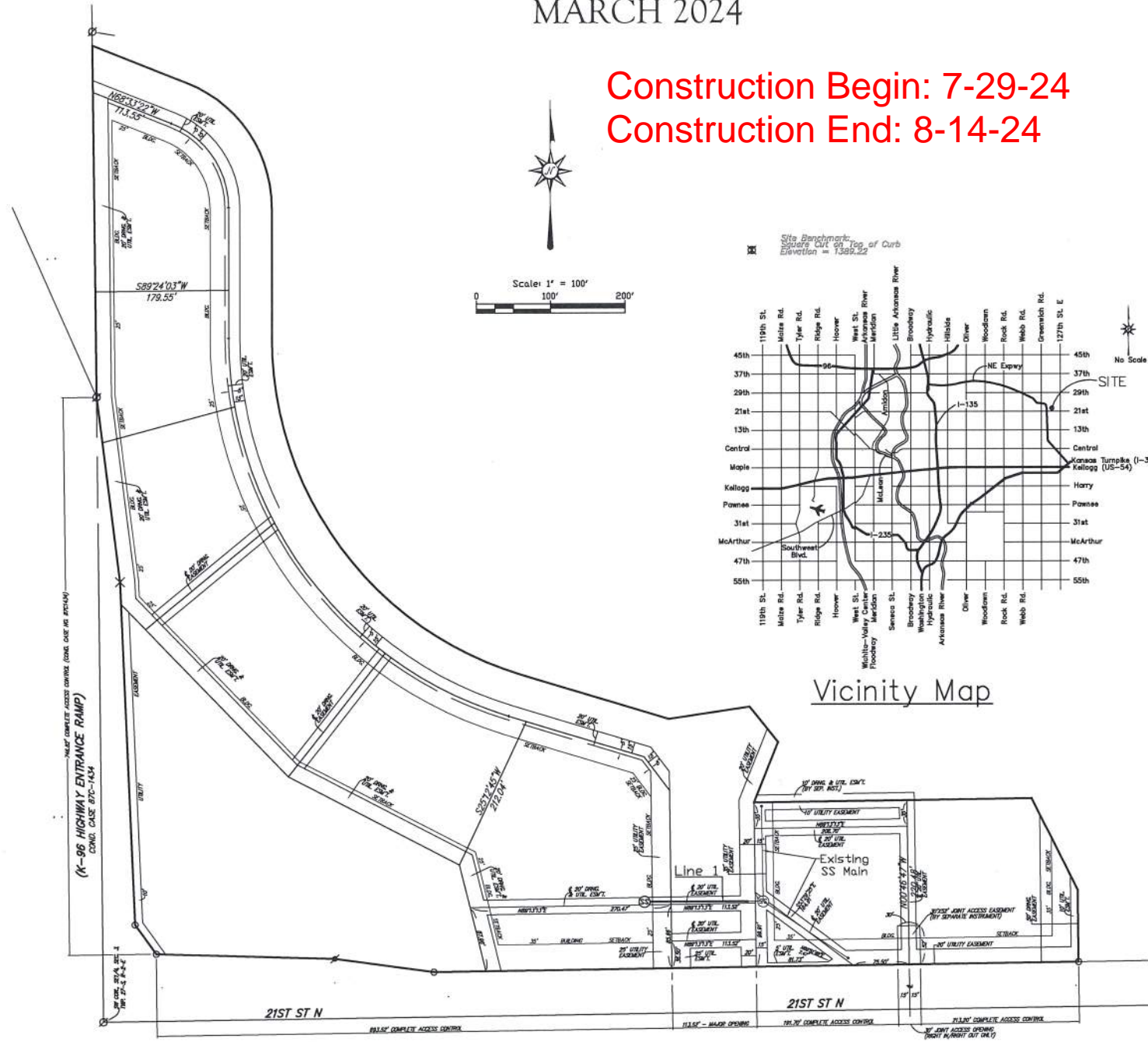
Title Sheet	1
Plan/Profile	2
Precast Manhole	3
Frame and Cover	4
Erosion Control Plan	5-9
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Contractor: Mies Construction  
 Superintendent: Antonio Hernandez  
 Inspector: Brian Peltier  
 Inspection Company: Merestone Surveying, LLC  
 As Built Plans 7/31/24



### GENERAL NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF 12 HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS.  
 KANSAS ONE-CALL 1-316-687-2470  
 THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:  
 AT&T 1-800-246-8464  
 BLACK HILLS ENERGY 1-800-694-8989  
 CITY OF WICHITA WATER & SEWER 1-316-268-8821  
 CITY OF WICHITA STORMWATER 1-316-268-4090  
 CITY OF WICHITA TRAFFIC 1-316-268-4034  
 COX COMMUNICATIONS 1-888-249-3530  
 KANSAS GAS SERVICE 1-888-482-4950  
 ENERGY 1-800-544-4857
- UTILITY SERVICE LINES, POLES, ETC., ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE CITY ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ADJUTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF 10 DAYS NOTICE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- THE ENGINEERING DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FINAL GRADES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE INSPECTING ENGINEER AND DANWITA REINHARDT WITH THE CITY OF WICHITA AT 316-650-0740 WITH THE ANTICIPATED CONSTRUCTION START DATE AND NOTIFY THEM OF PROJECT COMPLETION. STAKING AND INSPECTION FOR THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER, MIKE ARMOUR AT [TRAFFIC@CITYOFWICHITA.GOV](mailto:TRAFFIC@CITYOFWICHITA.GOV) BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE US DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL ELEVATIONS SHOWN ARE NAVD 88.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.
- ALL APPLICABLE FEES (TAP, EQUITY, IN LIEU OF MAIN BENEFIT) MUST BE PAID BEFORE ANY CONNECTIONS CAN BE MADE ON THIS PROJECT. QUOTES CAN BE OBTAINED ON FEES BY CALLING 316-268-4555.
- CITY MAINTENANCE OF SANITARY SEWER MAIN ENDS AT LAST STRUCTURE WITHIN THE EASEMENT OR RIGHT-OF-WAY.
- ALL STUBS AND CAPPED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
- CONNECTING TO EXISTING MANHOLES:  
 PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS. WHERE THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL REMOVE THE STUB AND PLUG THE HOLE, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB, THE CONTRACTOR SHALL CORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST TO CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.
- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPENINGS OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.
- CONTRACTOR SHALL PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS FLOW OF SEWAGE THROUGH CONSTRUCTION. CONTRACTORS PROPOSED METHOD FOR MAINTAINING SEWAGE FLOW SHALL BE SUBMITTED AND APPROVED BY THE SEWER MAINTENANCE DIVISION (316-268-4073) PRIOR TO STARTING AND BY-PASSING OF SEWAGE FLOWS.
- ANY OVER EXCAVATION FROM MANHOLE AND PIPE REMOVAL SHALL BE BACKFILLED WITH A8-3 COMPACTED TO 90-95% ASTM D698.
- CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT EXISTING UTILITIES THROUGH CONSTRUCTION AS APPROVED BY THE UTILITY OWNER AND THE ENGINEER AT THE CONTRACTORS EXPENSE.



Vicinity Map

APPROVED AS NOTED  
 BY WICHITA PUBLIC WORKS ENGINEERING

ENGINEERING: Shawn Mellies 4/17/2024

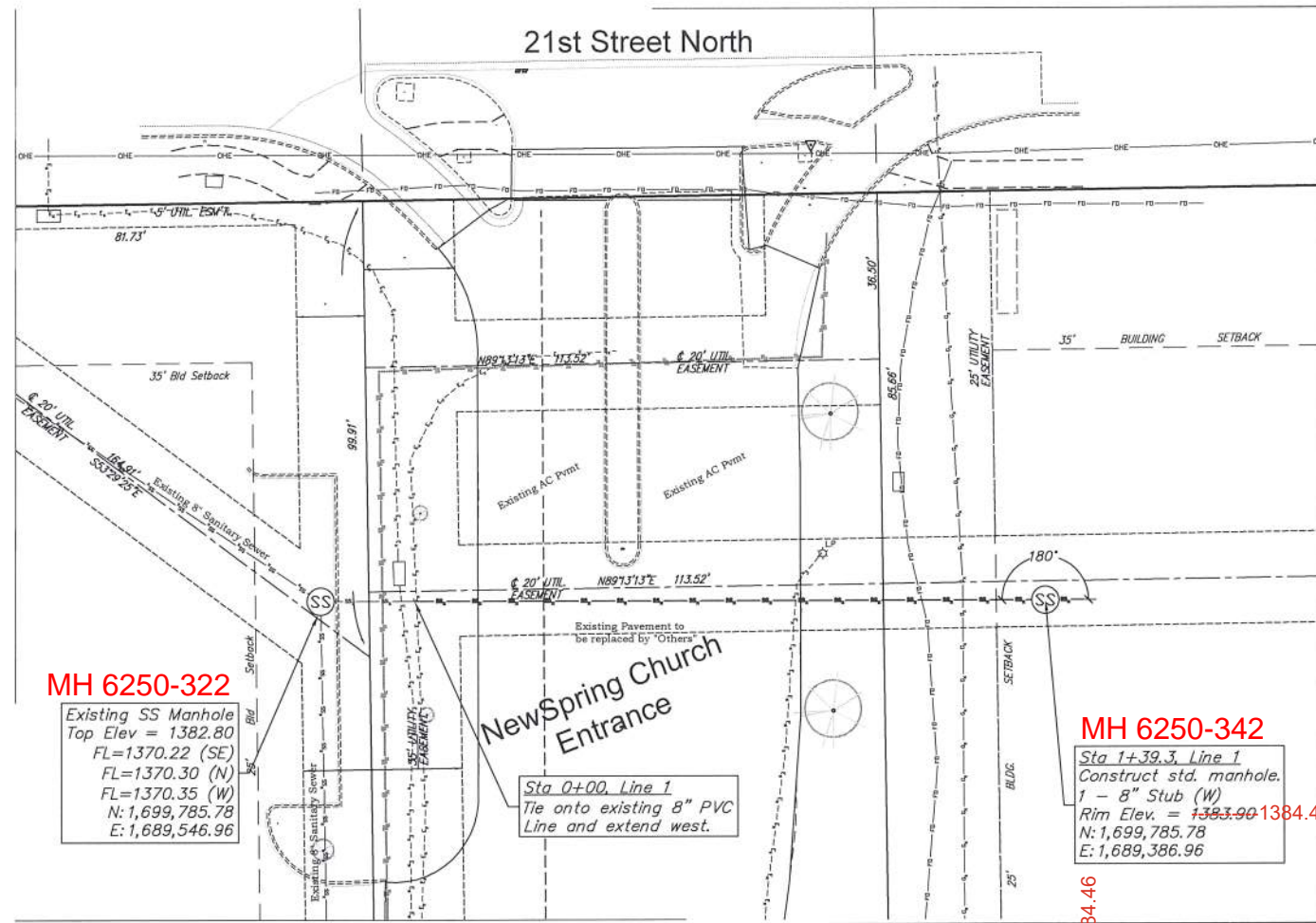
UTILITIES: Scott Macey 4/17/2024

NOTE TO CONTRACTORS

INSPECTION AND TESTING FOR THIS PROJECT ARE TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF KANSAS. NO WORK SHALL BE PERFORMED BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED WITHOUT WRITTEN AUTHORIZATION BY CITY ENGINEERING. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CURRENT CITY OF WICHITA SPECIFICATIONS AND STANDARDS AND SPECIAL PROVISIONS (ON FILE AND AVAILABLE AT WICHITA.GOV).

AN APPROVED COPY OF THESE PLANS  
 SIGNED BY CITY STAFF IS REQUIRED ON SITE.

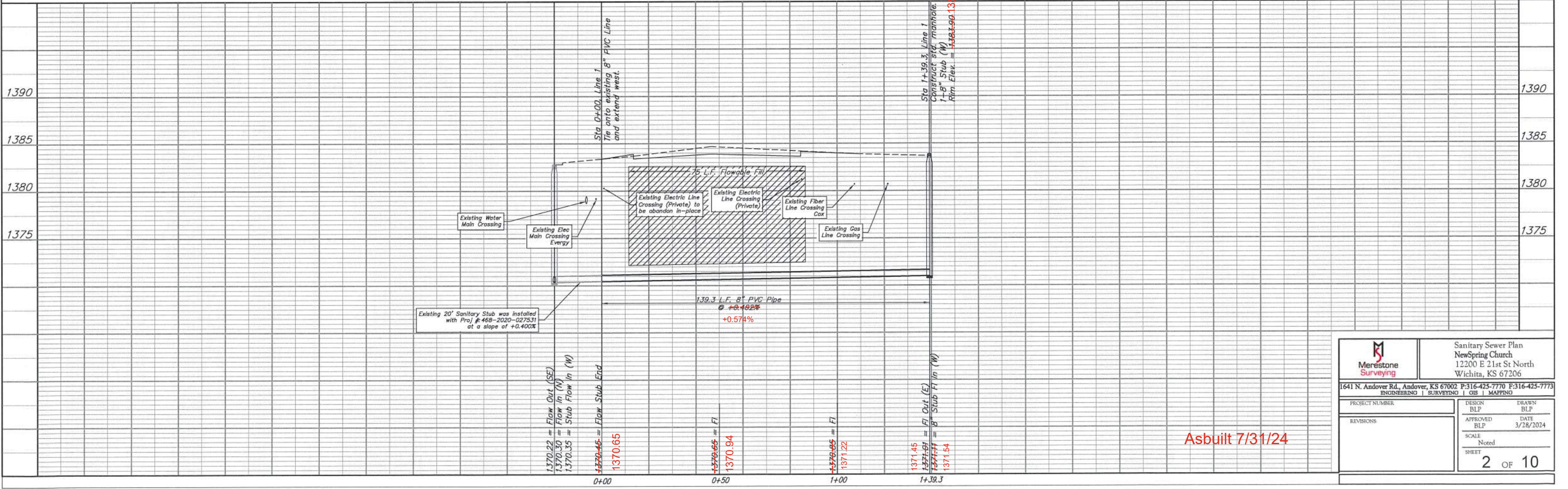
**MERESTONE SURVEYING LLC**  
 1641 N. ANDOVER RD.  
 ANDOVER, KS 67002  
 P: 316.425.7770  
 F: 316.425.7773  
 WWW.MERESTONEKS.COM



SCALE:  
1" = 40' HORIZONTAL  
1" = 5' VERTICAL



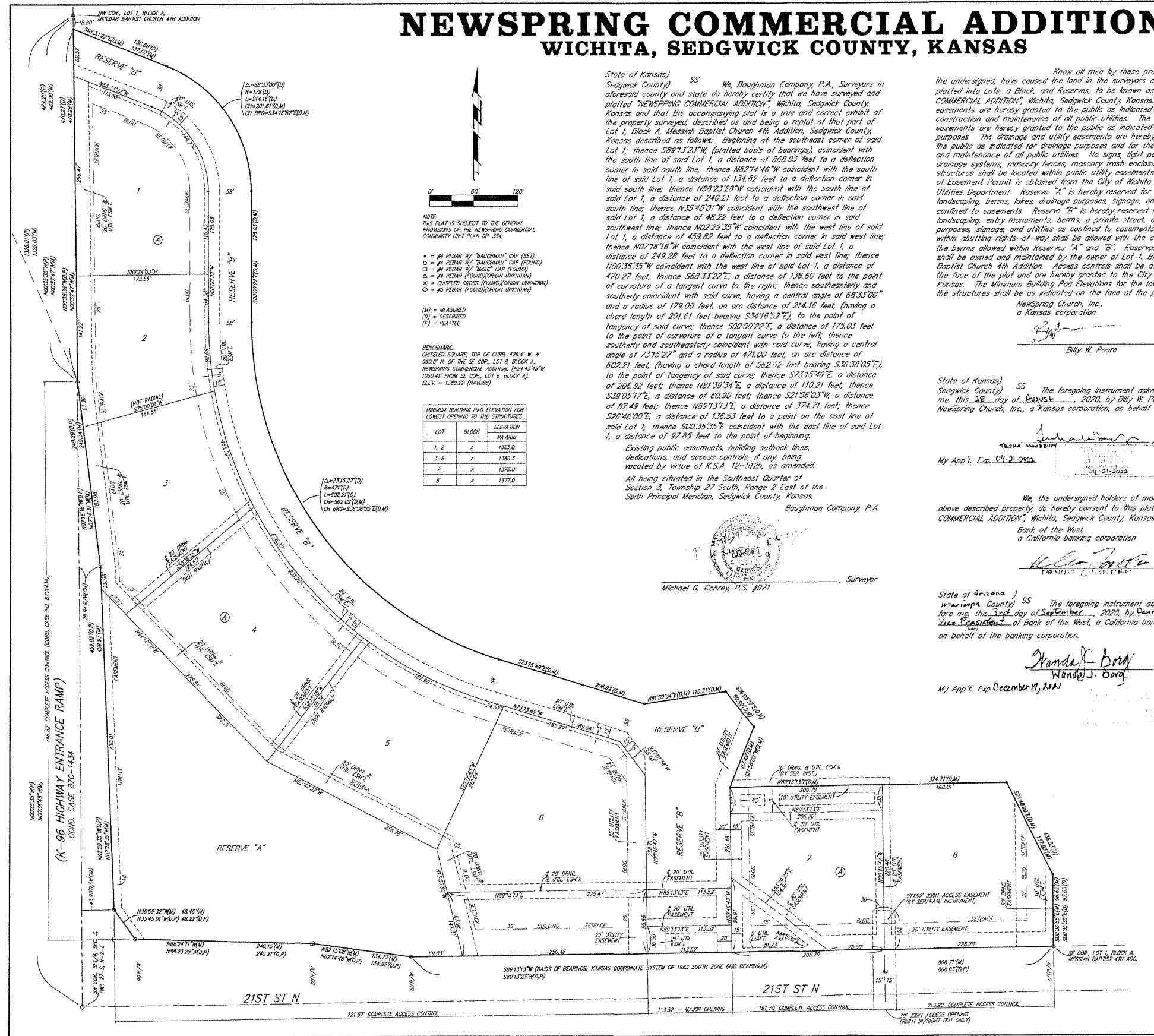
Built Per plan except where noted



Asbuilt 7/31/24

		Sanitary Sewer Plan NewSpring Church 12200 E 21st St North Wichita, KS 67206	
1641 N. Andover Rd., Andover, KS 67002 P:316-425-7770 F:316-425-7773 ENGINEERING   SURVEYING   GIS   MAPPING			
PROJECT NUMBER	DESIGN	BLP	DRAWN
REVISIONS	APPROVED	BLP	DATE
	SCALE	Noted	
	SHEET	2 OF 10	

# NEWSPRING COMMERCIAL ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas) SS We, Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify that we have surveyed and platted "NEWSPRING COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as and being a replat of that part of Lot 1, Block A, Messiah Baptist Church 4th Addition, Sedgwick County, Kansas described as follows: Beginning at the southeast corner of said Lot 1; thence S89°13'23"W (platted basis of bearings), coincident with the south line of said Lot 1, a distance of 868.03 feet to a deflection corner in said south line; thence N82°14'46"W coincident with the south line of said Lot 1, a distance of 134.82 feet to a deflection corner in said south line; thence N88°23'28"W coincident with the south line of said Lot 1, a distance of 240.21 feet to a deflection corner in said south line; thence N35°45'01"W coincident with the southwest line of said Lot 1, a distance of 48.22 feet to a deflection corner in said southwest line; thence N02°29'35"W coincident with the west line of said Lot 1, a distance of 459.82 feet to a deflection corner in said west line; thence N07°16'16"W coincident with the west line of said Lot 1, a distance of 249.28 feet to a deflection corner in said west line; thence N00°35'35"W coincident with the west line of said Lot 1, a distance of 470.27 feet; thence S68°33'22"E, a distance of 136.60 feet to the point of curvature of a tangent curve to the right; thence southeasterly and southerly coincident with said curve, having a central angle of 68°33'00" and a radius of 179.00 feet, an arc distance of 214.16 feet, (having a chord length of 201.61 feet bearing S34°16'52"E), to the point of tangency of said curve; thence S00°00'22"E, a distance of 175.03 feet to the point of curvature of a tangent curve to the left; thence southerly and southeasterly coincident with said curve, having a central angle of 73°15'27" and a radius of 471.00 feet, an arc distance of 602.21 feet, (having a chord length of 562.32 feet bearing S36°38'05"E), to the point of tangency of said curve; thence S73°15'49"E, a distance of 206.92 feet; thence N81°39'34"E, a distance of 110.21 feet; thence S39°05'17"E, a distance of 60.90 feet; thence S21°58'03"W, a distance of 87.49 feet; thence N89°13'13"E, a distance of 374.71 feet; thence S26°48'00"E, a distance of 136.53 feet to a point on the east line of said Lot 1; thence S00°35'35"E coincident with the east line of said Lot 1, a distance of 97.85 feet to the point of beginning.

Existing public easements, building setback lines, dedications, and access controls, if any, being vacated by virtue of K.S.A. 12-512b, as amended.

All being situated in the Southeast Quarter of Section 3, Township 27 South, Range 2 East of the Sixth Principal Meridian, Sedgwick County, Kansas.

Baughman Company, P.A.  
Surveyor

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, a Block, and Reserves, to be known as "NEWSPRING COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted to the public as indicated for the construction and maintenance of all public utilities. The drainage easements are hereby granted to the public as indicated for drainage purposes. The drainage and utility easements are hereby granted to the public as indicated for the construction and maintenance of all public utilities. No signs, light poles, private drainage systems, masonry fences, masonry trash enclosures or other structures shall be located within public utility easements unless a Use of Easement Permit is obtained from the City of Wichita Public Works & Utilities Department. Reserve "A" is hereby reserved for open space, landscaping, berms, lakes, drainage purposes, signage, and utilities as confined to easements. Reserve "B" is hereby reserved for open space, landscaping, entry monuments, berms, a private street, drainage purposes, signage, and utilities as confined to easements. No regrading within abutting rights-of-way shall be allowed with the construction of the berms allowed within Reserves "A" and "B". Reserves "A" and "B" shall be owned and maintained by the owner of Lot 1, Block A, Messiah Baptist Church 4th Addition. Access controls shall be as depicted on the face of the plat and are hereby granted to the City of Wichita, Kansas. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Newspring Church, Inc.,  
a Kansas corporation

This plat of "NEWSPRING COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020.  
Wichita-Sedgwick County Metropolitan Area Planning Commission

\_\_\_\_\_, Chair  
Charles A. Warren

\_\_\_\_\_, Secretary  
Scott A. Wadle

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_, Mayor  
Brandon J. Whipple

\_\_\_\_\_, City Clerk  
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by Billy W. Poore, Treasurer of Newspring Church, Inc., a Kansas corporation, on behalf of the corporation.

\_\_\_\_\_, Notary Public  
Trisha Woodbury

My App'l. Exp. 04-21-2022

\_\_\_\_\_, Deputy County Surveyor  
Tricia L. Robello, P.S. #1246

We, the undersigned holders of mortgages on the above described property, do hereby consent to this plat of "NEWSPRING COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas.

\_\_\_\_\_, Vice President  
Bank of the West, a California banking corporation

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_, County Clerk  
Kelly B. Arnold

State of Kansas) SS The foregoing instrument acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2020, by Deane London, Vice President of Bank of the West, a California banking corporation, on behalf of the banking corporation.

\_\_\_\_\_, Notary Public  
Wanda J. Bora

My App'l. Exp. December 17, 2021

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, 2020 at \_\_\_\_\_ o'clock \_\_\_\_\_ M; and is duly recorded.

\_\_\_\_\_, Register of Deeds  
Tonya Buckingham

\_\_\_\_\_, Deputy  
Kenly Zehring