

Street Improvements for

ARCADIA

From the S.L. of Dave's Addition
to Douglas Ave.

Project No.

472-76-245-82164-000-000-001

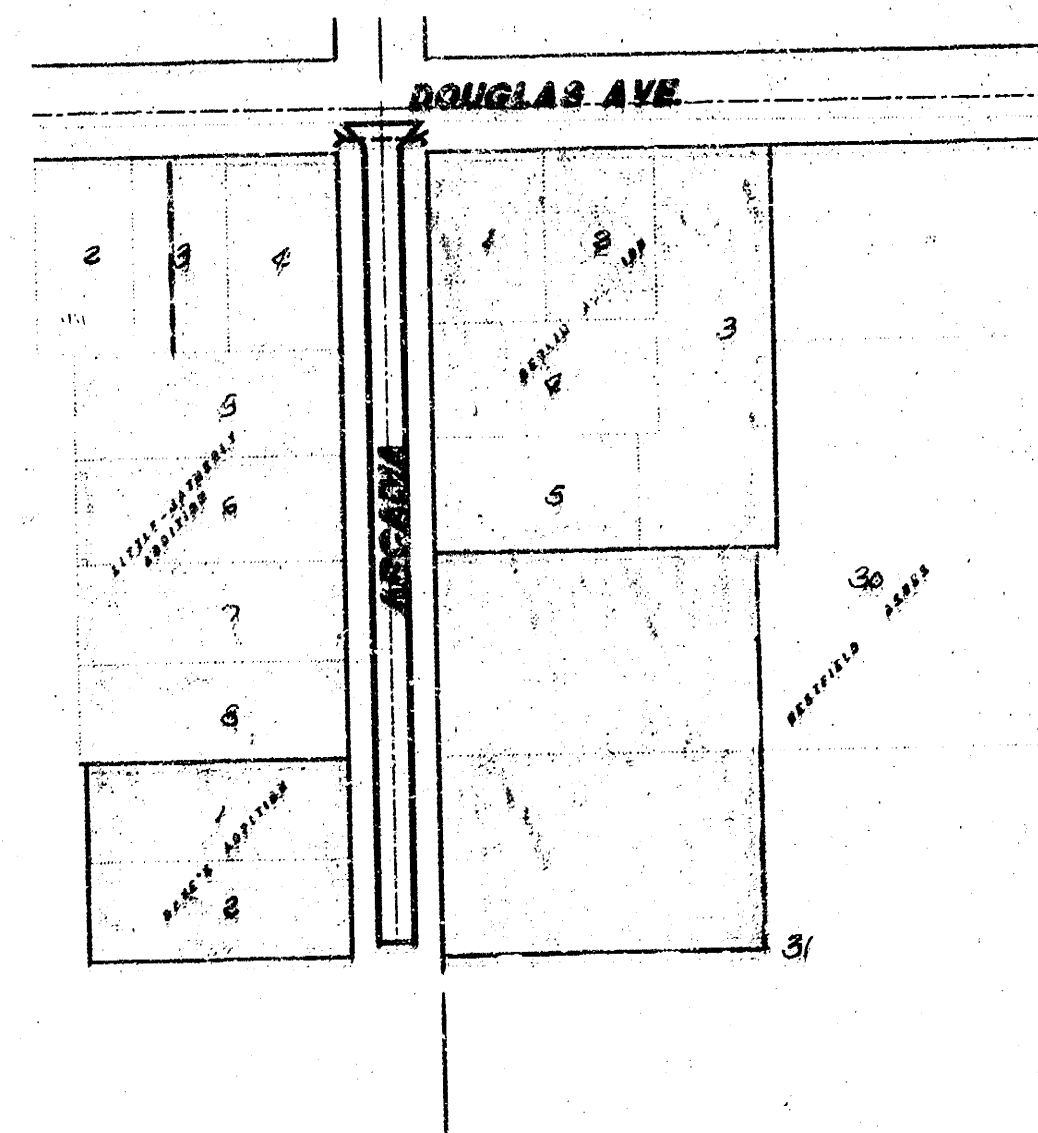
CITY OF WICHITA, KANSAS

Michael E. Lindebak City Engineer

Index Code: 761254

General Notes

1. Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
2. A saw cut of at least one-half the depth of existing surface courses or one-fourth the depth of the existing total pavement thickness shall be provided at locations where proposed construction abuts an existing surface course or pavement for which partial removal of that surface or pavement is required. Sowed joint to facilitate removal within three (3) feet of existing joints will not be permitted and for such instances the limits of removal shall extend to the existing joint. Such saw cuts will not be paid for directly and this cost shall be considered as subsidiary to the removal of the surface or pavement.
3. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
4. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
5. Mailboxes to be removed and replaced as per city specs.
6. The Contractor shall give all adjacent property owners along Arcadia at least 10 days notice prior to proceeding with the construction of the project.
7. Driveway forms shall be presented to each property owner for signature specifying the width and location of the 4" asphaltic concrete driveway to be constructed prior to proceeding with the driveway construction.
8. All disturbed areas within the right of way shall be seeded and fertilized per City Standards.
9. The Contractor shall be cautious when working around sprinkler systems within the right of way and shall remove such systems when necessary as per the City Specifications.
10. The property owners along the west line of Arcadia shall have parking access during construction of the project on the east side of the hedge row east of Arcadia within Lots 1, 4 and 5, Berlin Addition. The contractor shall notify Jesse Berlin 722-6992 or 722-8936 10 days prior to construction of the project.

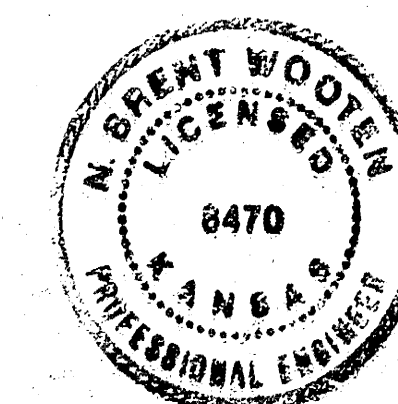


Benefit District

Index

1. Title Sheet
2. Typical Pavement Details
3. Arcadia Street Plan
- 4-5. Cross-Sections
6. Plat of Berlin Addition and of Dave's Addition
7. Plat of Little-Matherly Addition

DRAINAGE BOOKS
1-28-94 MCG
D-212



BAUGHMAN COMPANY P. A.
ENGINEERING & SURVEYING
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

Diagram illustrating the cross-section of a road construction, showing the following layers and dimensions:

- Top Layer:** 4" ASPHALTIC CONCRETE WEARING SURFACE
- Base Layer:** 5" CRUSHED ROCK BASE
- Reinforcement:** 6" FABRIC REINFORCEMENT
- Dimensions:**
 - SLOPE 1/4" PER 1'-0"
 - 12" (width of base layer)
 - 1/8" ROUNDOING
 - 12'-0" (total width of base layer)
 - 1'-0" (width of shoulder)
- Labels:**
 - R/W (Right of Way)
 - CONSTRUCTION
 - GRADE TO MATCH EXISTING SLOPES.

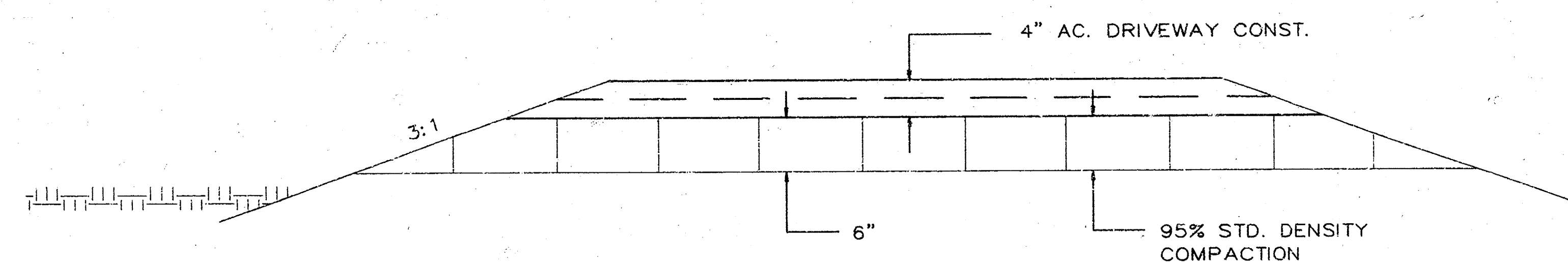
General Notes

FABRIC BASE REINFORCEMENT SHALL BE B X 1100 GEOGRID AS MANUFACTURED BY TENSAR CORPORATION OR APPROVED EQUAL. FABRIC BASE REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CRUSHED ROCK SHALL BE UNIFORMLY GRADED AND CONFORM TO THE FOLLOWING GRADATION.

ROCK QUALITY SHALL BE THE SAME AS SPECIFIED FOR
COARSE AGGREGATE FOR ASPHALT MIXES.

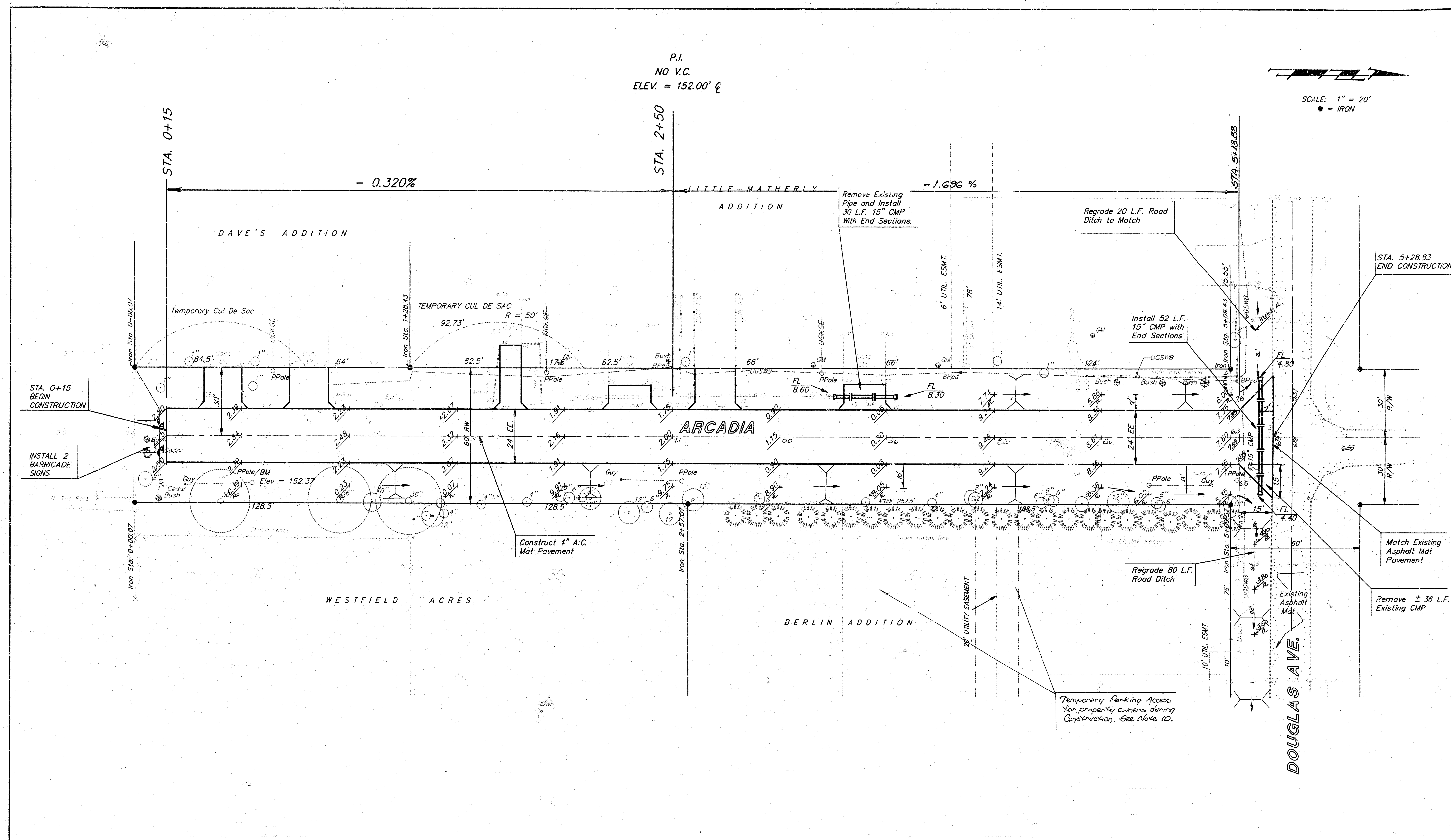
ROCK BASE IS TO BE COMPACTED AND SMOOTHED WITH A STEEL FACED ROLLER PRIOR TO PLACEMENT OF ASPHALT. TACK COAT WILL NOT BE APPLIED TO ROCK BASE.

REINFORCED CRUSHED ROCK BASE WILL BE PAID FOR AT THE SQUARE YARD PRICE FOR 5" THICKNESS.



PLAN VIEW TYPICAL DRIVEWAY

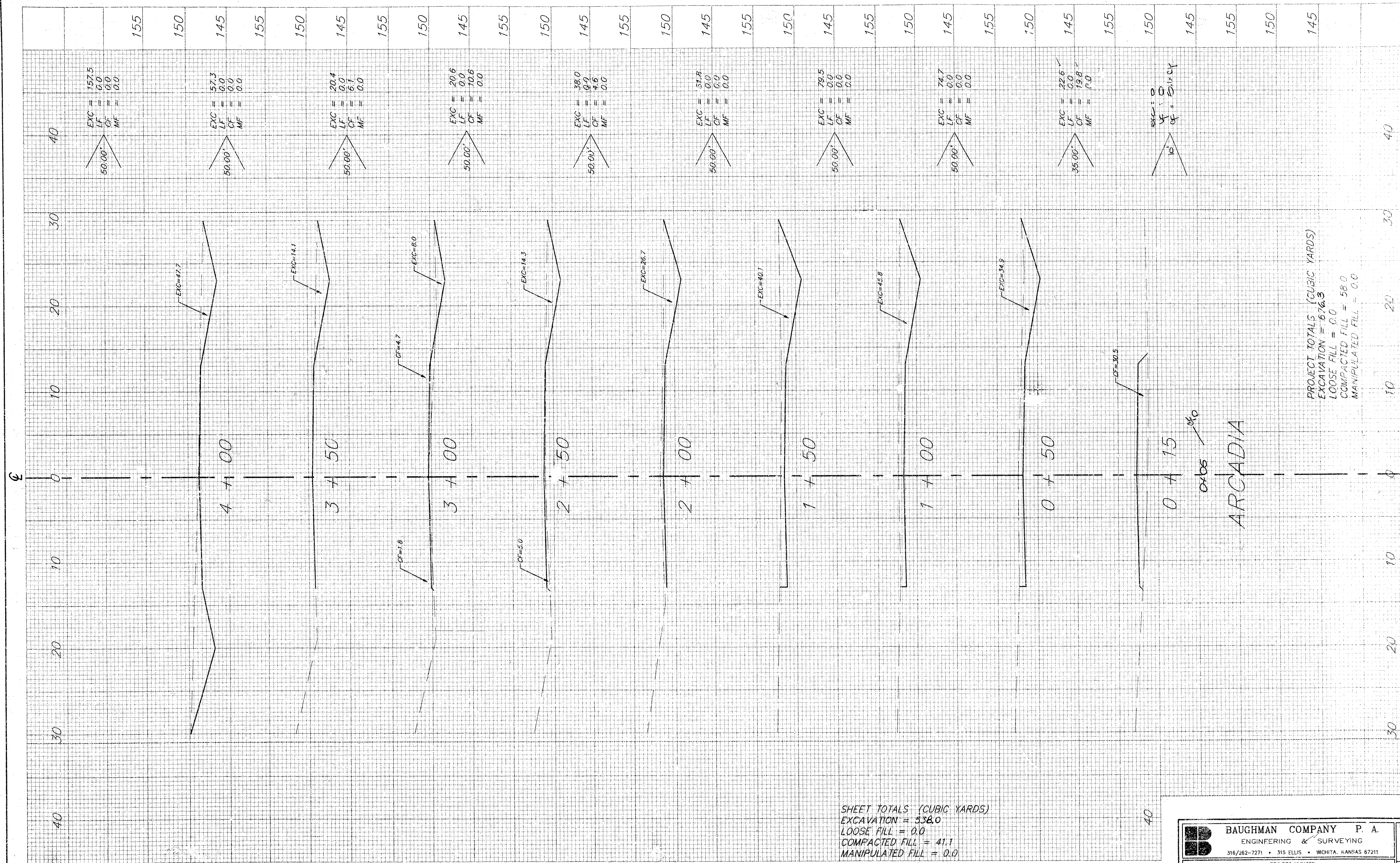
24' ASPHALTIC CONCRETE ROADWAY WITH REINFORCED CRUSHED ROCK BASE City of Wichita, Kansas					
	BAUGHMAN COMPANY P. A. ENGINEERING & SURVEYING 316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211				REV.
	PROJECT NUMBER				SHEET 2 OF 7
	472-76-245-82164-000-000-001				
DESIGN	DRAWN	APPROVED	DATE	SCALE	
10/1/92	10/1/92	10/1/92	11/9 1992	NONE	



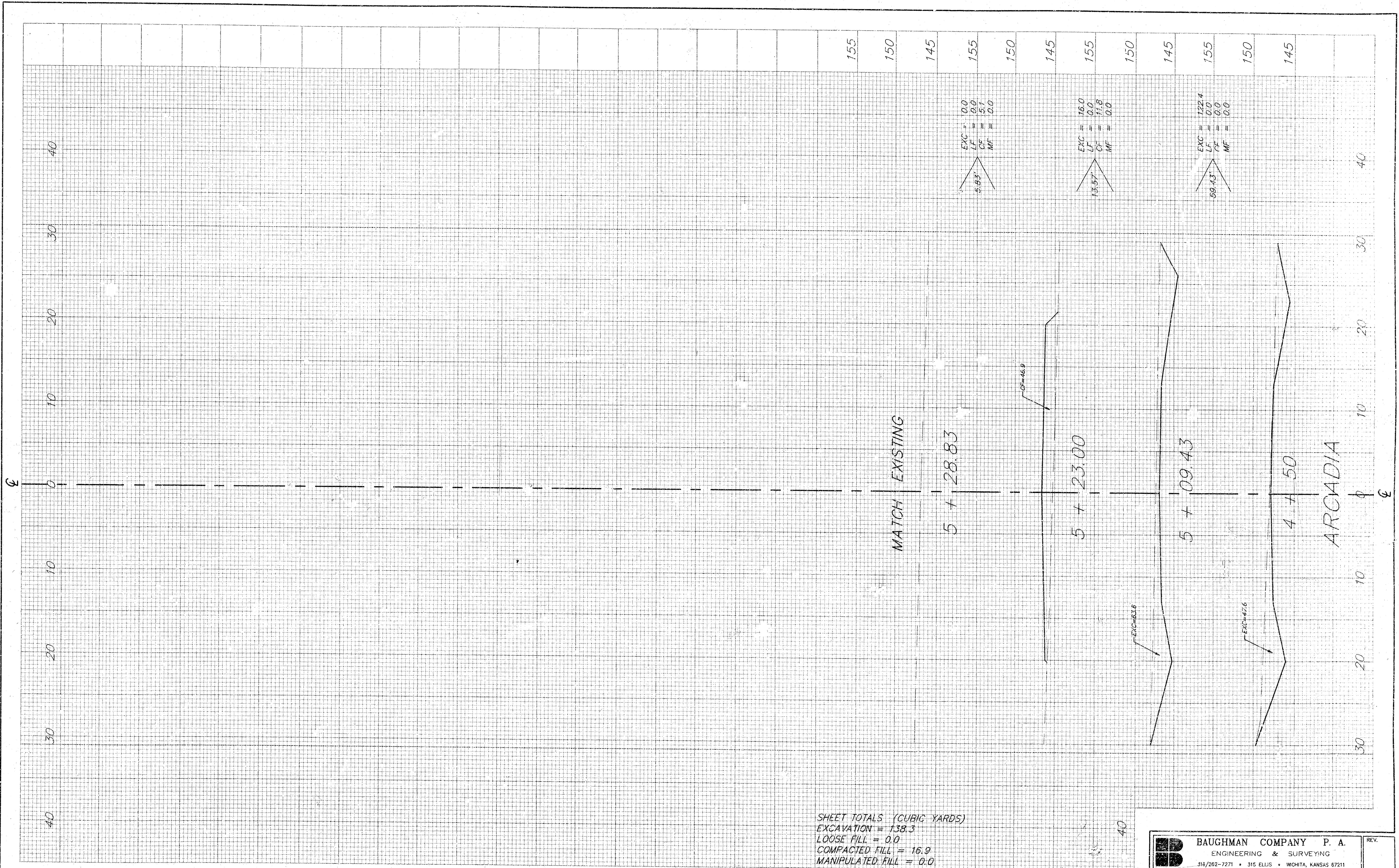
BENCH MARK: R.R. spike in N. side P.P. 208' E.
of N.W. corner Lot 29, Westfield
Addition. Elevation = 148.04

Earthwork Quantities			
Excavation =	676.3 C.Y.	Compacted Fill =	580 C.Y.
+10% =	67.6 C.Y.	+10% =	58 C.Y.
Total =	743.9 C.Y.	Total =	638 C.Y.

ARCADIA			
BAUGHMAN COMPANY P. A. ENGINEERING & SURVEYING 315/282-7271 • 315 ELLIS • WICHITA, KANSAS 67211			
PROJECT NUMBER 472-76-245-82164-000-000-001			
DESIGN ALM	DRAWN KLK	UTIL. CHECK'D ✓	DATE AUG 1992
		SCALE NOTED	SHEET 3 OF 7



SHEET TOTALS (CUBIC YARDS)
 EXCAVATION = 536.0
 LOOSE FILL = 0.0
 COMPACTED FILL = 41.1
 MANIPULATED FILL = 0.0



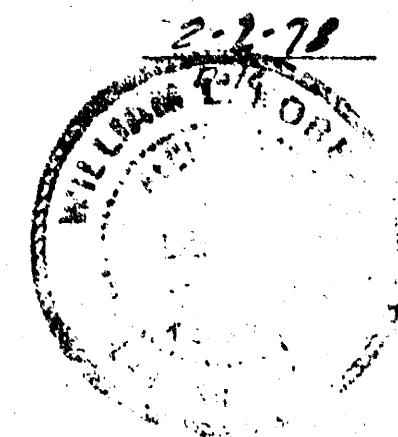
SHEET TOTALS (CUBIC YARDS)
 EXCAVATION = 138.3
 LOOSE FILL = 0.0
 COMPACTED FILL = 16.9
 MANIPULATED FILL = 0.0

	BAUGHMAN COMPANY P. A. ENGINEERING & SURVEYING 315/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211		REV.
	PROJECT NUMBER 472-76-245-82184-000-000-001		SHEET
			5/7

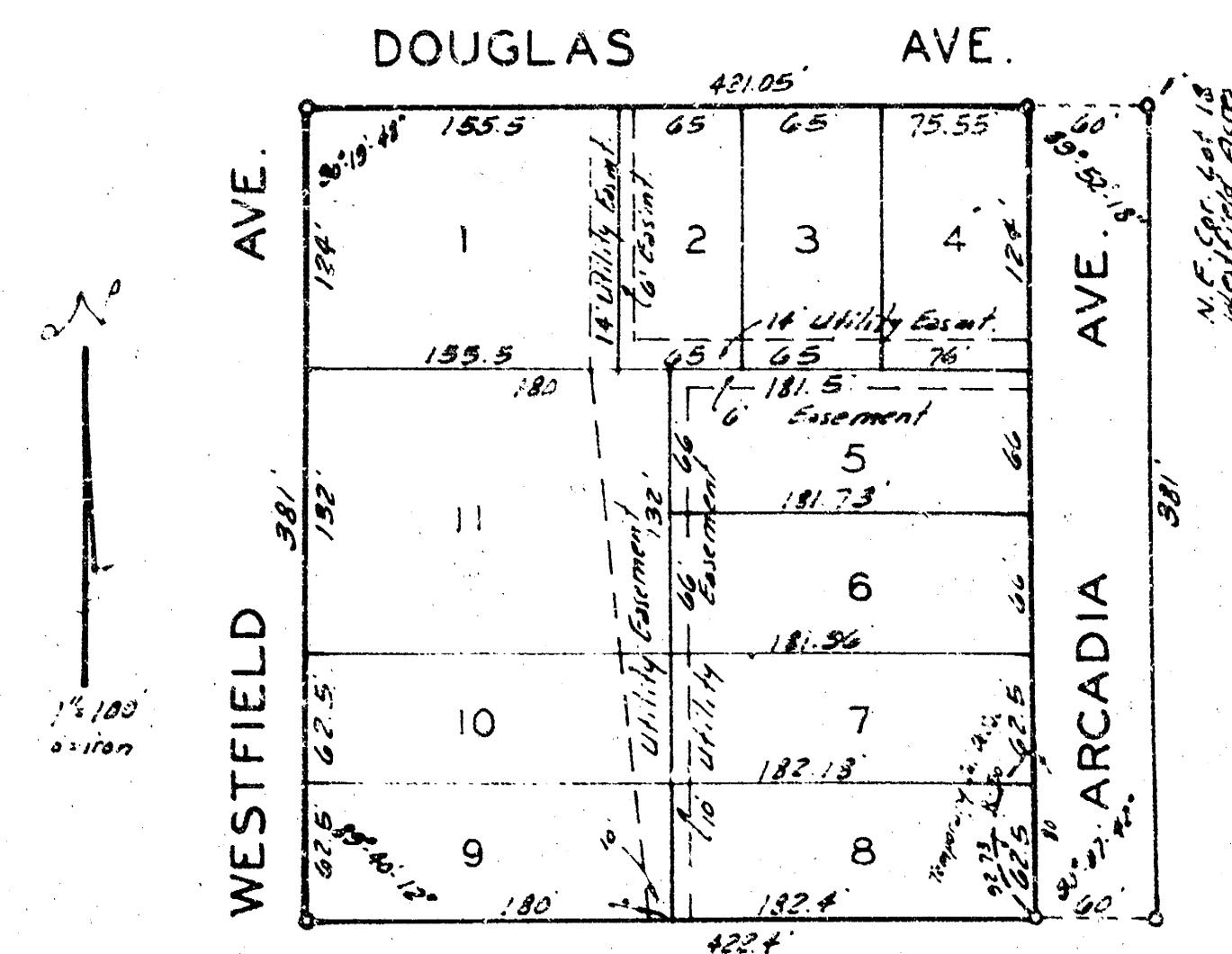
LITTLE-MATHERLY ADDITION

WICHITA, KANSAS.

State of Kansas, } S.S. We, Bauchman Community
Sedgwick County, } Surveyors in aforesaid county and state do hereby
certify that we have surveyed and plotted "LITTLE-
MATHERLY ADDITION" Wichita, Kansas, and that
the accompanying plat is a true and correct exhibit
of the property surveyed, described as and being
a replat of Lots 17 and 18 and the portion of
street front of New Hope South and East of the
north line of said lot 18 between west and the
key line of said lot 18 extending north to their
intersections, all in Sedgwick County, Kansas,
County, Kansas, being located in the SE 1/4 of Sec 20, Twp 27-S,
R-1-W.



William E. Harder Surveyor
William E. Harder



Know all men by these presents
that we Lloyd Gilbert Little, Mary E. Little
his wife, and Josephine Matherly, a widow, have
caused the land described in the surveyors certificate
to be plotted into lots and a street to be known as
"LITTLE-MATHERLY ADDITION" Wichita, Kansas.
The street is hereby dedicated to and for the use
of the public. Easements are hereby granted
as indicated for the construction and maintenance
of all public utilities.

Lloyd Gilbert Little

Mary E. Little

Josephine E. Matherly
Josephine E. Matherly

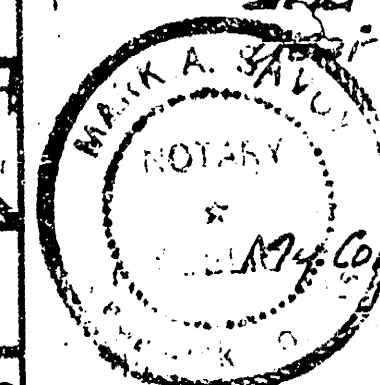
This plat of "LITTLE-MATHERLY
ADDITION" Wichita, Kansas, has been submitted to
the Wichita-Sedgwick County Metropolitan Area Planning Commission and
when voted upon for approval resulted in a tie vote and therefore a
failure to approve the plat.
Dated this 30th day of March 1978.
Wichita-Sedgwick County Metropolitan Area Planning Commission.

Robert A. Lavin Chairman
Robert A. Lavin
Robert A. Lavin Secretary

This plat approved and all
dedications shown herein accepted by the Board
of Commissioners of the City of Wichita, Kansas,
this 4th day of April 1978.

Connie A. Peters Mayor
Connie A. Peters
Dorinda C. Enrice City Clerk

State of Kansas, } S.S. Be it remembered that on this
Sedgwick County, } 9th day of January 1978, before me
a notary public in aforesaid county and state
came Lloyd Gilbert Little and Mary E. Little
his wife, and Josephine E. Matherly a widow to
me known to be the same persons who executed
the foregoing instrument of writing and duly
acknowledged the execution of the same
testimony whereof I have hereunto set my hand
and affixed my notarial seal the day and
year above written.



Mark A. Smith Notary Public
Mark A. Smith
My Commission Expires 11/1/80

This plat approved and all
dedications shown herein accepted by the Board
of Commissioners, Sedgwick County, Kansas, this
day of 1978.

Berrell Patrick Chairman
Berrell Patrick
John Hale Commissioner
John Hale
Tom Scott Commissioner
Tom Scott
Dorinda K. White County Clerk

State of Kansas, } S.S. This is to certify that this plat
Sedgwick County, } was filed for record in the office of the Register
of Deeds this 13th day of 1978,
at 4:00 o'clock P.M. and is duly recorded.

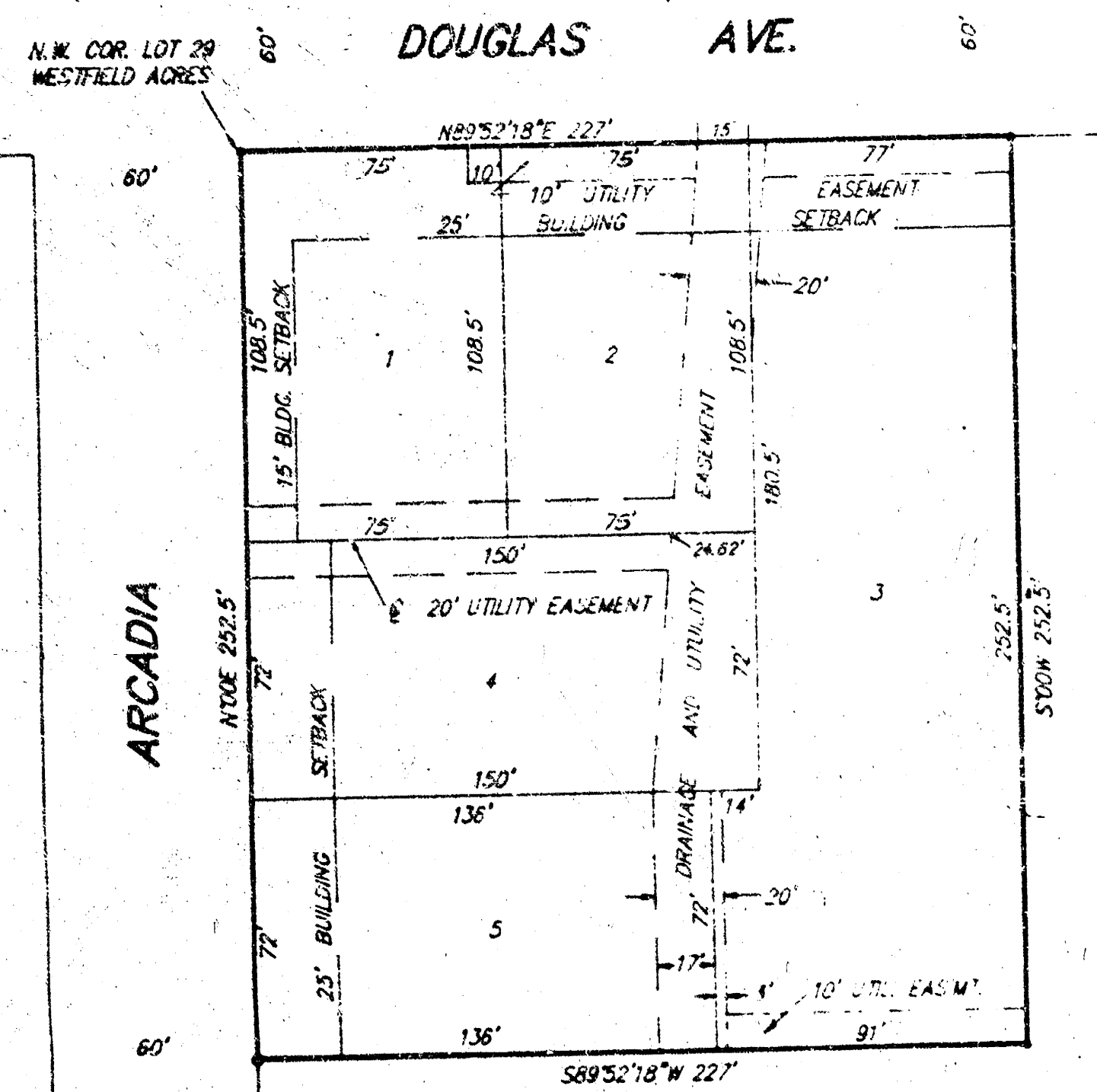
Bette F. McCull Register of Deeds
Bette F. McCull
Pat Kottler Deputy

Entered on transfer record
this day of 1978.

Dorinda K. White County Clerk

BERLIN ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) do hereby certify that we have surveyed
and platted "BERLIN ADDITION", Wichita, Sedgwick County, Kan-
sas, and that the accompanying plat is a true and correct exhibit
of the property surveyed, described as and being a replat of the west
227 feet of Lot 29, and the west 227 feet of the N.1/2 of Lot 30,
Westfield Acres, Sedgwick County, Kansas.
Existing public easements are hereby vacated by virtue of KSA
12-512 (b).
All being situated in the S.E. 1/4 of Sec. 20, Twp. 27-S, R-1-W
of the 6th P.M., Sedgwick County, Kansas.

Date 12/11/91
Baughman Company, P.A.
Gregory F. Severns
Surveyor

Know all men by these presents that we
the undersigned, have caused the land described in
the certificate to be platted into lots to be known as "BERLIN ADDITION",
Wichita, Sedgwick County, Kansas. The utility easements are hereby
granted as indicated for the construction and maintenance of all
public utilities. The drainage easement is hereby granted as indica-
ted for drainage purposes.

Jesse Berlin
Jodi L. Berlin

State of Kansas) SS The foregoing instrument acknowledged be-
fore me this 22nd day of October, 1991, by Jesse Berlin
and Jodi L. Berlin, husband and wife.

My App't Exp. 14 May 1992
Mark A. Savoy
Notary Public

We, the undersigned, holders of a mortgage
on the above described property, do hereby consent to this plat of
"BERLIN ADDITION", Wichita, Sedgwick County, Kansas.

Capital Federal Savings & Loan Association
Robert V. Shipp
President

State of Kansas) SS The foregoing instrument acknowledged before
me this 12th day of November, 1991, by Robert V. Shipp
and Vice-Pres. of Capital Federal Savings & Loan Association.

My App't Exp. 1-8-94
Connie J. Nicholls
Notary Public

State of Kansas) SS This is to certify that this plat has been
Sedgwick County) filed for record in the office of the Register of Deeds, this 12th day
of February, 1992, at 10:00 clock A.M., and is duly recorded.

Pat Kettler
Register of Deeds

Deputy

This plat of "BERLIN ADDITION", Wich-
ita, Sedgwick County, Kansas, has been submitted to and approved
by the Wichita-Sedgwick County Metropolitan Area Planning Commis-
sion, Wichita, Kansas.
Dated this 22nd day of October, 1991,
Wichita-Sedgwick County Metropolitan Area Planning Commission.

George D. Sherman
Chairman

Marvin S. Krout
Secretary

This plat approved and all dedications shown
hereon accepted by the City Council of the City of Wichita, Kansas,
this 24th day of January, 1992.

Bob Knight
Mayor

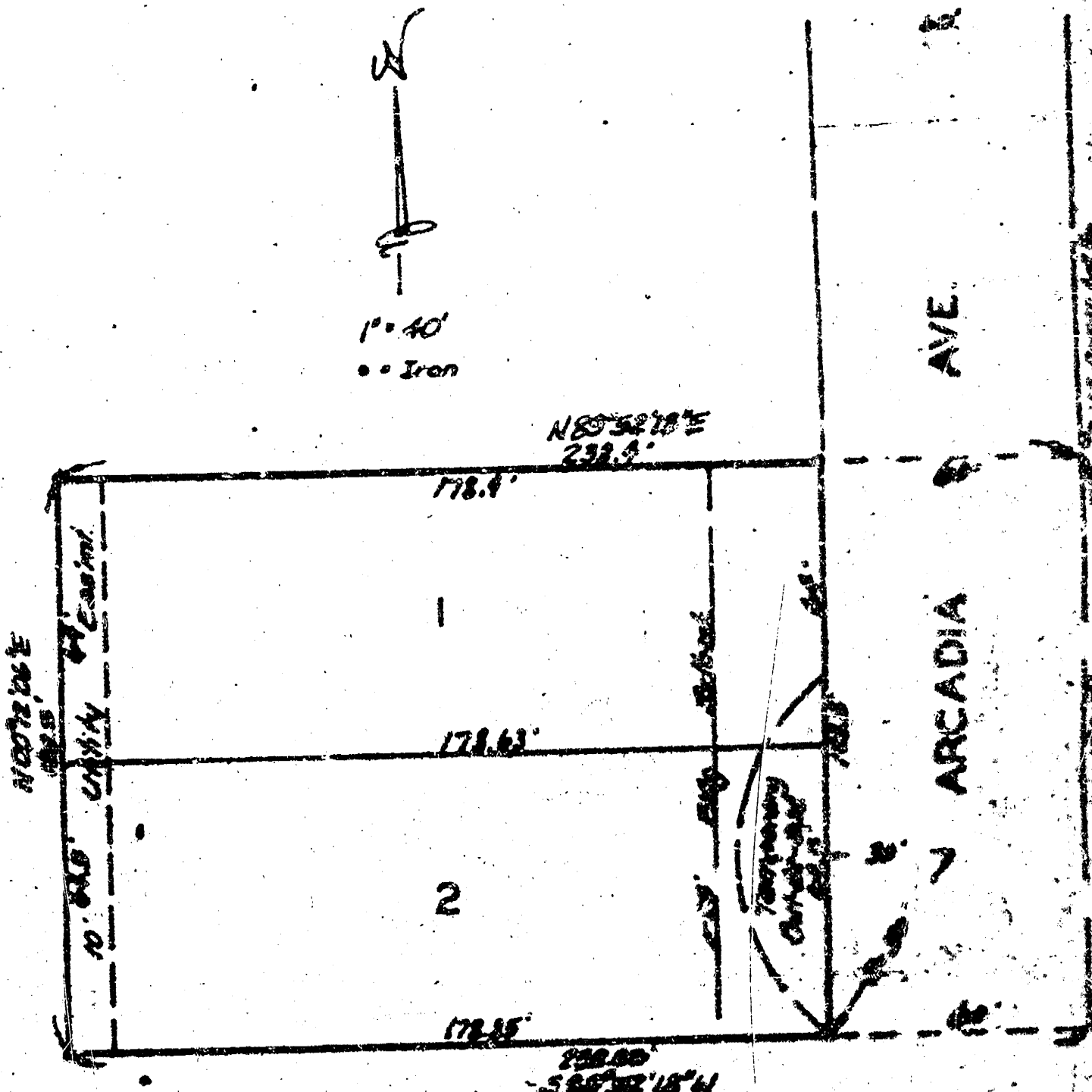
Pat Burnett
City Clerk

Entered on transfer record this 4th day
of February, 1992.

Don Wright
County Clerk

DAVE'S ADDITION

WICHITA, KANSAS



State of Kansas) SS We, Baughman Company, P.A., Surveyors
Sedgwick County) do hereby certify that we have surveyed
and platted "DAVE'S ADDITION", Wichita, Kansas, and that the accompanying plat is a true and correct exhibit
of the property surveyed, described as and being a replat of the north 1/2 of Lot 16, except the
east 100 feet thereof, Westfield Acres, Sedgwick County,
Kansas, being situated in the S.E. 1/4 of Sec. 20, Twp. 27-S,
R-1-W of the 6th P.M., Sedgwick County, Kansas.

Baughman Company, P.A.
Gregory F. Severns
Surveyor

Know all men by these presents that
the undersigned, have caused the land described in
the certificate to be platted into lots and
the easements known as "DAVE'S ADDITION", Wichita, Kansas,
and that the accompanying plat is a true and correct exhibit
of the property surveyed, described as and being a replat of the north 1/2 of Lot 16, except the
east 100 feet thereof, Westfield Acres, Sedgwick County,
Kansas, being situated in the S.E. 1/4 of Sec. 20, Twp. 27-S,
R-1-W of the 6th P.M., Sedgwick County, Kansas.

Richard E. Fisher and Ruby M. Fisher, husband and wife.

State of Kansas) SS The foregoing instrument acknowledged
before me this 22nd day of November, 1991, by
Richard E. Fisher and Ruby M. Fisher, husband and wife.

My App't Exp. 1-8-94
Richard E. Fisher
Notary Public

This plat of "DAVE'S ADDITION",
Wichita, Kansas, has been submitted to and approved
by the Wichita-Sedgwick County Metropolitan Area Planning
Commission, Wichita, Kansas.
Dated this 23rd day of November, 1991,
Wichita-Sedgwick County Metropolitan Area Planning Commission.

Chairman
Secretary

This plat approved and all dedications
shown hereon accepted by the City Council of the City of
Wichita, Kansas, this 13th day of January, 1992.

Mayor
Deputy City Clerk

Entered on transfer record this 19th
day of March, 1992.

Register of Deeds

State of Kansas) SS This is to certify that this plat has
Sedgwick County) been filed for record in the office of the Register of Deeds, this 13th day of
March, 1992, at 2:45 o'clock P.M., and is duly recorded.

Register of Deeds

Deputy