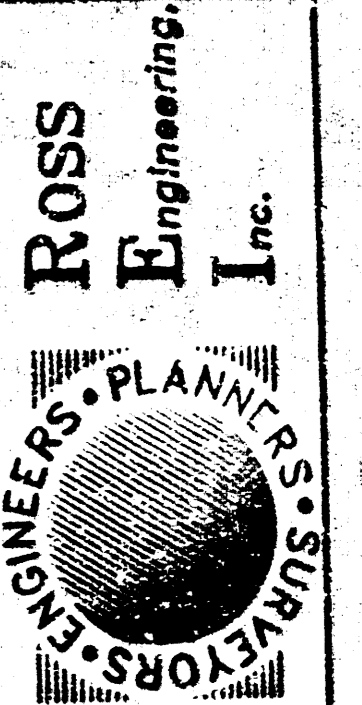


CITY OF WICHITA, KANSAS
 MICHAEL E. LINDEBAK, P.E., CITY ENGINEER
E. 37TH ST. NORTH PAVING IMPROVEMENTS
 IN
 PINEHURST APARTMENTS
 PRIVATE PROJECT NO. 115PPP
 INDEX CODE 607879



642 N. Street
 Suite 201 NE 68508
 Wichita, KS
 Phone 402-271-2077
 FAX 402-271-2078

No.	Revisions	Date

Scale NONE
 Drawn SAK
 Checked JTL
 Approved JTL

Job # 888-52
 File # 8880527
 Date 8/28/98
 Date 9/18/98

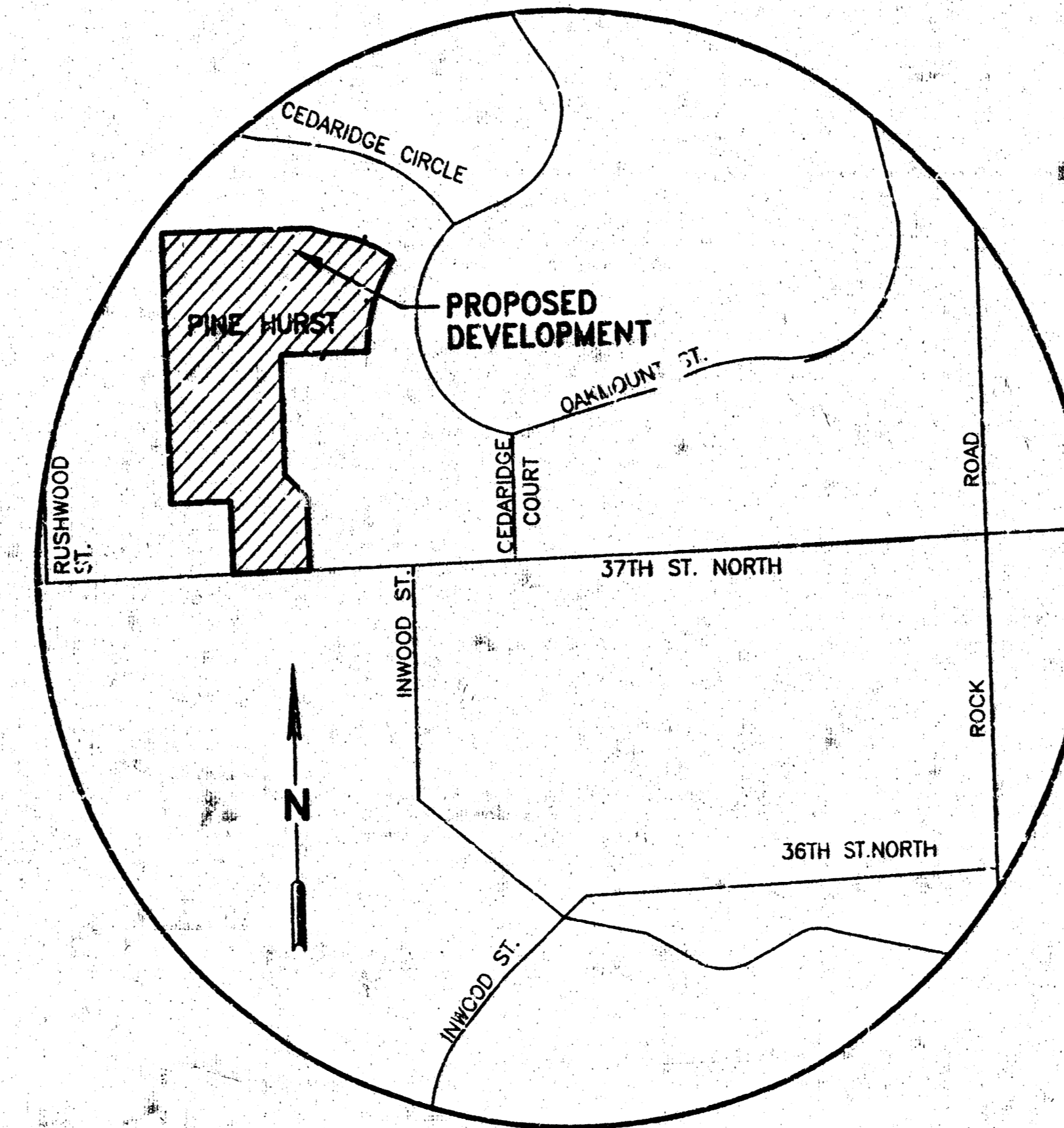
LEGAL DESCRIPTION

Lot 2, Block 1, The Ritz, an addition to the City of Wichita, Sedgwick County, Kansas

GENERAL NOTES

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these Construction Drawings are based upon records of the various utility companies. This information is not to be relied upon as being exact or complete. It shall be the responsibility of the respective Contractor to notify ONE-CALL at (316) 687-2470, a minimum of 48 hours in advance of any excavation to request the exact field locations of the existing underground utilities. It shall be the responsibility of the respective Contractor to relocate all existing utilities which conflict with the proposed improvements as shown on the Construction Drawings.
- The Contractor must notify the following in case of an emergency:

Cablevision	(316) 262-2270 or (316) 263-2061
KGE - Gas	(316) 263-7511
KGE - Electric	(316) 264-1141
Peoples Natural Gas	(316) 942-8350 or (316) 263-8161
Southwestern Bell Telephone Co.	1-(316) 571-2611
City of Wichita Water Department	(316) 268-4908
City of Wichita Sewer Maintenance	(316) 268-4071
- City of Wichita Benchmark.
 Brass Cap set in Concrete
 Approximately 139' East of Southeast Corner of Teal Cove
 2nd Addition, and approximately 51' North of Centerline of East 37th Street North.
 Elevation: 187.63 (City of Wichita Datum)
- Preliminary Surveys: Savoy, Ruggles & Bohn
- Trench excavation and backfill shall be mechanically tamped and tested. Compaction requirements shall be in accordance with the Sitework Specifications.
- Cost of barricades, flashers and all items necessary for safe and efficient movement of traffic shall be considered subsidiary to the construction of the pavement and utilities.
- The Contractor shall use extreme caution in the area of existing trees which are to remain, existing manholes, power poles, fences, pavement and utilities, and shall be responsible for any damages.
- It will be the Contractor's responsibility to inform the Engineer or any control points including street centerline and lot corners that may be destroyed during construction so that these points may be offset. The cost of resetting points that have not been offset will be paid for by the Contractor. Requests for offsets must be made 48 hours in advance.
- All spot elevations shown are top of curb unless otherwise noted.



VICINITY MAP

SHEET INDEX

Public Construction

COVER SHEET
 PAVING IMPROVEMENT PLAN

NO.

1 of 2
 2 of 2

APPROVED AS NOTED
 BY CITY ENGINEER OF WICHITA

Sanitary Sewers _____
 Storm Sewers _____
 Driveways/Approaches _____
 Water Mains _____
 Paving VRH 9/25/98

NOTE TO CONTRACTORS

PUBLIC PROPERTY:
 Inspection and testing for the Waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the records of the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All construction and materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

ENGINEER'S CERTIFICATE

I hereby certify that these Construction Drawings were prepared by me or under my direct supervision and that I am a Registered Professional Engineer under the laws of the State of Kansas. These Construction Drawings meet the requirements of subdivision approval and the City Engineer's Office design requirements as they apply to construction at the time of this certificate.

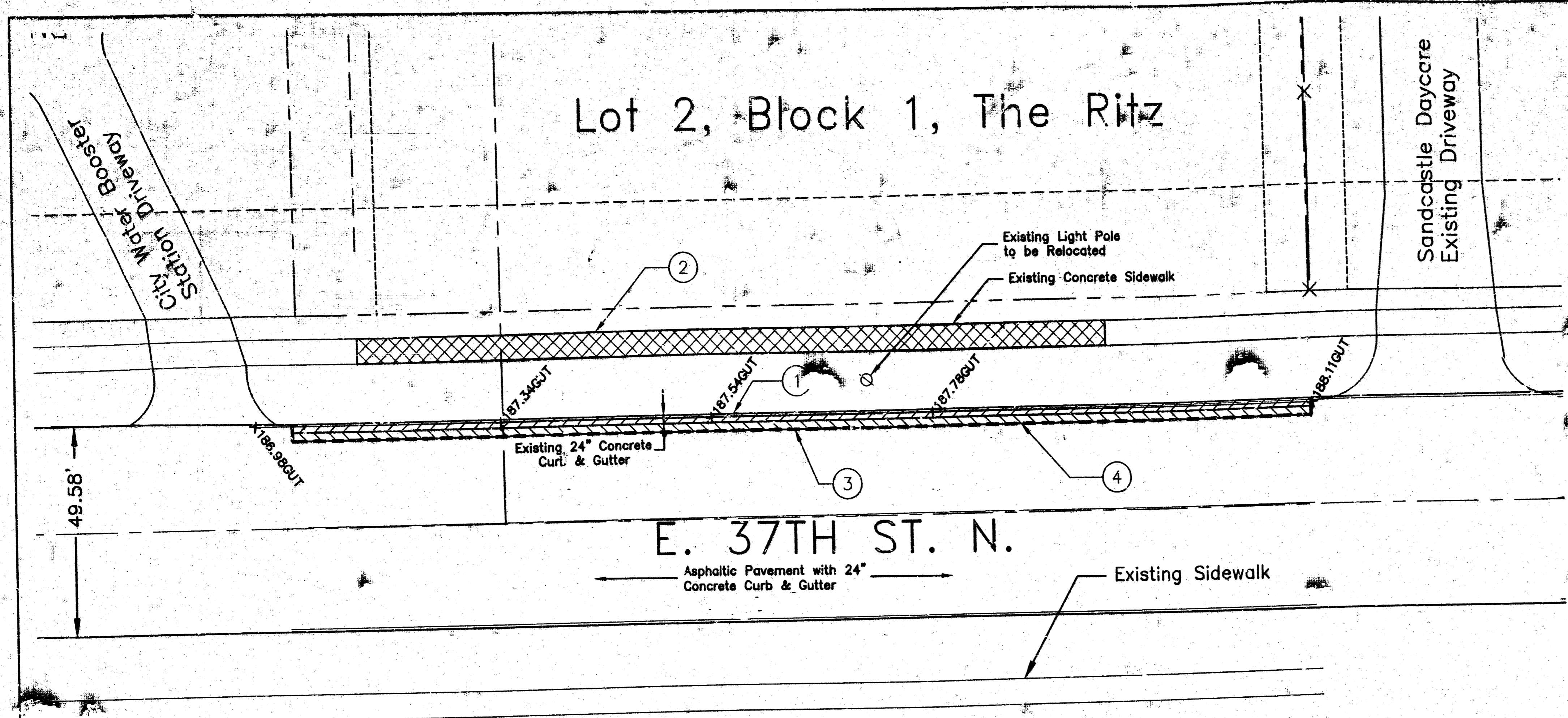
Thy A. Brown 9/18/98
 Date

PROJECT INSPECTED BY
 BAUGHMAN CO. P.A.
 ASBUILT 2/99 BY

PINEHURST APARTMENTS
 EAST 37TH ST. NORTH & NORTH ROCK RD., WICHITA, KANSAS

COVER SHEET

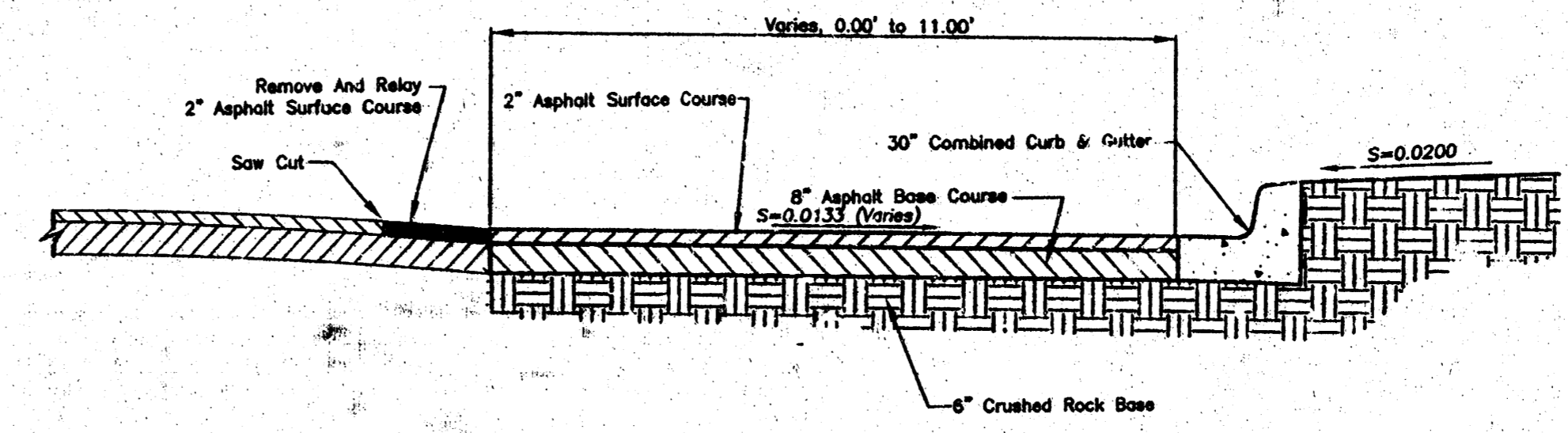
1 of 2



DEMOLITION PLAN

SCHEDULE OF APPROX. QUANTITIES		
DESCRIPTION	UNITS	QUANT.
Remove Existing 24" Conc. Curb and Gutter	LF	251
Remove 2" Asphalt Overlay	SY	56
Remove Concrete Sidewalk	SY	123
Full Depth Saw Cut	LF	259
Relocate Existing Light Pole	Ea	1

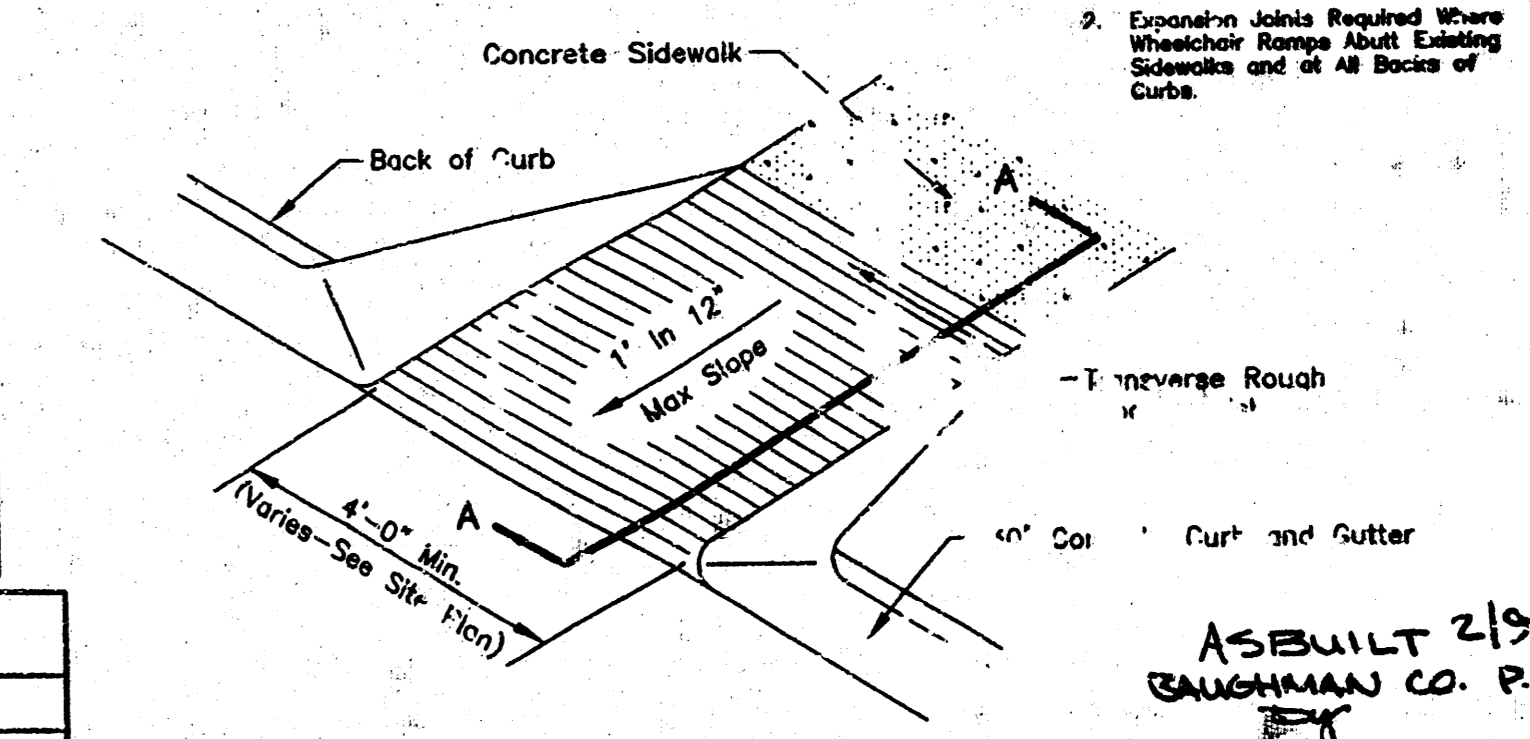
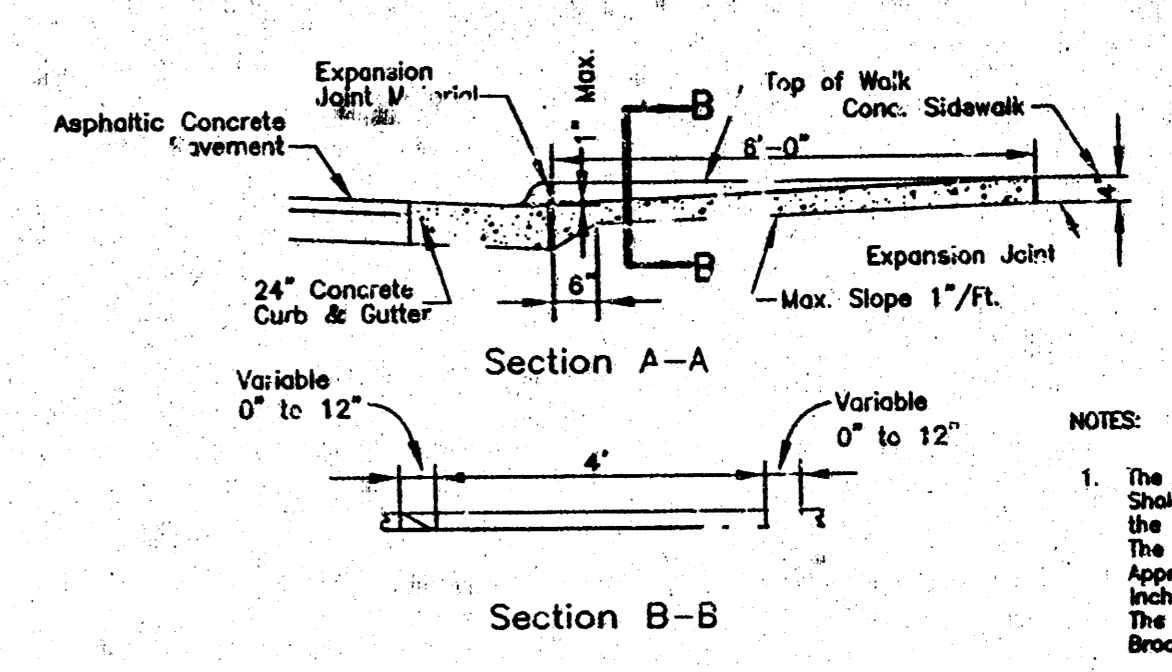
LEGEND	
① Remove 24" Concrete Curb and Gutter	
② Remove Existing Sidewalk	
③ Remove 2" Asphalt Overlay	
④ Full Depth Saw Cut	



TYPICAL PAVEMENT CROSS SECTION

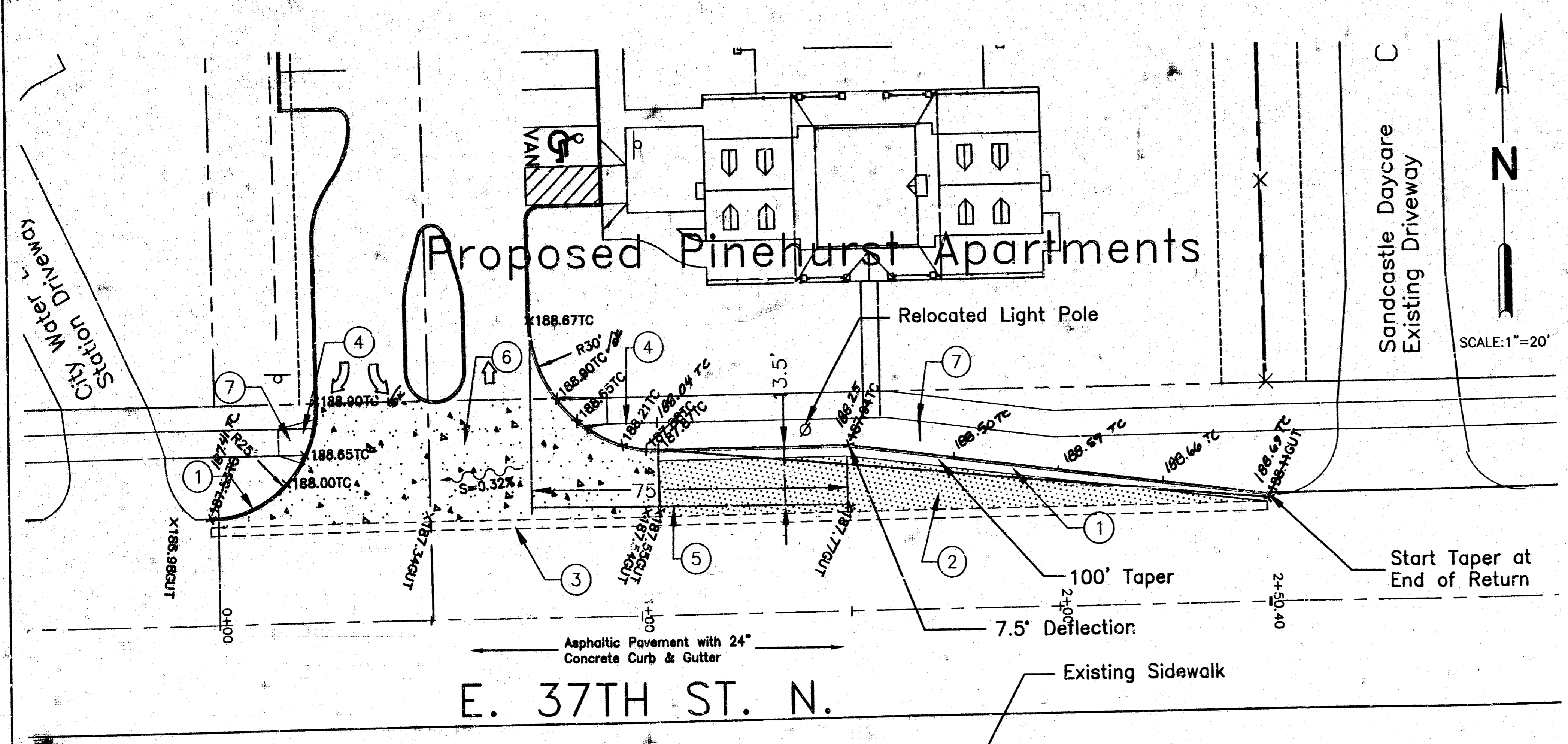
LEGEND	
① 24" Concrete Curb and Gutter (Typ.)	
② 3" Asphalt Base Course w/2" Asphalt Surface Course (Typ.)	
③ Replace 2" Asphalt Surface Course (Typ.)	
④ Handicap Ramp (Typ.)	
⑤ 4" White Cold Plastic Stripe	
⑥ 8" Concrete w/6"x12" W4xW4 WWF w/Integral Curb	
⑦ 4" Portland Cement Concrete Sidewalk	

NOTES
1. All pavement markings to be cold plastic per K.D.O.T. specification.
2. City of Wichita Benchmark:
Brass Cap in Northeast corner of Concrete Headwall
Approximate: 375' North of Intersection of Silver
Spring Blvd and Ridge Road.
Elevation: 1317.54 (U.S.G.S. Datum)
130.14 (City of Wichita Datum)



HANDICAP SIDEWALK RAMP

NOTES
1. See Miscellaneous Details for details of Dumpster Pads. Cost will include work for all concrete, including 6" Pad, 4" Sidewalk, Wood Post with Concrete Footings and 6" bollards.
2. Dumpster Pads will be constructed at same time as concrete curb and sidewalk pavement base course.



IMPROVEMENT PLAN

SCHEDULE OF APPROX. QUANTITIES		
DESCRIPTION	UNITS	QUANT.
30" Concrete Curb and Gutter	LF	146
8" Asphalt Base Course w/2" Asphalt Overlay	SY	134
Replace 2" Asphalt Overlay	SY	56
4" Thick Concrete Sidewalk	SY	75
8" Concrete w/6"x12" W4xW4 WWF w/Integral Curb	SY	242
Handicap Ramp	Ea	2

KEY STATIONS	
STATION/OFFSET	DESCRIPTION
-0+01.80 / 0.00 R	End of Return
0+00.00 / 0.00 R	Lot 1 & Lot 2 Property Line Extended & E. 37th St. N.
0+23.43 / 0.00 R	West End of Return
0+50.50 / 0.00 R	Center Line of Proposed Private Street
0+74.91 / 0.00 R	East End of Return
1+04.61 / 0.00 R	End of Return
1+50.34 / 0.00 R	Curb Deflection
2+50.40 / 0.00 R	End of Return

11-40-70-41