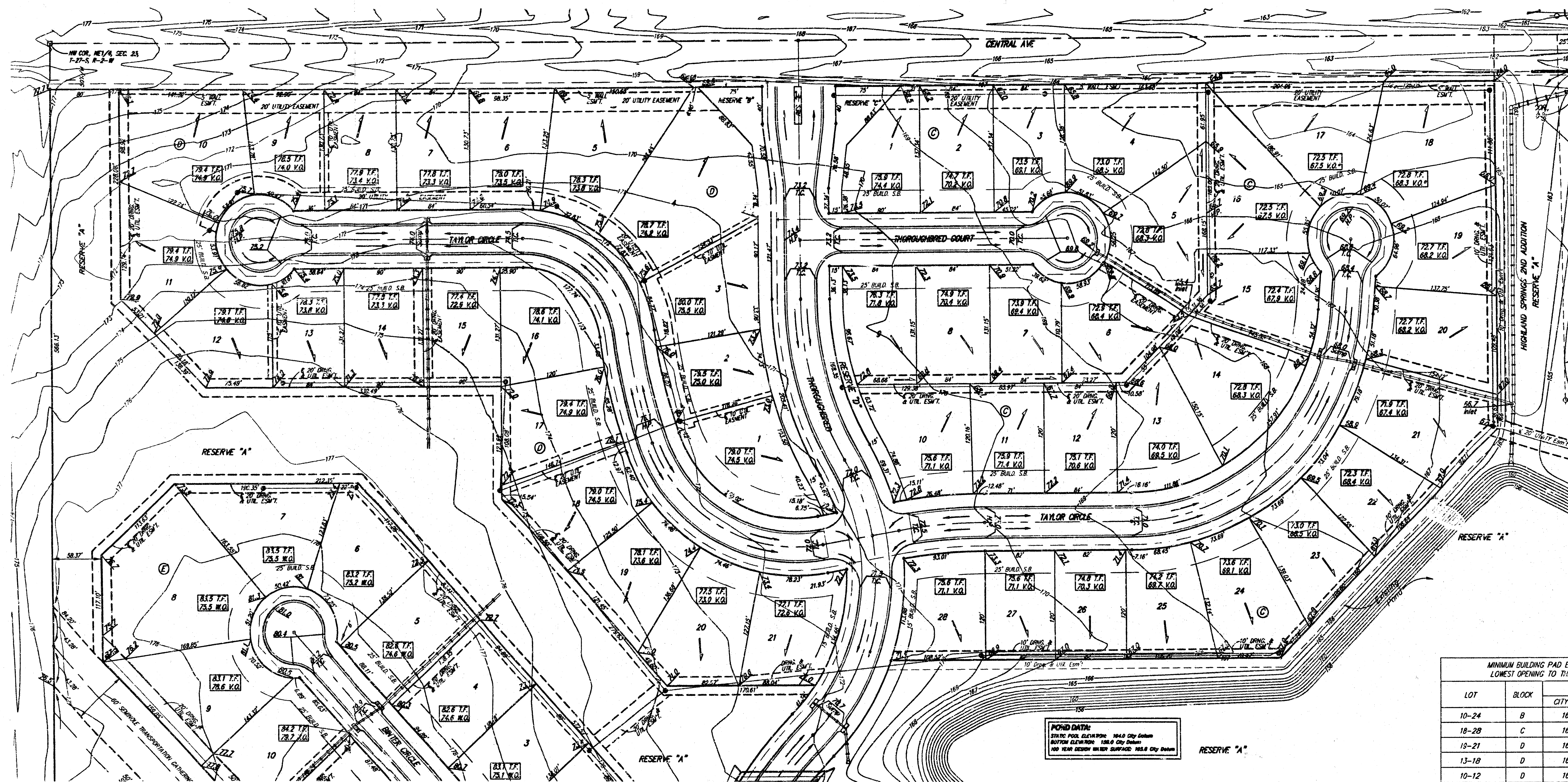
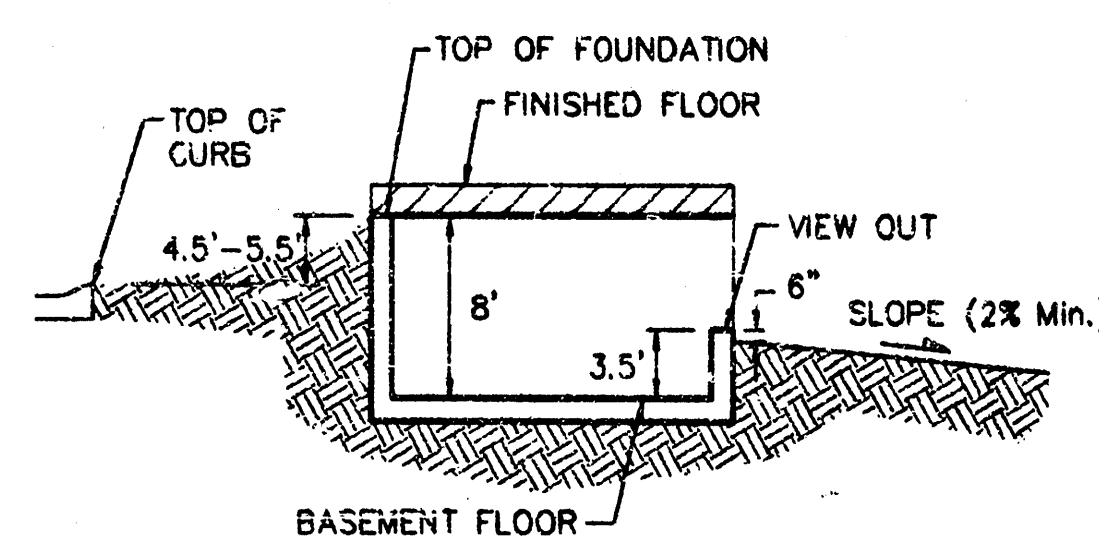




Scale: 1" = 60'
 = Iron



TYPICAL VIEW OUT DETAIL
 NO SCALE

NOTES:

Proposed Top of Foundation Elevations Are Shown On Plans. Contractor to Set Finished Floor Elevations.

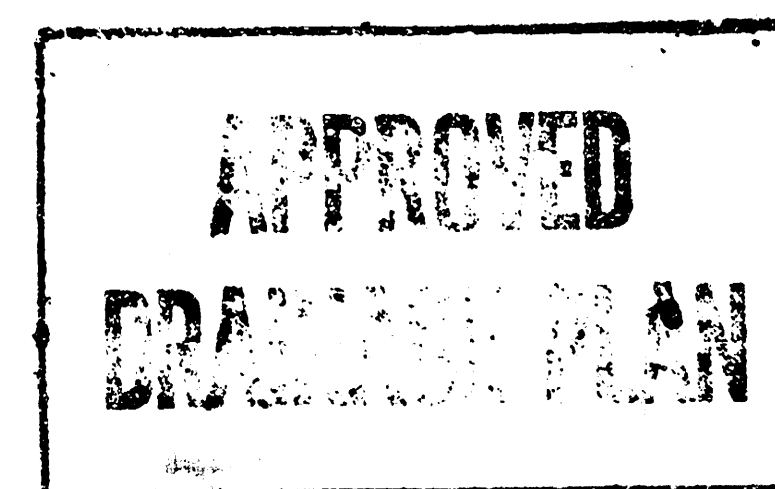
All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).

This Grading Plan is Designed with View-Outs. Elevations Shown as (XX.X V.O.)

BENCHMARKS:

135th St. W. & Central
 City of Wichita Benchmark
 DISC - NE Cor. Intersection,
 32.6' N. & 24.5' E. of C. both
 39.5' NE of Iron at Sec. Ctr.
 Elev. = 159.50 (City Datum)

Brass disc in curb - east side
 of Aksarben adjacent to fire
 hydrant 5' S. of SW Cor.
 Lot 8, Block A, Highland
 Springs 3rd Addition.
 Elev. = 170.00 (City Datum)



MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES			
LOT	BLOCK	ELEVATION	
		CITY DATUM	NGVD 29
10-24	B	165.0	1,352.4
18-28	C	165.0	1,352.4
15-21	D	166.0	1,353.4
13-18	D	167.0	1,354.4
10-12	D	168.0	1,355.4
1-4	E	168.0	1,355.4
5-7	E	167.0	1,354.4
8	E	168.0	1,355.4
9,10	E	169.0	1,356.4
11,12	F	169.0	1,356.4

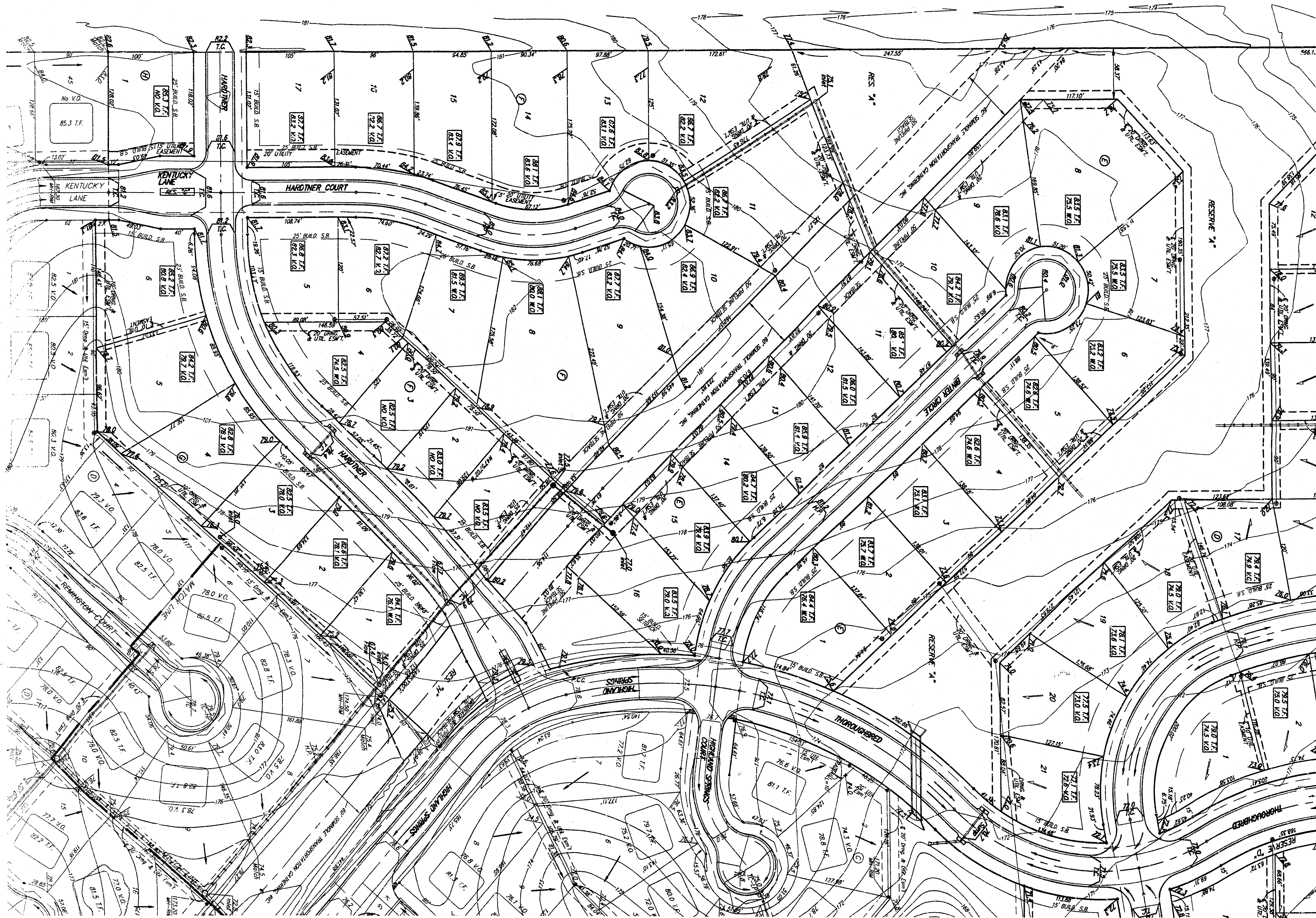
HIGHLAND SPRINGS 3RD

Grading Plan
 Highland Springs 3rd Addition
 City of Wichita

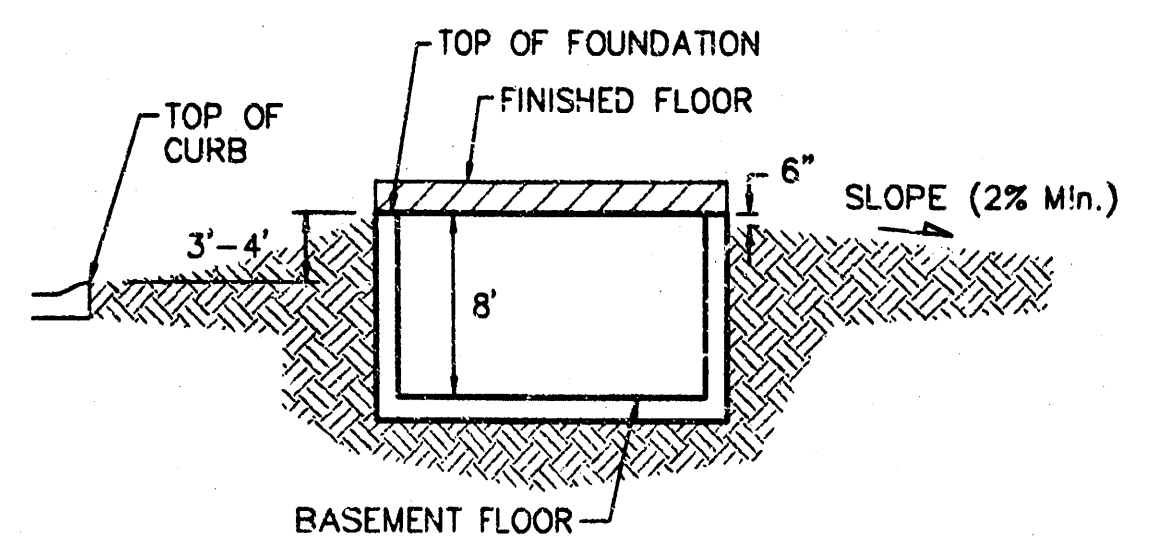
Baughman Company, P.A., 315 S.W. 5th, Topeka, KS 66601 P14643721 P14643721
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

REVISIONS	JAK	DESIGN	DRAWN
6/15/04	Notation: See View-Out, Lot 141, Block C	BLE/BLG	BLG
APPROVED		DATE	17MAY02
SCALE		NOTED	
SHEET		1 OF 3	

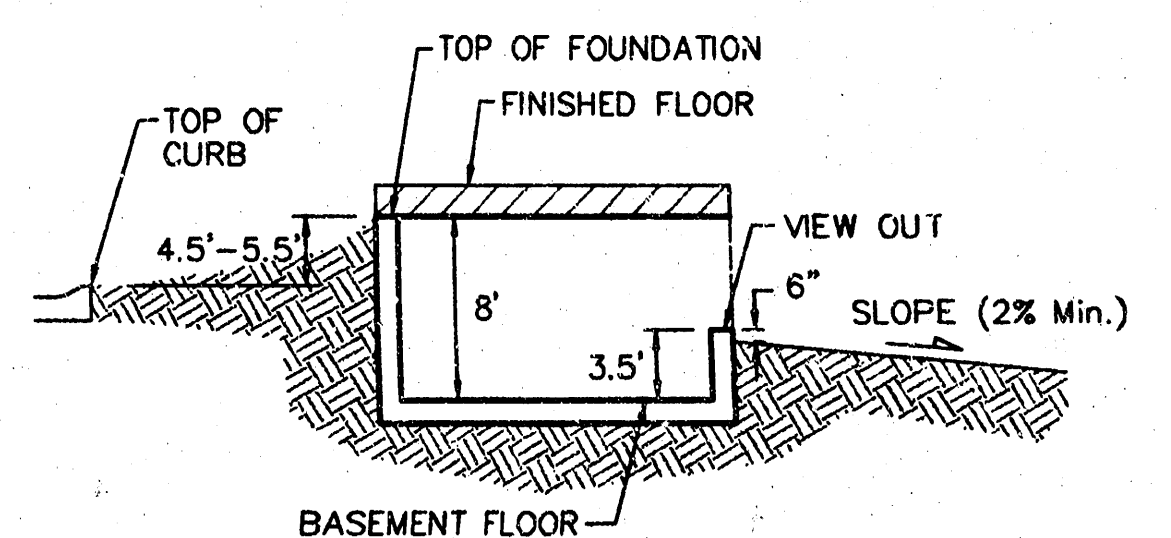
F:\Grading\Highland\Highland3\grade.dwg



Scale:
1" = 60'
• = Iron



TYPICAL NON-VIEW OUT DETAIL
NO SCALE



TYPICAL VIEW OUT DETAIL
NO SCALE

NOTES:

Propose: Top of Foundation Elevations Are Shown On Plans. Contractor to Set Finished Floor Elevations.

All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).

This Grading Plan is Designed with View-Outs. Elevations Shown as (XX.X V.O.)

Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

BENCHMARK:
City of Wichita benchmark disk 32.6' N and 24.5' E of intersection of 135th St. W. and Central, 39.5' NE of iron at section corner.
Elev. = 159.50 City Datum

		Highland Springs 3rd Addition GRADING PLAN City of Wichita	
Baughman Company, P.A. 315 2nd & Walnut, St. 67111 P 316-263-7711 F 316-263-7749 ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE			
REVISIONS 7/23/04 1. 100% Plan and 100% Notes	JAK 100% Plan and 100% Notes	DESIGN BLP/BLG APPROVED SCALE NOTED SHEET	DRAWN BLG DATE 17MAY02
2 OF 3			

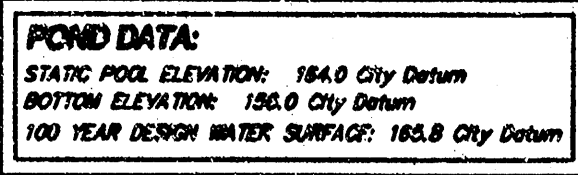


Diagram illustrating the cross-section of a foundation and basement floor. The diagram shows the following components and dimensions:

- TOP OF CURB**: The top edge of the foundation wall.
- TOP OF FOUNDATION**: The top surface of the foundation.
- FINISHED FLOOR**: The floor level inside the basement.
- VIEW OUT**: The exterior wall of the foundation.
- BASEMENT FLOOR**: The floor level below the finished floor.
- SLOPE (2% Min.)**: The slope of the ground outside the foundation.
- Dimensions**:
 - 4.5' - 5.5' (Height from top of curb to top of foundation)
 - 8' (Height from finished floor to top of foundation)
 - 3.5' (Height from basement floor to top of foundation)
 - 6" (Thickness of the foundation wall)

TYPICAL VIEW OUT DETAIL
NO SCALE

NOTES:

Proposed Top of Foundation Elevations Are Shown On Plans. Contractor to Set Finished Floor Elevations.

All Street Elevations Shown on Plans Are for
Top of Curb (Full-Height).

*This Grading Plan is Designed with View-Outs.
Elevations Shown as (XX.X V.O.)*

Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

Benchmarks:
135th St. W. & Central
City of Wichita Benchmark DISC - NE Cor.
Intersection, 32.6' N. & 24.5' E. of C both. 39.5'
NE of Iron at Sec. Cor.
Elev. = 159.50 (City Datum)

Brass disc in curb - east side of Aksarben
adjacent to fire hydrant 5'±. South of SW Cor. Lot
8, Block A, Highland Springs 3rd Addition.
Elev. = 170.00 (City Datum)

	Highland Springs 3rd Addition
	GRADING PLAN
Boughman	City of Wichita
Bragman Company, P.A. 313 Ellis St. Wichita, KS 67211 P 783-3633 F 783-3610 WP ENGINEERING SURVEYING PLANNING LANDSCAPE ARCHITECTURE	
REVISIONS 4/28/04 JAK/NBW Remove pad stone, and merge gulch into 4'x4' Wood 8 5/07/04 JAK/NBW Remove pad stone, 1 inch 1.8x4.0	DESIGN BLG/BLP APPROVED SCALE NOTED SHEET 3 of 3