



June 8, 1995

Mr. Mike Lindebak, P.E.  
City of Wichita Engineering Department  
455 N. Main - 7th Floor  
Wichita, KS 67202

Attn: Mr. Rob Younkin

RE: Reserve "B", Industrial Air Center,  
Also Lot 1, Industrial Air Center Second Addition

Dear Mike:

The lot being replatted was initially proposed as a reserve for beautification purposes, making the entrance to the park unique along Webb Road.

The market has been different than originally anticipated by the owners and a more basic industrial park is being marketed.

In abandoning the concept with Reserve "B", no significant change in the run-off should occur since the pond and outlet were not designed as a detention facility; neither was this a requirement at the time of the original plat.

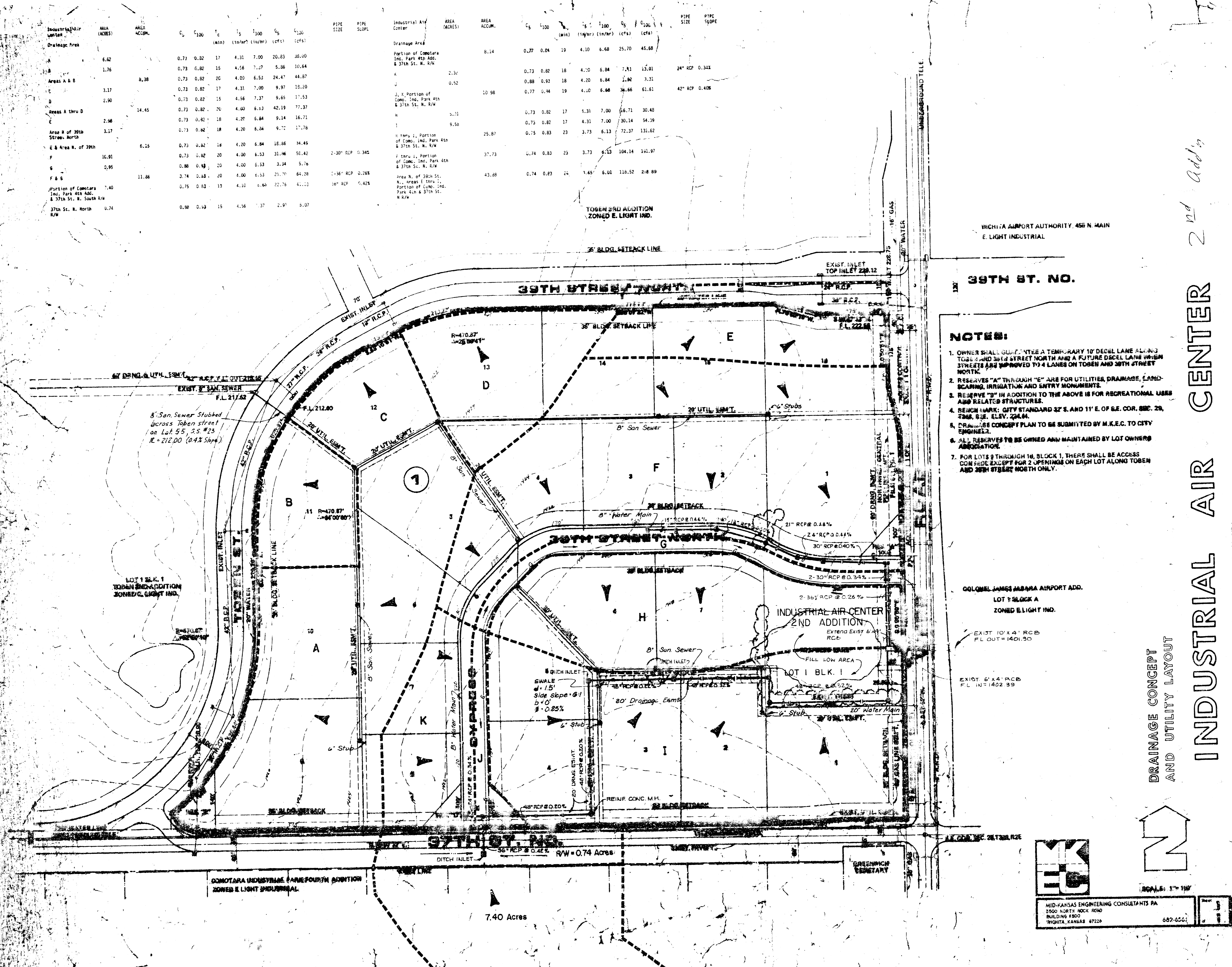
Sincerely,

**MID-KANSAS ENGINEERING CONSULTANTS, INC.**

Kenneth H. Bengtson, P.E.  
President

KHB/mrn

Industrial Air Center	AREA (ACRES)	C <sub>s</sub>	C <sub>100</sub>	T <sub>c</sub> (min)	T <sub>s</sub> (hr)	T <sub>100</sub> (hr)	C <sub>100</sub> (cf/s)	PIPE SIZE	PIPE SLOPE	Industrial Air Center	AREA (ACRES)	AREA ACCUM.	C <sub>s</sub>	C <sub>100</sub>	T <sub>c</sub> (min)	T <sub>s</sub> (hr)	T <sub>100</sub> (hr)	C <sub>100</sub> (cf/s)	PIPE SIZE	PIPE SLOPE	
Drainage Area																					
A	6.62	0.73	0.82	17	4.31	7.00	20.83	36.00													
B	1.76	0.73	0.82	15	4.56	7.27	5.86	10.64											24" RCP	0.34%	
Areas A & B	8.38	0.73	0.82	20	4.00	6.52	24.47	44.87													
C	3.17	0.73	0.82	17	4.31	7.00	9.97	18.20													
D	2.90	0.73	0.82	15	4.56	7.37	9.65	17.93													
Areas A thru D	14.45	0.73	0.82	20	4.00	6.53	42.19	77.37													
E	2.98	0.73	0.82	18	4.20	6.84	9.14	16.71													
Area E of 39th Street North	3.17	0.73	0.82	18	4.20	6.84	9.71	17.78													
F & Area N. of 39th Street North	6.15	0.73	0.82	18	4.20	6.84	16.86	34.49													
G	16.91	0.73	0.82	20	4.00	6.53	31.46	50.42	2-30" RCP	0.34%											
H	0.95	0.86	0.93	20	4.00	6.53	3.34	5.76	1-36" RCP	0.26%											
F & G	11.86	0.73	0.82	20	4.00	6.53	25.70	64.28	1-36" RCP	0.42%											
Portion of Comlara Ind. Park 4th Add. & 37th St. N. South R/W	1.40	0.75	0.83	15	4.10	6.46	22.78	41.12													
37th St. N. North R/W	0.74	0.80	0.92	15	4.56	7.37	2.91	6.07													




**NOTES:**

- OWNER SHALL GUARANTEE A TEMPORARY 10' DECAL LANE ALONG TOBEN AND 39TH STREET NORTH AND A FUTURE DECAL LANE WHEN STREETS ARE IMPROVED TO 4 LANES ON TOBEN AND 39TH STREET NORTH.
- RESERVES "A" THROUGH "E" ARE FOR UTILITIES, DRAINAGE, LAND-SCAPING, IRRIGATION AND ENTRY MONUMENTS.
- RESERVE "F" IN ADDITION TO THE ABOVE IS FOR RECREATIONAL USES AND RELATED STRUCTURES.
- SEICH MARK: CITY STANDARD 42" S. AND 11" E. OF S.E. COR. SEC. 28, T8S, R3E, ELEV. 124.84.
- DRAINAGE CONCEPT PLAN TO BE SUBMITTED BY M.K.E.C. TO CITY ENGINEER.
- ALL RESERVES TO BE OWNED AND MAINTAINED BY LOT OWNERS ASSOCIATION.
- FOR LOTS 9 THROUGH 18, BLOCK 1, THERE SHALL BE ACCESS CORNER EXCEPT FOR 2 OPENINGS ON EACH LOT ALONG TOBEN AND 39TH STREET NORTH ONLY.

DRAINAGE CONCEPT AND UTILITY LAYOUT

INDUSTRIAL AIR CENTER 2<sup>nd</sup> Addition




**ELL E. YUNG DESIGN**  
1222 S. 30TH ST. NORTH, WICHITA, KS 67225 316-533-8827

sheet 2 of 2

project 1000000000

date 01/11/11

rev. 1



MID-KANSAS ENGINEERING CONSULTANTS PA  
2500 NORTH ROCK ROAD  
BUILDING 1500  
WICHITA, KANSAS 67226 620-6541

SCALE: 1"=100'

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