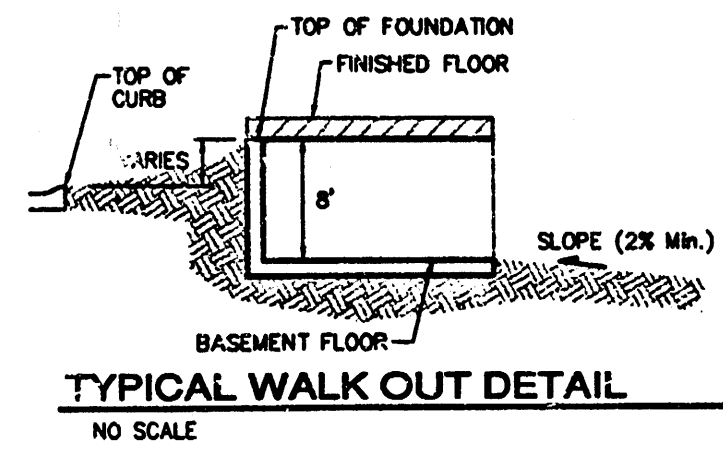
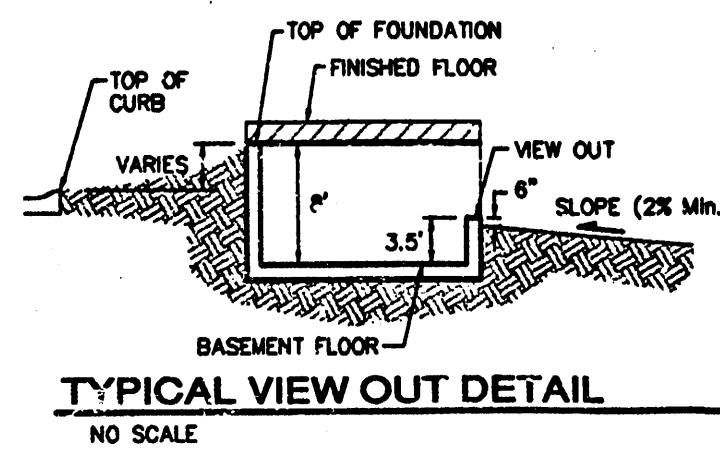
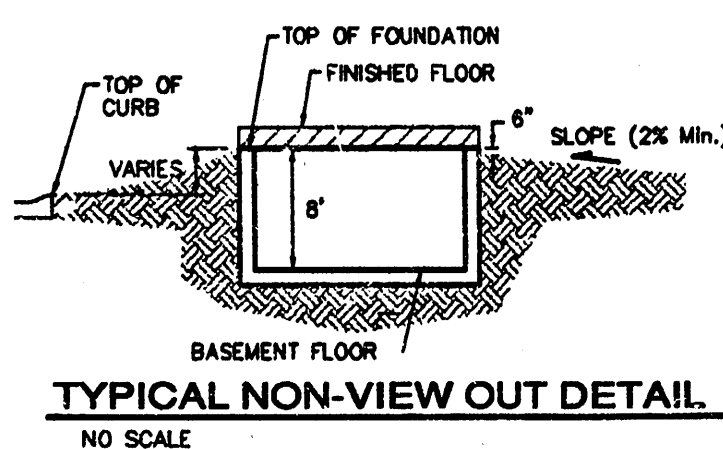
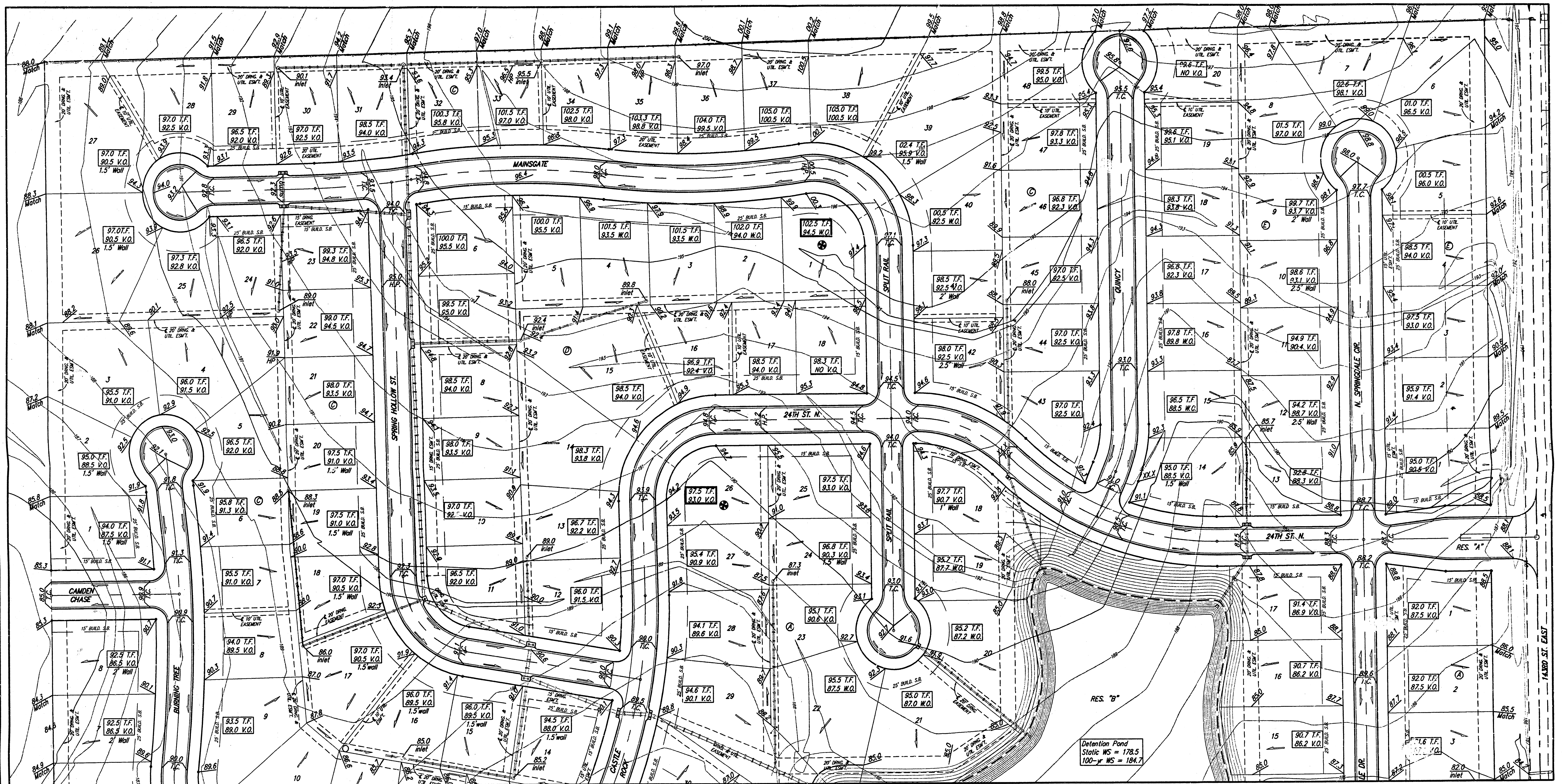




- NOTES:**
1. PROPOSED TOP OF FOUNDATION ELEVATIONS ARE SHOWN ON PLANS. CONTRACTOR TO SET FINISHED FLOOR AND GARAGE FLOOR ELEVATIONS. ALL STREET ELEVATIONS SHOWN ON PLANS ARE FOR TOP OF CURB (FULL-HEIGHT).
 2. THIS GRADING PLAN IS DESIGNED WITH VIEW-OUTS AND WALK-OUTS. ELEVATIONS SHOWN AS XLX V.O. DEPICT VIEW-OUT STRUCTURES. ELEVATIONS SHOWN AS XLX W.O. DEPICT WALK-OUT STRUCTURES.
 3. ALL LOTS SHALL MEET MINIMUM PAD REQUIREMENT AS SHOWN ON THE RECORDED PLAT. (SHOWN TO RIGHT)
 4. LOT DIMENSIONS HAVE BEEN OMITTED ON THIS PLAN. REFER TO THE RECORDED PLAT FOR FINAL DIMENSION, EASEMENT, & BUILDING SETBACK INFORMATION.

LOT	BLOCK	ELEVATION	CITY DATUM
12-17	A	188.0	
18-22,29	A	186.0	
32-37	A	186.0	

5. HOUSE PAD ELEVATIONS DEPICTED WITH BOLD OUTLINES AND SHOWN WITH THE SYMBOL INDICATES THAT DEEP FOOTINGS OR DEEP FOUNDATIONS MAY BE REQUIRED.
6. SOME LOTS ARE DESIGNED WITH NON-STANDARD, VIEW-OUT STRUCTURES. THESE ARE SHOWN ON THIS PLAN WITH A VIEW-OUT WALL HEIGHT BELOW THE VIEW-OUT ELEVATION.
7. A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS. DRAINAGE INTENT SHALL REMAIN AS DEPICTED OR AS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH IMPEDS THE FLOW OF THIS DRAINAGE PLAN SHALL BE ALLOWED.

SCALE: 1" = 60'

BECHMARK: "C" OUT IN THE MIDDLE OF THE N. HEADWALL OF R.C.B.C. ON 21ST STREET NORTH, 1004.3' W & 22.1' N. OF THE SE COR. SE1/4, SEC. 2, TWP. 25. N. R. 2-E, ELEV. = 1722.3 CITY DATUM (1886.63 NGVD29)

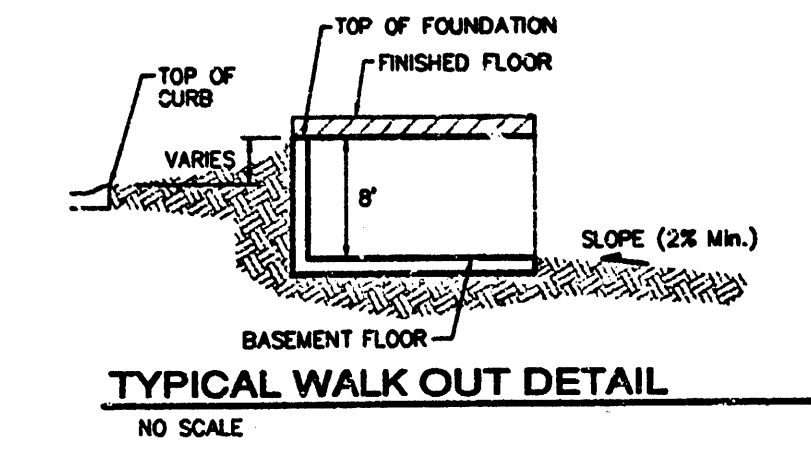
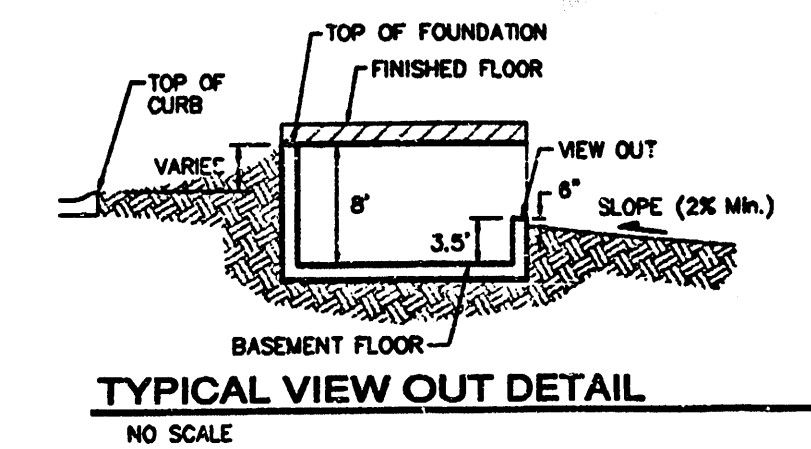
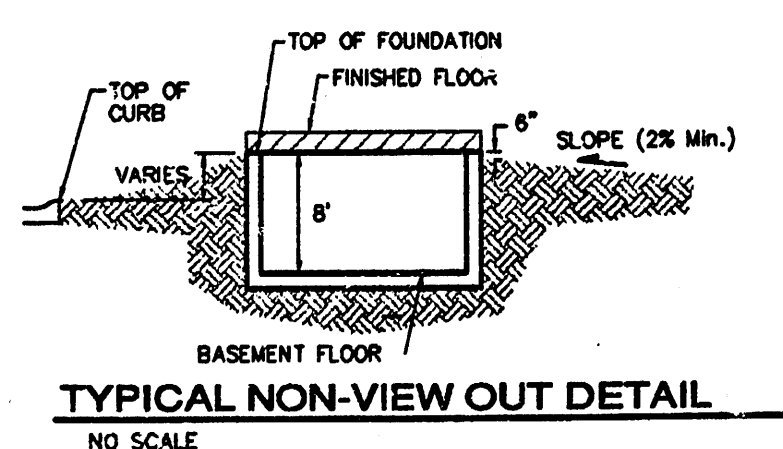
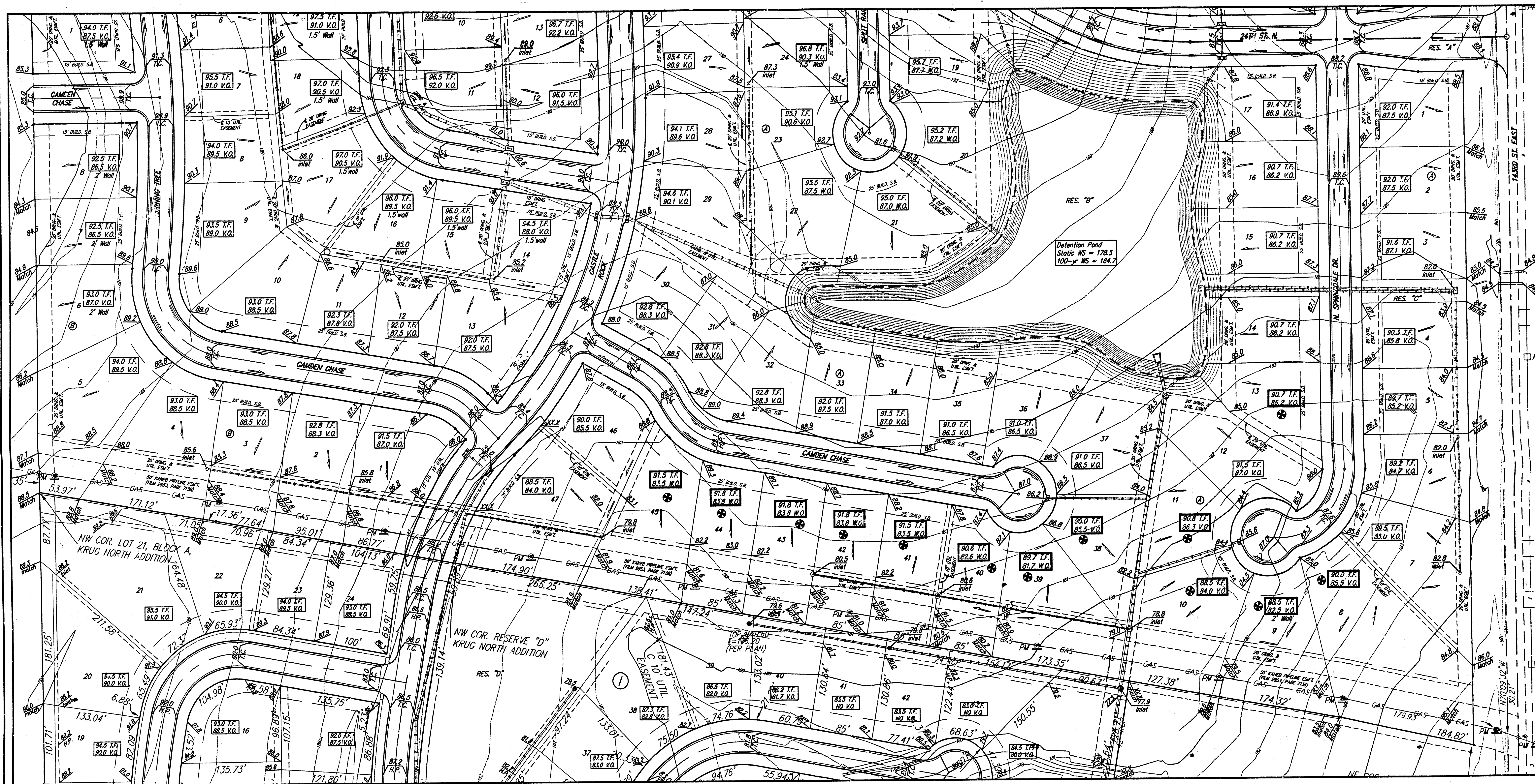
**APPROVED
DRAINAGE PLAN**

**KRUG NORTH 2ND ADDITION
SUBDIVISION
GRADING PLAN
WICHITA, KANSAS**

Baughman Company, P.A. 315 E. 10th St. Wichita, KS 67211 F316262721 F316262040
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER	DESIGN	DRAWN
	BLO	SLC
REVISIONS	APPROVED	DATE
		23May05
	SCALE	
	1"=60'	
	SHEET	

1 OF 2



- NOTES:**
1. PROPOSED TOP OF FOUNDATION ELEVATIONS ARE SHOWN ON PLANS. CONTRACTOR TO SET FINISHED FLOOR AND GARAGE FLOOR ELEVATIONS. ALL STREET ELEVATIONS SHOWN ON PLANS ARE FOR TOP OF CURB (FULL-HEIGHT).
 2. THIS GRADING PLAN IS DESIGNED WITH VIEW-OUTS AND WALK-OUTS. ELEVATIONS SHOWN AS XXX V.O. DEPICT VIEW-OUT STRUCTURES. ELEVATIONS SHOWN AS XXX W.O. DEPICT WALK-OUT STRUCTURES.
 3. ALL LOTS SHALL MEET MINIMUM PAD REQUIREMENT AS SHOWN ON THE RECORDED PLAT. (SHOWN TO RIGHT)
 4. LOT DIMENSIONS HAVE BEEN OMITTED ON THIS PLAN. REFER TO THE RECORDED PLAT FOR FINAL DIMENSION, EASEMENT, & BUILDING SETBACK INFORMATION.

LOT	BLOCK	ELEVATION CITY DATUM
12-17	A	186.0
18-22,29	A	186.0
32-37	A	186.0

5. HOUSE PAD ELEVATIONS DEPICTED WITH BOLD OUTLINES AND SHOWN WITH THE SYMBOL INDICATES THAT DEEP FOOTINGS OR DEEP FOUNDATIONS MAY BE REQUIRED.
6. SOME LOTS ARE DESIGNED WITH NON-STANDARD, VIEW-OUT STRUCTURES. THESE ARE SHOWN ON THIS PLAN WITH A VIEW-OUT WALL HEIGHT BELOW THE VIEW-OUT ELEVATION.
7. A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS. DRAINAGE INTENT SHALL REMAIN AS DEPICTED OR AS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH IMPEDE THE FLOW OF THIS DRAINAGE PLAN SHALL BE ALLOWED.

SCALE: 1" = 60'
• = Iron

BENCHMARK:
"1" OUT IN THE MIDDLE OF THE N. HEADWALL OF R.C.B.C. ON 21ST STREET NORTH, 1004.3' W & 22.1' N. OF THE SE COR. SE 1/4, SEC. 2, T1P. 27-S, R-2-E, ELEV. = 1233.3 CITY DATUM (1360.63 MGD29)

**KRUG NORTH 2ND ADDITION
SUBDIVISION
GRADING PLAN
WICHITA, KANSAS**

Baughman Company, P.A. 315 8th St. Suite 201, P.O. Box 201, P.O. Box 201, P.O. Box 201
ENGINEERING & SURVEYING & PLANNING & LANDSCAPE ARCHITECTURE

PROJECT NUMBER	DESIGN	DRAWN
REVISIONS	BLG	BLG
APPROVED	DATE	23 May 05
SCALE	SHEET	2 OF 2