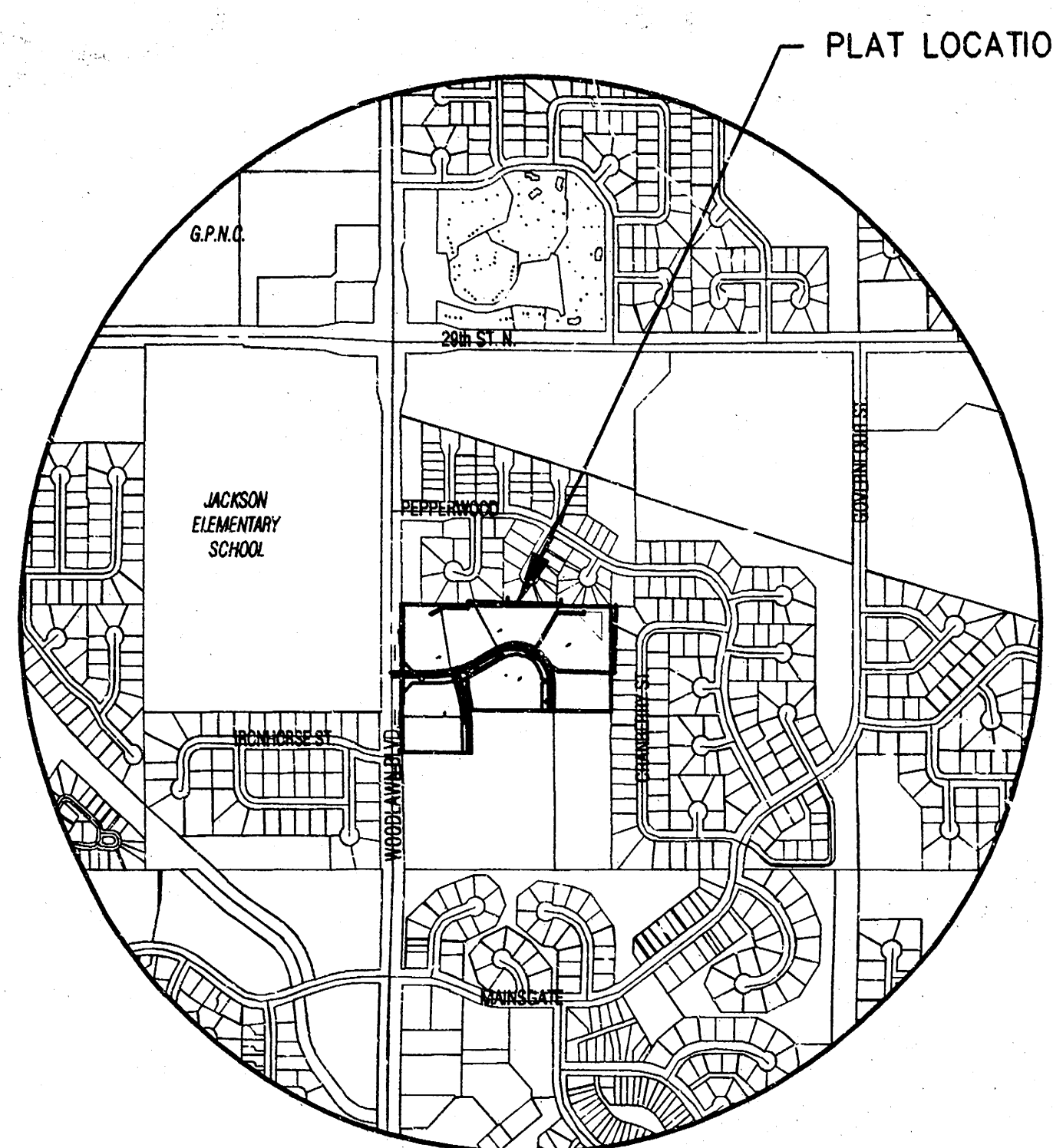




VICINITY MAP

NOTES

1. ZONING: Existing Limited Industrial "GC"
Proposed Limited Industrial "GC"
2. Plat Area = 1.5 ac.
3. Lot total = 8
4. RESERVE USES:
Private Streets, Landscaping, Irrigation, Drainage, Utilities,
Street Lights, Monuments, Signs, Berming, and Parking

ACCESS CONTROL NOTE

Woodlawn - One access points for Lot 1, Block 1 and One access point for Lot 1 or 2, Block 3 AND shall be placed accordingly. The minimum distance between a right-in/right-out drive and either another right-in/right-out drive or a full movement drive shall be 200'.

LEGAL DESCRIPTION

A tract of land lying in a portion of Lot 1, Block 1, Hinkle's Addition, an addition to Wichita, Sedgewick County, Kansas, being more particularly described as follows:

BEGINNING at the Northwest corner of said Lot 1, thence along the North line of said Lot 1, N89°19'18"E, 1089.91 feet to the Northeast corner of said Lot 1, thence along the East line of said Lot 1, S00°54'44"E, 528.23 feet to the Northeast corner of a tract of land described on Film 2851, Page 2997, thence along the North line of said tract described on said Film 2851, Page 2997 and along the North line of a tract of land described on Film 2550, Page 53, S89°20'44"W, 737.57 feet to a point lying 20.17 feet East of a point of intersection on said North line of said tract described on Film 2550, Page 53; thence along a non-tangent curve to the right 66.13 feet, said curve having a central angle of 06°09'05", a radius of 616.00 feet, and a long chord distance of 66.10 feet, bearing S03°49'21"E, thence S00°43'49"E, 150.83 feet; thence S89°19'22"W, 23.52 feet to a point of intersection on said North line of said tract described on Film 2550, Page 53; thence along the North line of said tract on Film 2550, Page 53, S89°19'35"W, 333.96 feet to the East line of said Lot 1; thence parallel with and 50 feet east of the West line of the Northeast Quarter, Section 6, Township 26 South, Range 2 East, of the Sixth principal meridian, and along said East line on a Kansas South Zone Grid Bearing of N00°43'18"W, 744.72 feet to the POINT OF BEGINNING.

LEGEND

- | | | |
|----------------------------------|--------------------------------|-------------------|
| CON - CONIFEROUS TREE & DIAMETER | TR - TELEPHONE RISER | FI - FIRE HYDRANT |
| DN - DECIDUOUS TREE & DIAMETER | IN - INLET | WV - WATER VALVE |
| SN - SIGN | SR - STORM SEWER PIPE | WM - WATER METER |
| BUSH | W - WATER LINE | PP - POWER POLE |
| EDGE OF TREES | SS - SANITARY SEWER LINE | |
| FENCE | G - GAS LINE | |
| SSMH - SANITARY SEWER MANHOLE | UT - UTILITY LINE | |
| GM - GAS METER | UE - UNDERGROUND ELECTRIC LINE | |
| POLE - POLE | OT - OVERHEAD TELEPHONE | |
| HLP - HIGH LINE POLE | OE - OVERHEAD ELECTRIC | |
| GATE | SC - SECTION CORNER | |
| WALL | PCF - PROPERTY CORNER FOUND | |
| LP - LIGHT POLE | BM - BENCHMARK | |

PRELIMINARY DRAINAGE & UTILITY PLAN

WOODLAWN NORTH POINTE ADDITION

Owner/Developer: InSite Medical Partners, L.L.C., 8100 E. 22nd St., Bldg. 2100-4,
Owner: The Galichia Medical Group, P.A., 2600 N. Woodlawn Blvd.,

Wichita, KS 67226 316-942-8855
Wichita, KS 67220 316-618-1100

DATE: July, 2004

