

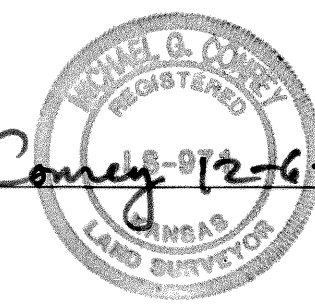
# MESA VERDE ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) the foregoing instrument acknowledged before  
me, this 17th day of December, 2006, by Richard E. Lopez,  
Chief Executive Officer of Community Economic Resource Corporation, a  
Kansas Non-Profit corporation, on behalf of the corporation.

Existing public easements and dedications  
being vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael D. Conroy 12-6-2006, Surveyor  
Michael G. Conroy



This plat of "MESA VERDE ADDITION",  
Wichita, Sedgwick County, Kansas has been submitted to and approved  
by the Wichita-Sedgwick County Metropolitan Area Planning Commission,  
Wichita, Kansas.  
Dated this 17th day of September, 2004.  
Wichita-Sedgwick County Metropolitan Area Planning Commission

Ronald L. Marnell, Chair  
John L. Schlegel, Secretary



This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this 10th day of January, 2007.

Carlos Mayans, Mayor  
Karen Sublett, City Clerk

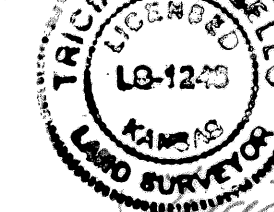


Know all men by these presents that we,  
the undersigned, have caused the land in the surveyors certificate to be  
platted into Lots, Blocks, Streets, and a Reserve to be known as "MESA  
VERDE ADDITION", Wichita, Sedgwick County, Kansas. The utility easements  
are hereby granted as indicated for the construction and maintenance of  
all public utilities. The drainage and utility easements are hereby granted  
as indicated for drainage purposes and for the construction and  
maintenance of all public utilities. The drainage easements are hereby  
granted as indicated for drainage purposes. The street, drainage, and  
utility easements are hereby granted as indicated for street purposes,  
for drainage purposes, and for the construction and maintenance of all public  
utilities. The streets are hereby dedicated to and for the use of the  
public. Reserve "A" shall hereby reserved for clubhouse and clubhouse  
related facilities, recreational areas, open space, landscaping, drainage  
purposes, and utilities as confined to easements. Reserve "A" shall be  
owned and maintained by the homeowners association for the addition.  
The Minimum Building Pad Elevations shall be as indicated on the face of  
the plat.

Community Economic Resource Corporation,  
a Kansas Non-Profit corporation

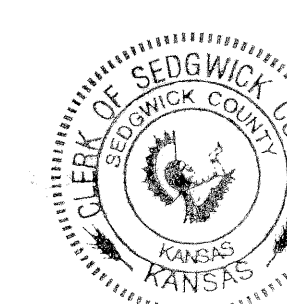
Richard E. Lopez, Chief Executive Officer

Reviewed in accordance with K.S.A. 58-2005  
on this 12th day of December, 2006.



Tricia L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

Entered on transfer record this 10th day  
of April, 2007.



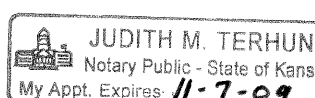
Don Brace, County Clerk

State of Kansas) SS This is to certify that this plat has been  
filed for record in the office of the Register of Deeds, this 10th day  
of April, 2007 at 3:02:00 P.M. and is duly recorded.

Tonya Buckingham, Register of Deeds  
Bill Meek

Tonya Buckingham, Deputy

State of Kansas) SS The foregoing instrument acknowledged before  
me, this 17th day of December, 2006, by Richard E. Lopez,  
Chief Executive Officer of Community Economic Resource Corporation, a  
Kansas Non-Profit corporation, on behalf of the corporation.



Judith M. Terhune, Notary Public

My App't. Exp. 11-7-09

LOT	BLOCK	ELEVATION
1-13	A	1322.0
1-10	B	1322.0
1-8	C	1322.0
1-11	D	1322.0
RESERVE "A"		1322.0

- (M) = MEASURED BETWEEN FOUND
- (M1) = MEASURED BETWEEN FOUND CONCRETE FLOODWAY MONUMENTS
- (M2) = MEASURED BETWEEN FOUND CONCRETE FLOODWAY MONUMENT AND #4 REBAR W/ "BAUGHMAN" CAP (SET)
- (C) = CALCULATED
- (D) = DESCRIBED
- (C-D) = CALCULATED PER DESCRIBED INFO.
- (DF) = DESCRIBED IN DCC A-39338
- (C-D) = CALCULATED PER DESCRIPTION IN DCC A-39338

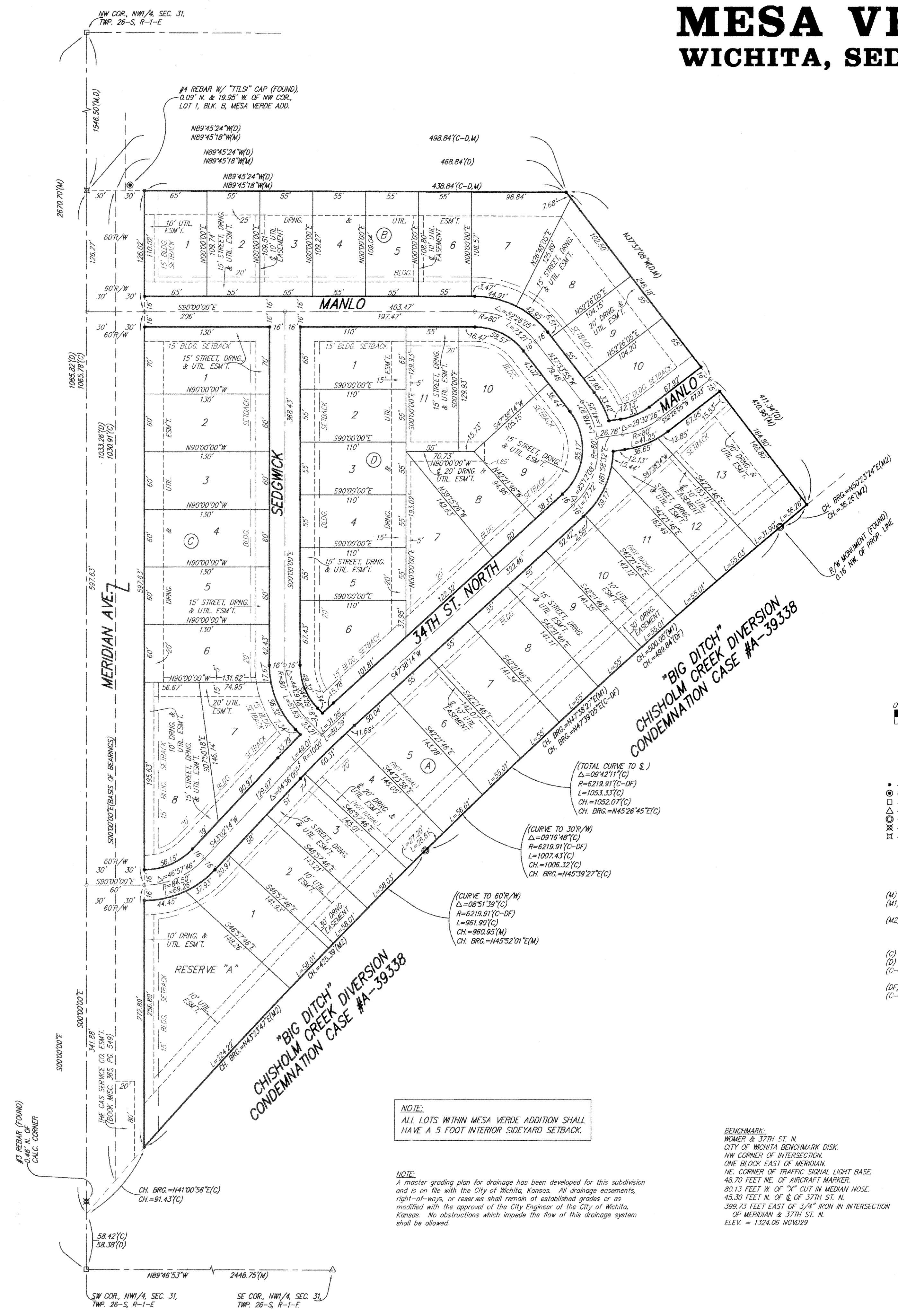
- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "TILTS" CAP (FOUND)
- = 3/4" STEEL PW (FOUND)
- △ = 1/2" IRON IN TRIMBLE (FOUND)
- = CONC. FLOODWAY MONUMENT (FOUND)
- ⊗ = #3 REBAR (FOUND)
- ⊥ = 1/2" IRON PIPE (FOUND)

- (TOTAL CURVE TO S.)  
Δ = 09°42'11"(C)  
R = 6219.91'(C-DF)  
L = 1053.33'(C)  
CH = 1052.07'(C)  
CH. BRG. = N45°26'45"E(C)
- (CURVE TO 30°/W)  
Δ = 09°16'46"(C)  
R = 6219.91'(C-DF)  
L = 1007.43'(C)  
CH = 1006.32'(C)  
CH. BRG. = N45°39'27"E(C)
- (CURVE TO 60°/W)  
Δ = 08°51'39"(C)  
R = 6219.91'(C-DF)  
L = 961.90'(C)  
CH = 960.95'(M)  
CH. BRG. = N45°52'01"E(M)

BENCHMARK:  
WOMER & 37TH ST. N.  
CITY OF WICHITA BENCHMARK DISK  
NW CORNER OF INTERSECTION  
ONE BLOCK EAST OF MERIDIAN  
NE CORNER OF TRAFFIC SIGNAL LIGHT BASE  
48.70 FEET NE. OF AIRCRAFT MARKER  
80.13 FEET N. OF "X" CUT IN MEDIAN NOSE  
45.30 FEET N. OF E. OF 37TH ST. N.  
399.73 FEET EAST OF 3/4" IRON IN INTERSECTION  
OF MERIDIAN & 37TH ST. N.  
ELEV. = 1324.06 NOV029

NOTE:  
ALL LOTS WITHIN MESA VERDE ADDITION SHALL  
HAVE A 5 FOOT INTERIOR SIDEWAY SETBACK.

NOTE:  
A master grading plan for drainage has been developed for this subdivision  
and is on file with the City of Wichita, Kansas. All drainage easements,  
right-of-ways, or reserves shall remain at established grades or as  
modified with the approval of the City Engineer of the City of Wichita,  
Kansas. No obstructions which impede the flow of this drainage system  
shall be allowed.



Sedgwick County  
Register of Deeds - Bill Meek  
DOC #/FLM-PG: 28872649  
Receipt #: 1892644  
Page Recorded:  
Latter Initials: H.M.  
Authorized By: PS  
Date Recorded: 4/10/2007 3:02:08 PM  
17 OF 17

Baughman Company, P.A.  
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE  
E:\PLAT\MESA VERDE ADDITION\DWG\MESA VERDE.DWG\ACG