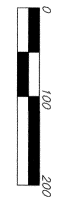
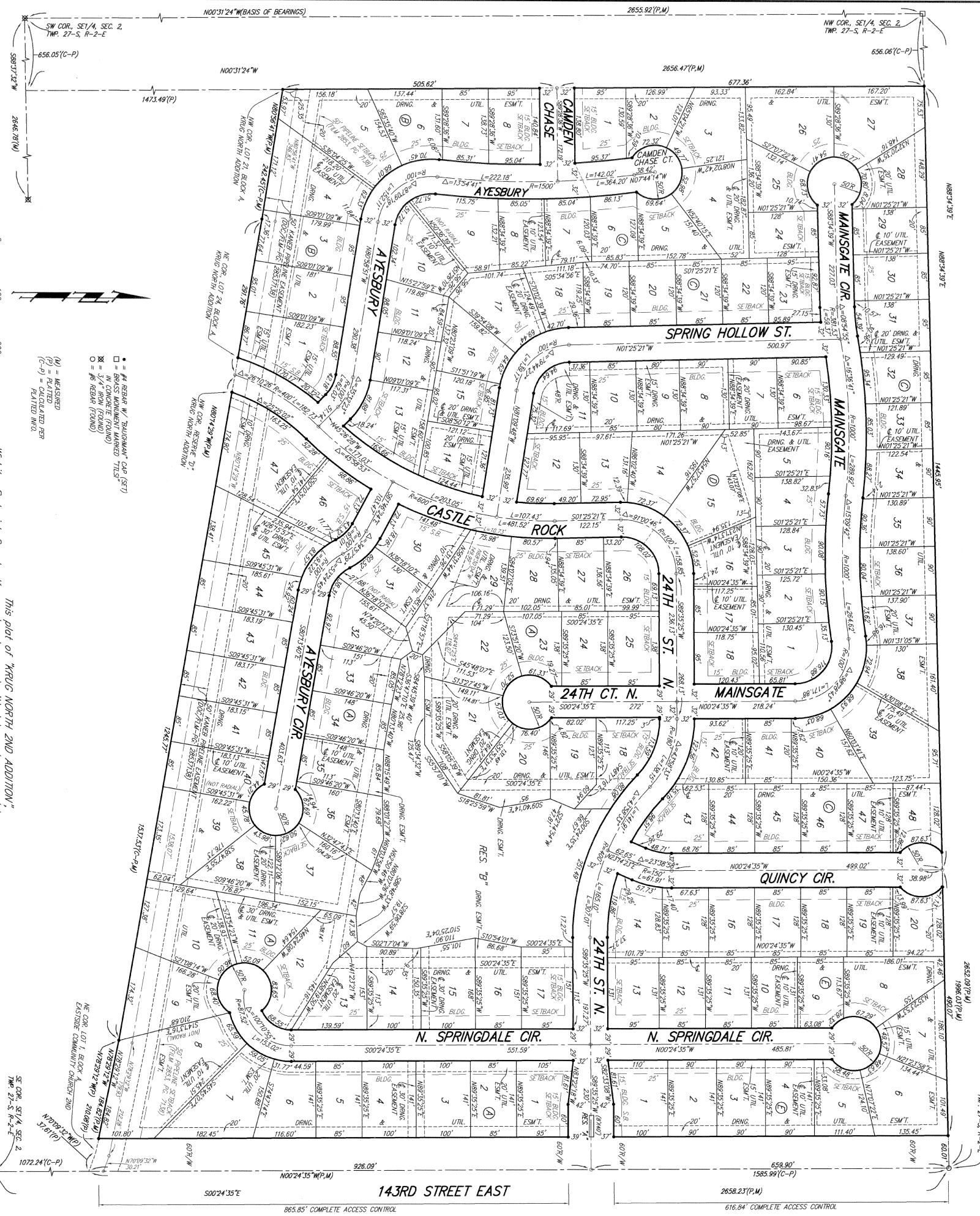


# KRUG NORTH 2ND ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- = #4 REBAR W/ BALCONY CAP (SET)
- ◻ = BRASS MONUMENT MARKED TITLS
- = 3" CONCRETE ROUND
- ⊗ = #6 REBAR (ROUND)
- ⊙ = #6 REBAR (ROUND)
- (M) = MEASURED
- (C-P) = CALCULATED PER PLATTED INFO.

This plat of "KRUG NORTH 2ND ADDITION," Wichita Sedgwick County Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 5TH day of June, 2005  
Wichita-Sedgwick County Metropolitan Area Planning Commission



*Morris K. Dunlap*  
Morris K. Dunlap, Chair

*John L. Schlegel*  
John L. Schlegel, Secretary



*Karen Suberti*  
Karen Suberti, City Clerk



*Tracie L. Robello, L.S. #1246*  
Tracie L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots, Blocks, Streets, and Reserves, to be known as "KRUG NORTH 2ND ADDITION," Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The drainage easements are hereby granted as indicated for drainage purposes. The streets are hereby dedicated to and for the use of the public. Reserve "A" is hereby reserved for entry monuments, landscaping, open space, drainage purposes, and utilities. Reserve "B" is hereby reserved for lakes, landscaping, berms, sidewalks, open space, drainage purposes, and utilities as confined to easements. Reserves "A" and "B" shall be owned and maintained by the homeowners association for the addition provided, however, that the undersigned, or the homeowners association, as the undersigned's successor in interest, may, in their discretion, deed a parcel of a Reserve to an owner or owners of an adjacent lot, subject to the obligation to maintain such deed parcel of a Reserve in compliance with the provisions hereof and in compliance with the maintenance covenants of any applicable restrictive covenants and/or regulations. Access controls shall be as depicted on the face of the plat and are hereby granted to the City of Wichita, Kansas. The Minimum Building Foot Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

*Rob Ransmeyer, Vice-President of*  
Rob Ransmeyer, Vice-President of  
Richie Associates, Inc. Manager

State of Kansas) SS The foregoing instrument acknowledged before me, Sedgwick County) this 5TH day of JULY, 2005, by Rob Ransmeyer, Vice-President of Richie Associates, Inc., as Manager of Chestnut Ridge, LLC, a Kansas limited liability company, on behalf of the limited liability company.

*Quetta M. Tekauer*  
Quetta M. Tekauer, Notary Public

My App'l. Exp. 11-7-05

MINIMUM BUILDING FOOT ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES			
REMARKS:	LOT	BLOCK	OTD DATUM
N. MEADOW OF R.C.G. ON 21ST STREET NORTH	3, 4	A	187.0
SP. COR. SE 1/4 SEC. 2	12-17	A	187.0
TM 27-5, R-2-E	16-22, 29	A	186.0
ELEV. = 1723.3 OTD DATUM (1862.6 METERS)	32-37	A	186.0

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County) and state do hereby certify that we have surveyed and platted "KRUG NORTH 2ND ADDITION," Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as: A report of all of Lots 25, 26, 27, 28, 29, 30, 31, and 32, Block 4, Krug North Addition, Wichita, Sedgwick County, Kansas, together with all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, and 22, Block D, in said Krug North Addition, together with all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, and 18, Block E, in said Krug North Addition, together with all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, and 33, Block I, in said Krug North Addition, together with all of Reserves "A", "B", and "C" as platted in said Krug North Addition, together with all of Camden Chase, Mainsgate, Spring Hollow St., Quincy, 24th St. N., N. Springdale Cir., N. Springdale Cir., Spirit Rail, Spirit Rail Circle, that part of Burning Tree lying north of said Camden Chase and lying south of said Mainsgate, and that part of Castle Rock lying north of the following described line: Beginning at the NE corner of Lot 24, Block 4, in said Krug North Addition; thence S80°14'29"E, 64.74 feet to the NW corner of Reserve "D" in said Krug North Addition and there ending, all as platted and dedicated in said Krug North Addition.

All being situated in the SE 1/4 of Sec. 2, Twp. 27-S, R-2-E of the 6th P.M., Sedgwick County, Kansas.

Existing public easements and dedications being vacated by virtue of K.S.A. 12-512(b)

Baughman Company, P.A.

*Michael G. Conroy*  
Michael G. Conroy, Surveyor

We, the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "KRUG NORTH 2ND ADDITION," Wichita, Sedgwick County, Kansas.

*GARY D. SCHMITT*  
GARY D. SCHMITT, EXEC. V.P.

State of Kansas) SS The foregoing instrument acknowledged before me, this 5TH day of JULY, 2005, by GARY D. SCHMITT, EXEC. V.P. of INTRUST BANK, N.A., on behalf of the bank.

*Susan K. Cook*  
SUSAN K. COOK, Notary Public



*Don Broeze*  
Don Broeze, County Clerk

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 22ND day of AUGUST, 2005 at 11:30 o'clock A.M. and is duly recorded.

*Bill Weck*  
Bill Weck, Register of Deeds

*Tony Bucknigham*  
Tony Bucknigham, Deputy



Baughman Company, P.A.  
315 S.W. 5th, Wichita, KS 67211 316-262-2111 316-262-0416  
REGISTERED SURVEYORS FOUNDED 1988 LAND SURVEYORS