

# SANITARY SEWER PLANS FOR HOME DESIGN CENTER

LATERAL 57, MAIN 22 WIS

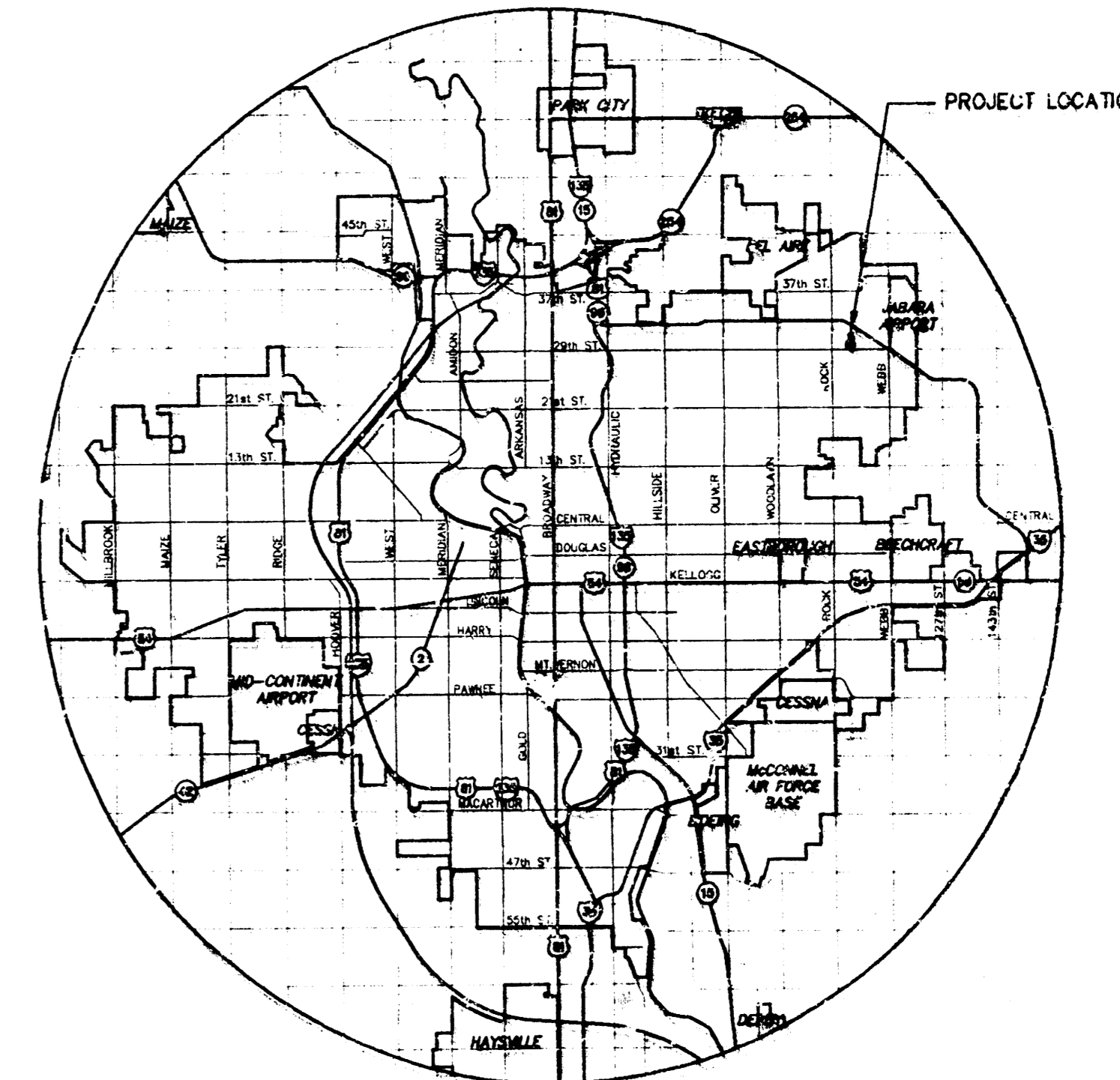
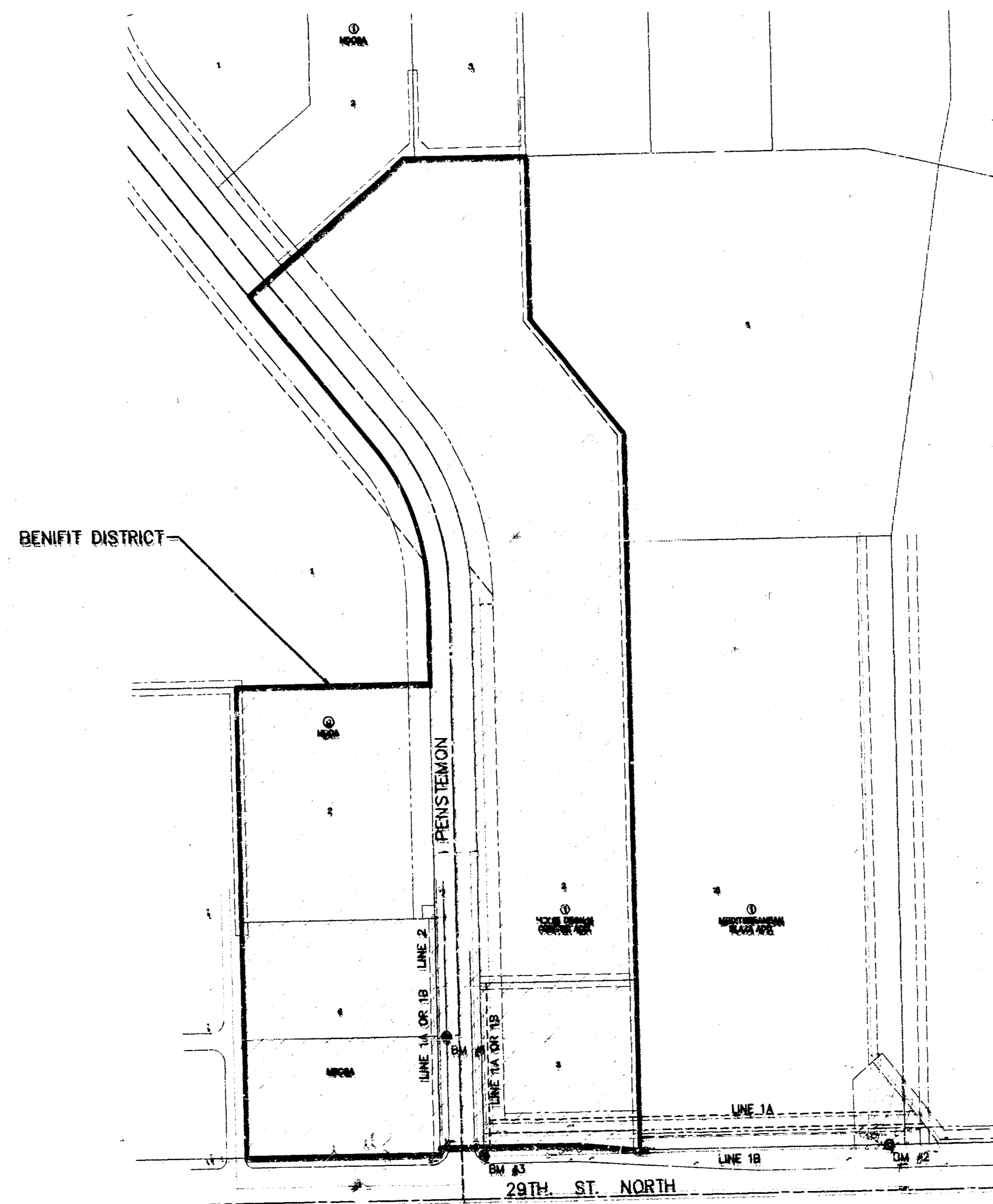
PROJECT NO. 468-82052

CITY OF WICHITA, KANSAS  
MICHAEL E. LINDEBAK, CITY ENGINEER

INDEX CODE 742296

## GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT (48) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:  
KANSAS ONE-CALL 1-800-344-7233  
or 687-2470 (LOCAL WICHITA)  
THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:  
SOUTHWESTERN BELL TELEPHONE COMPANY 1-571-2115  
CABLEVISION 282-0681  
KANSAS GAS & ELECTRIC (ELECTRIC) 284-1141  
KANSAS GAS & ELECTRIC (GAS) 832-3190 OR 832-3169  
CITY OF WICHITA SEWER MAINTENANCE 288-4908  
CITY OF WICHITA WATER DEPARTMENT 268-4908  
FARMLAND INDUSTRIES 1-918-333-4111
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- COST OF EXCAVATION, HAULING, AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.
- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDED AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUNDS SHALL BE CONSTRUCTED WITH A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.
- ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
- PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST OF RESHAPING EXISTING MANHOLE INVERTS IS INCIDENTAL TO THE PROJECT.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- ALL DISTURBED AREAS TO BE SEEDDED WITH RYE GRASS AT A RATE OF 200 LBS./ACRE WITHIN 10 DAYS OF CONSTRUCTION. COST SHALL BE SUBSIDIARY TO PROJECT.



LOCATION MAP

CITY OF WICHITA

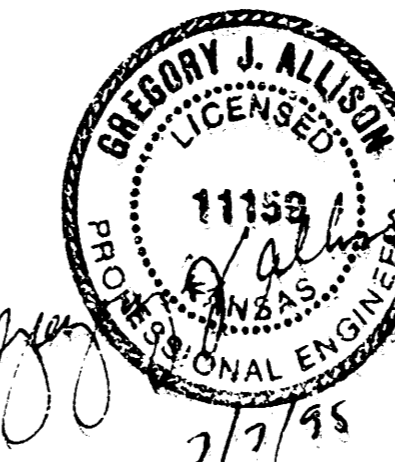
## INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	MANHOLE DETAILS
3	PLAN & PROFILE LINE 1A
4	PLAN & PROFILE LINE 1B
5	PLAN & PROFILE LINE 2
6	MEDITERRANEAN PLAZA PLAT
7	MEDITERRANEAN PLAZA COMMERCIAL 2ND ADDITION PLAT
8	HOME DESIGN CENTER PLAT

## BENCHMARKS

- BM1 - SQUARE CUT TOP OF CURB WEST OF PENSTEMON  
227.92' NORTH OF CL OF 29TH ST. NORTH.  
ELEV. - 222.46
- BM2 - CITY DISC IN NE. COR. OF RCB UNDER 29TH ST. N.  
+/- 550' W OF THE S 1/4 COR. SEC. 32-26S-R2E.  
ELEV. - 215.93
- BM3 - RR SPIKE STEP IN THE SE. FACE OF POWER POLE  
AT THE NE. CORNER OF PENSTEMON ST. AND 29TH  
ST. NORTH. ELEV. - 222.83

SCALE: 1" = 150'

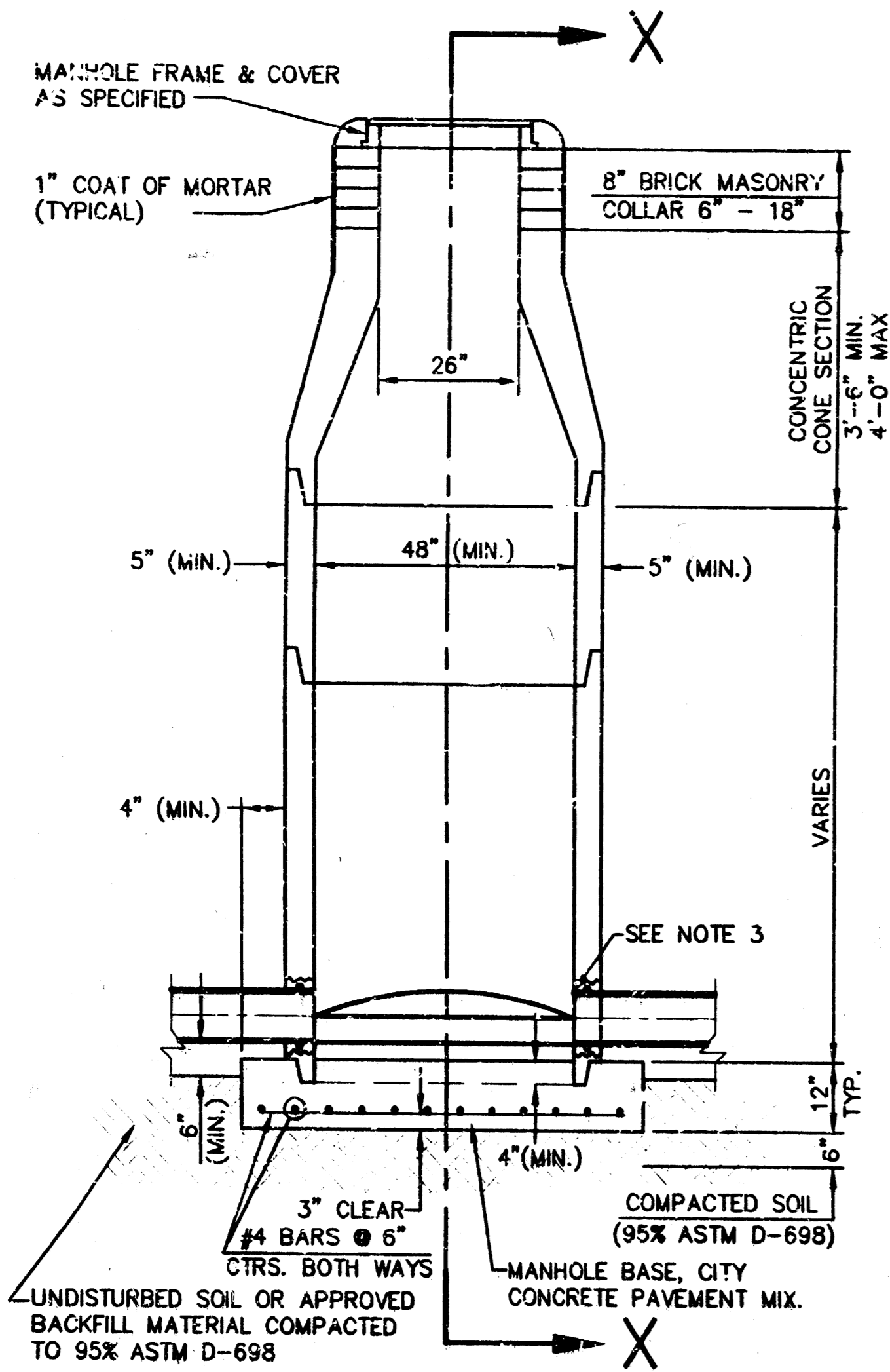


Revised 7/7/95

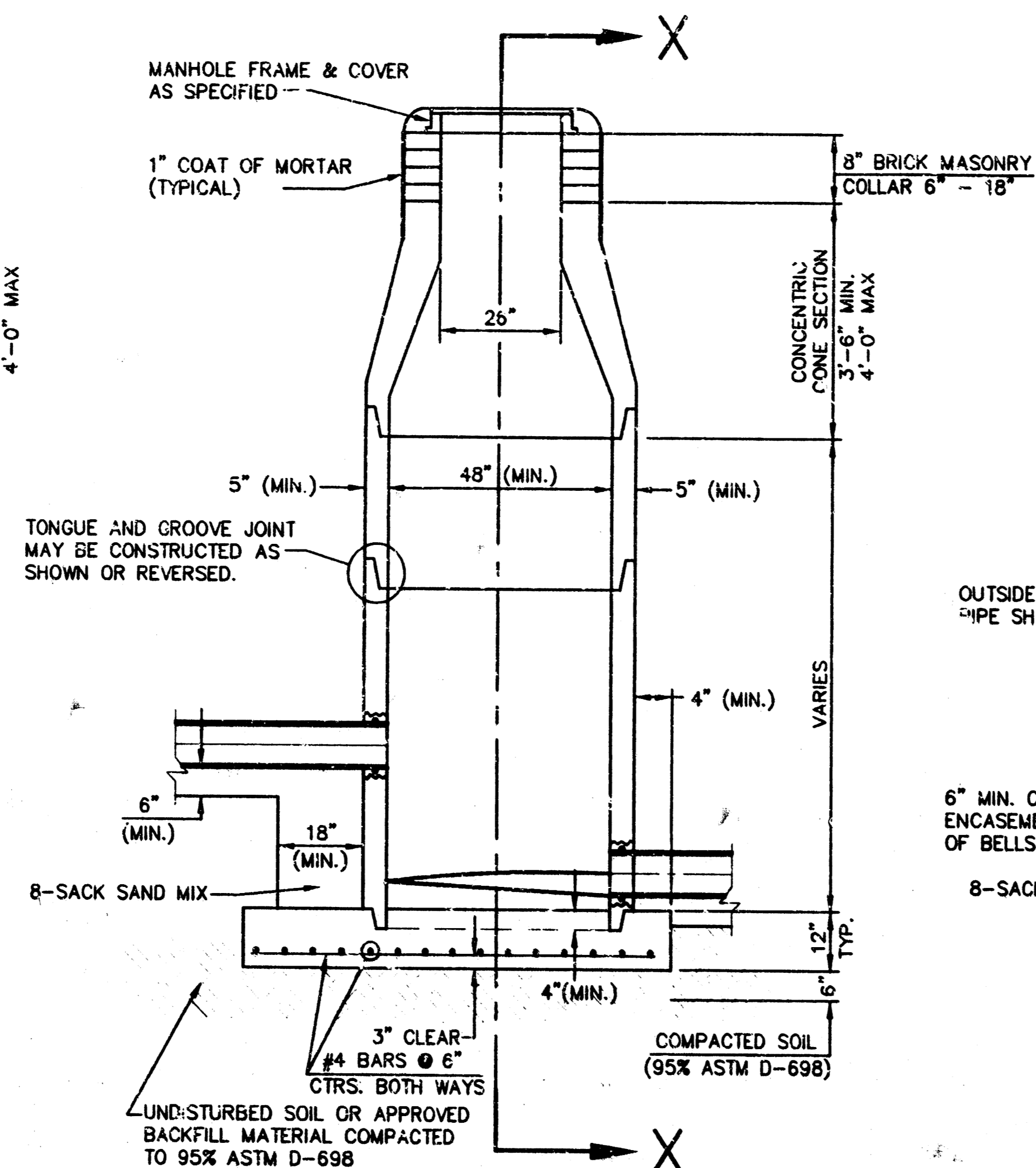
	<b>HOME DESIGN CENTER</b>		
	PROJECT NAME		
	<b>SANITARY SEWER PLANS</b>		
	SHEET TITLE		
MID-KANSAS ENGINEERING CONSULTANTS, INC. 411 N. WEBB ROAD WICHITA, KS. 67204 316-684-9600	G.J.A. DESIGN BY: JUNE 1995 DATE	B.D.M./B.D.L. DRAWN BY: 95014BT JOB NO.	G.J.A. CHECKED BY: 1 / 8 SHEET/OF

# SEWER APPURTENANCES DETAILS

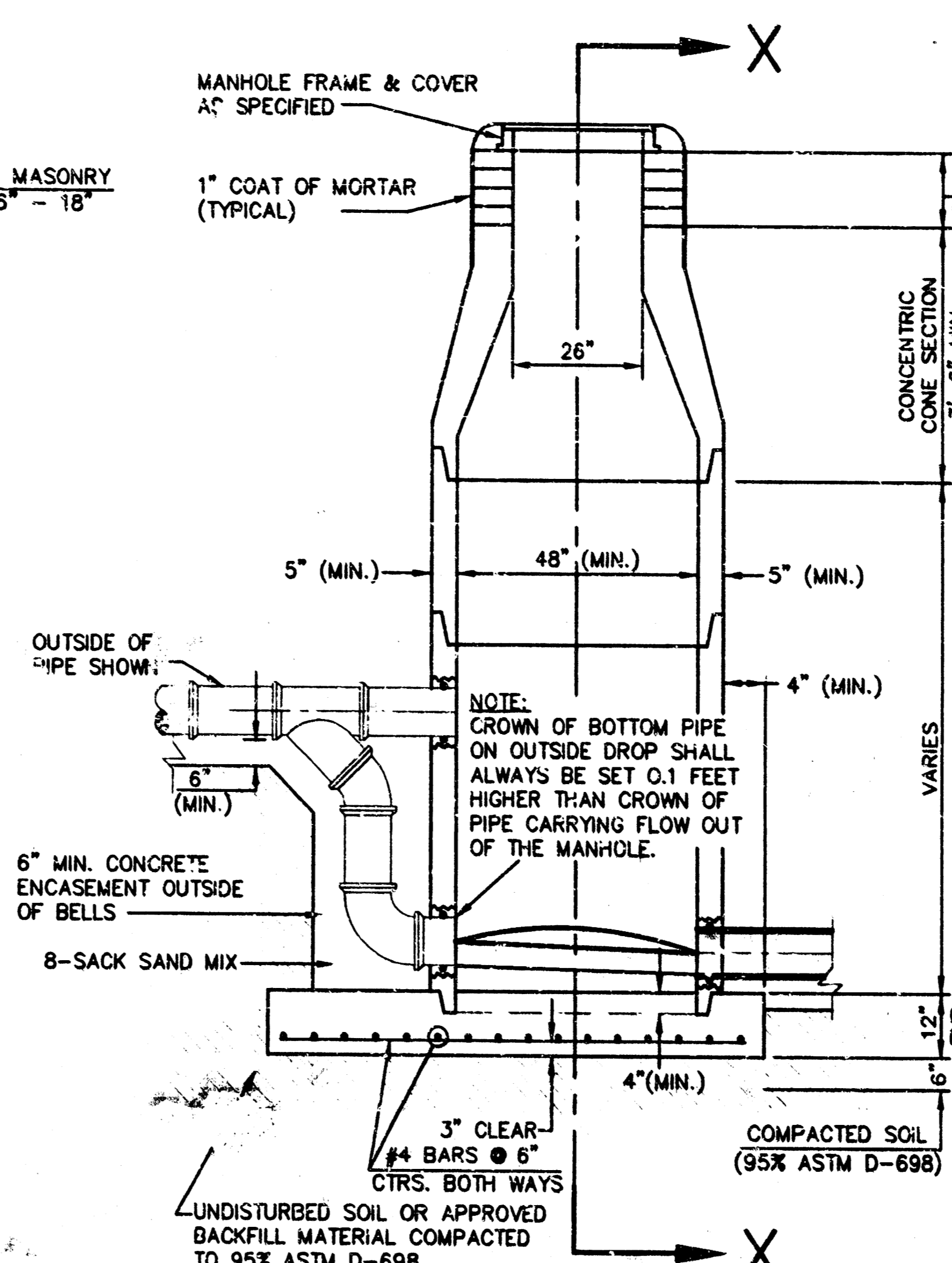
ADOPTED AS STANDARD DESIGN  
BY  
CITY OF WICHITA



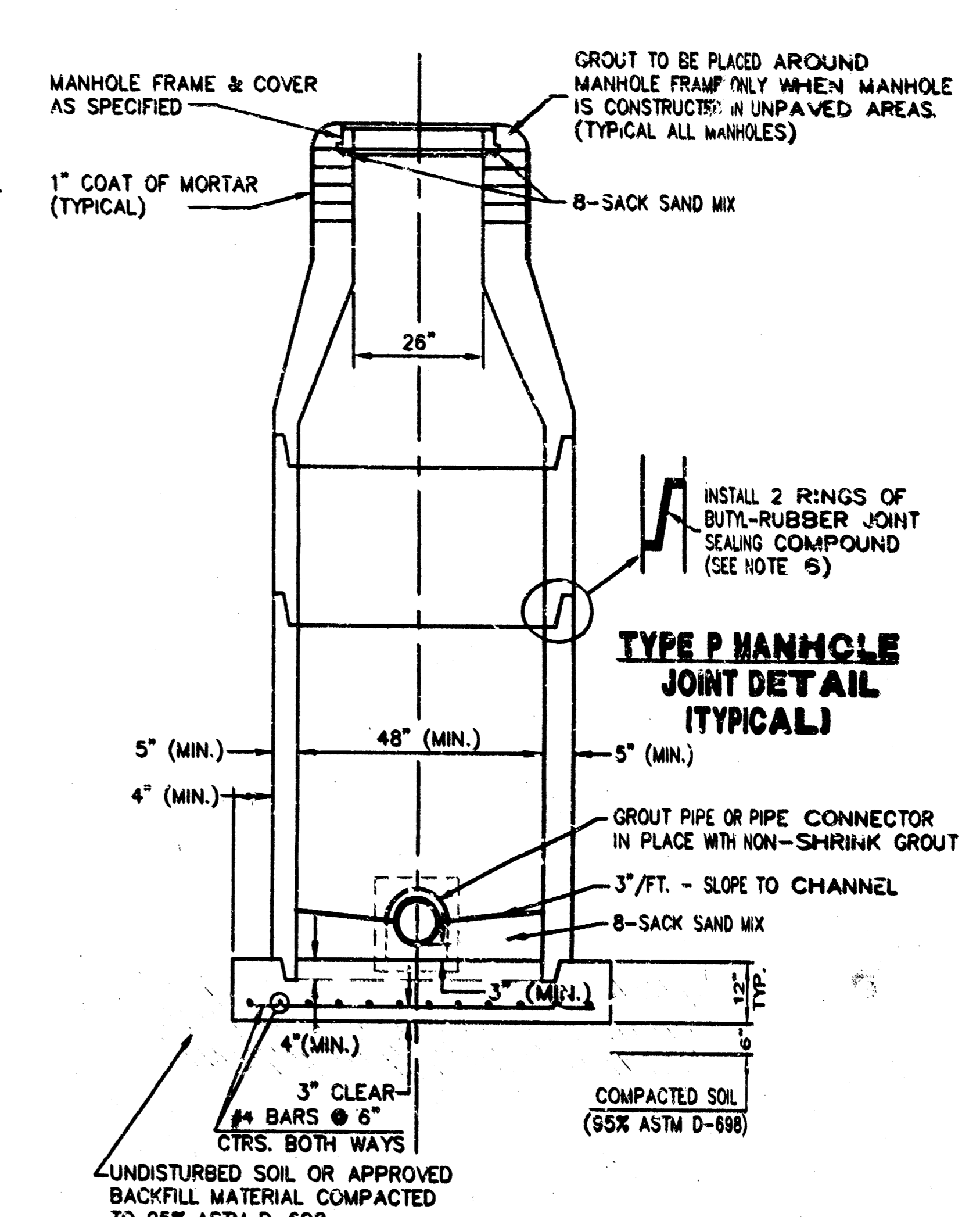
**TYPE P  
STANDARD MANHOLE**



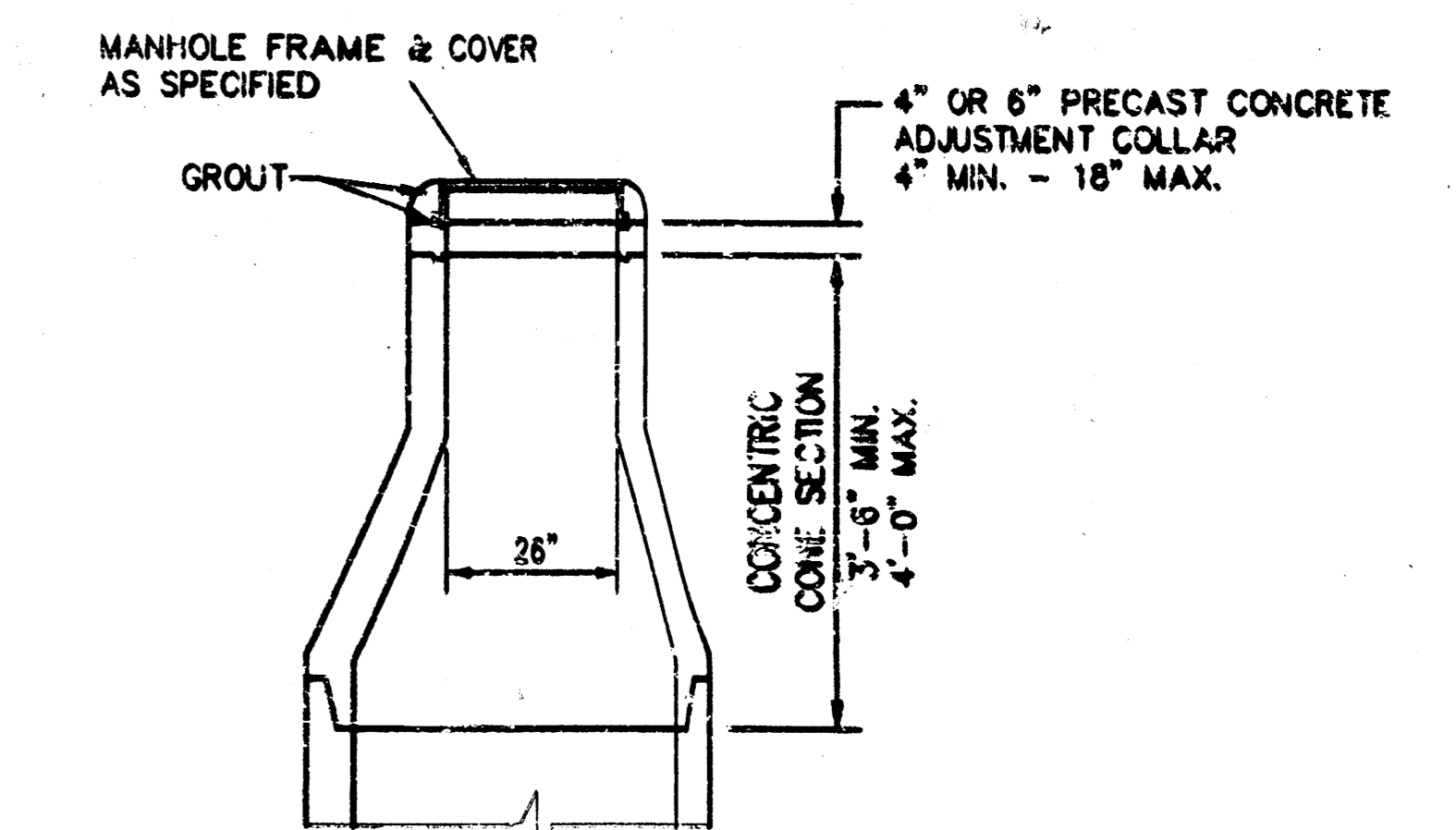
**TYPE P  
INSIDE DROP MANHOLE**



**TYPE P  
OUTSIDE DROP MANHOLE**



**SECTION X  
(TYPICAL)**



**ALTERNATE CONSTRUCTION  
IN UNPAVED AREAS**

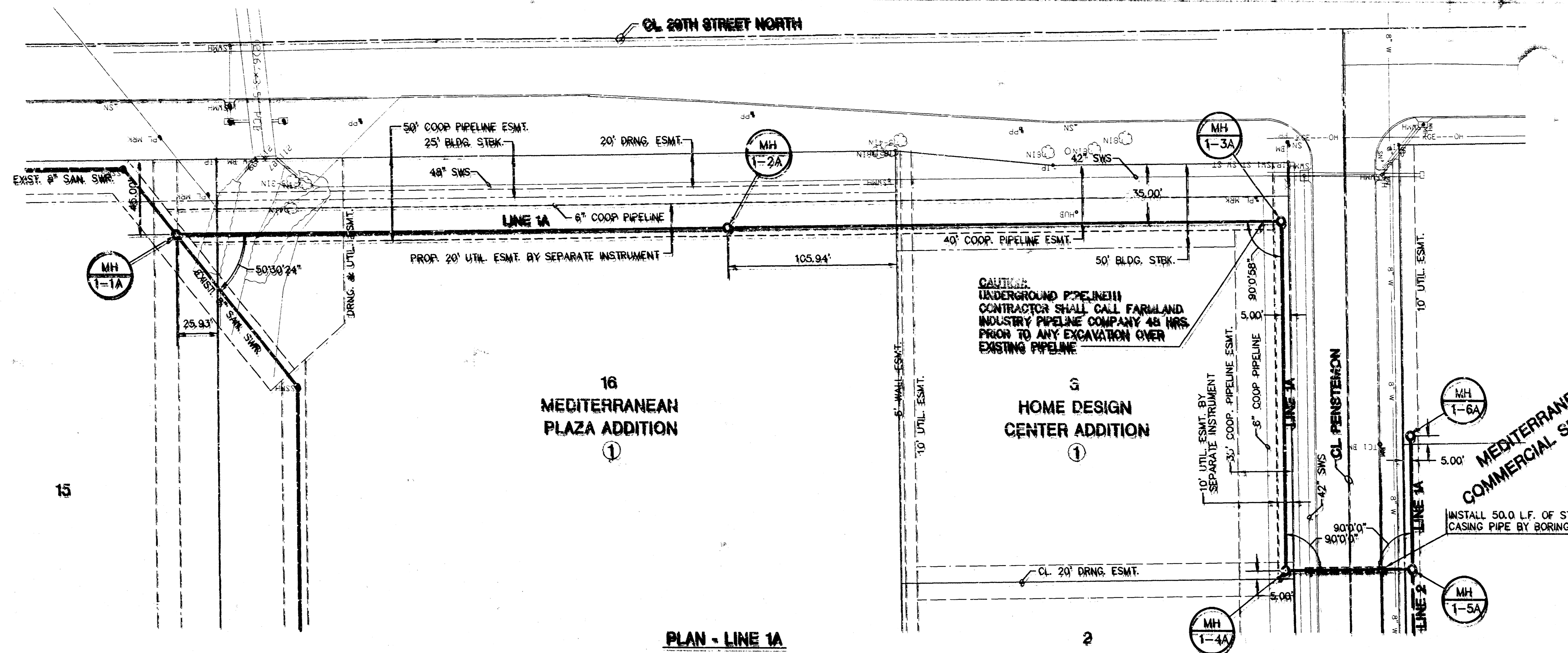
**GENERAL NOTES - PRECAST MANHOLE NOTES**

- ALL PRECAST CONCRETE MANHOLE SECTIONS SHALL CONFORM TO THE LATEST REVISIONS OF A.S.T.M. C478 AS MODIFIED BY THE SPECIFICATIONS.
- NON-SHRINK GROUT SHALL BE NON-METALLIC TYPE.
- APPROVED FLEXIBLE WATERSTOP GASKETS SHALL BE INSTALLED TO JOIN THE SEWER TO THE MANHOLE WALL WHEN A.B.S. COMPOSITE PIPE OR P.V.C. PIPE IS USED. FOR OTHER TYPES OF PIPE THE SEWER SHALL BE GROUTED IN PLACE WITH NON-SHRINK GROUT. THE SEWER PIPE SHALL BE SUPPORTED WITH CONCRETE ENCASEMENT A MINIMUM OF 3 FEET FROM THE MANHOLE WALL AND TO THE FIRST JOINT FOR V.C.P. SUCH THAT THE JOINT REMAINS FLEXIBLE.
- INSIDE SURFACES OF THE CONCRETE MANHOLE WHICH WOULD BE EXPOSED TO GAS SHALL BE COATED WITH 2 COATS TNEEC SERIES 66 HI-BUILD LINE, DRY THICKNESS OF 8 MILS (MIN.)
- MANHOLE WALLS SHALL BE COATED WITH 1 COAT MOBILARMA 633 COATING
- SEALING COMPOUND SHALL BE KENT SEAL NO. 2 OR APPROVED EQUAL.
- MANHOLES SHALL BE SET AT LEAST 4 INCHES INTO THE MANHOLE BASE.
- MANHOLE FLOOR SLAB SHALL BE AT LEAST 3 INCHES BELOW THE FLOW OF THE OUTLET PIPE TO INSURE SUFFICIENT MINIMUM THICKNESS OF FLOOR INVERT.
- LIFTING HOLES SHALL BE FILLED WITH NON-SHRINK GROUT AND THE INTERIOR SURFACE COATED AS SPECIFIED.
- MORTAR USED IN MASONRY CONSTRUCTION SHALL CONTAIN 8 SACKS OF CEMENT PER CUBIC YARD. CONCRETE USED IN MANHOLE BASES SHALL CONFORM TO THE REQUIREMENTS OF CONCRETE FOR CONCRETE PAVEMENT CONSTRUCTION AS SPECIFIED IN THE CITY STANDARD PAVING SPECIFICATIONS USING CITY CONCRETE PAVEMENT MIX WITHOUT AIR ENTRAINING ADMIXTURE. MORTAR SHALL BE PLACED AROUND THE MANHOLE RING AS SHOWN ON THE DRAWINGS WHEN MANHOLES ARE CONSTRUCTED IN UNPAVED AREAS. MANHOLES CONSTRUCTED WHERE PIPE SIZES ARE SMALLER THAN 24" SHALL HAVE AN INSIDE DIAMETER OF 4". MANHOLES CONSTRUCTED WHERE PIPE SIZES ARE 24" OR LARGER SHALL HAVE AN INSIDE DIAMETER OF 5". COMPLETED MANHOLE SHALL BE WITHOUT LEAKS AND WATER TIGHT.
- REINFORCING STEEL SHALL BE INSTALLED IN THE MANHOLE BASES AND SHALL CONSIST OF NO. 4 BARS PLACED ON 6" CENTERS IN BOTH DIRECTIONS. THE MANHOLE BASE REINFORCEMENT SHALL BE PLACED AT LEAST 3" ABOVE THE BOTTOM OF THE MANHOLE BASE. ALL COSTS FOR FURNISHING AND INSTALLING REINFORCING STEEL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
- OPENINGS SHALL BE CUT INTO THE MANHOLE WALL WHEN OUTSIDE DROPS ARE CONSTRUCTED ON EXISTING MANHOLES. SUCH OPENINGS CUT INTO EXISTING MANHOLES SHALL BE AS SMALL AS PRACTICAL TO FACILITATE INSTALLING AND GROUTING THE NEW PIPE IN PLACE. WATERSTOP GASKETS SHALL BE USED WITH THE OPENING USING AN APPROVED NONSHRINK GROUT FOR THE FULL MANHOLE WALL THICKNESS. THE EXTERIOR OF THE COMPLETED CONNECTION SHALL BE SEALED WITH AN APPROVED BITUMINOUS COATING SUCH THAT THE CONNECTION WILL BE WATER TIGHT. FLOOR OF MANHOLE SHALL BE MODIFIED TO FORM NEW FLOW CHANNEL FOR THE NEW CONNECTION AS INDICATED BY THE DRAWING. THIS WORK, INCLUDING MODIFICATION OF MANHOLE FLOOR, SHALL BE PAID FOR AT THE UNIT PRICE BID FOR OUTSIDE DROP STACK CONSTRUCTED ON EXISTING MANHOLE.
- THE FLOORS OF ALL MANHOLES SHALL BE SHAPED WITH FLOW CHANNELS SUCH THAT THE MANHOLES WILL BE SELF CLEANING AND FREE OF AREAS WHERE SOLIDS COULD BE DEPOSITED AS SEWAGE FLOWS THROUGH THE MANHOLE FROM ALL INLET PIPES TO THE OUTLET PIPE. FLOW CHANNELS SHALL BE FORMED TO MATCH THE BOTTOM HALVES OF THE INFLOWING PIPES AND THE OUTFLOWING PIPE AS SHOWN BY THE DRAWINGS EXCEPT FOR INSIDE DROP MANHOLES. FLOW CHANNELS FOR INSIDE DROP MANHOLES SHALL BE CONSTRUCTED AS INDICATED BY THE DRAWING. MANHOLE FLOORS SHALL HAVE SLOPES OF 3 INCHES PER FOOT IN THE AREAS OUTSIDE OF THE FLOW CHANNELS SLOPED TOWARD THE FLOW CHANNELS. PIPES LAID THROUGH MANHOLES SHALL HAVE THE TOP HALF REMOVED TO NEAT LINES FOR THE FULL INSIDE DIAMETER OF THE MANHOLE. MANHOLE FLOORS SHALL THEN BE SHAPED AROUND THE BOTTOM HALF OF THE PIPE WHICH FORMS THE FLOW CHANNEL.
- PIPES INSTALLED WITHIN THE EXCAVATION MADE FOR THE MANHOLE SHALL BE CRADLED WITH CONCRETE TO THE LIMITS OF THE MANHOLE EXCAVATION. WHEN CLAY PIPE IS USED, THE CRADLE SHALL EXTEND TO THE FIRST JOINT OUTSIDE THE MANHOLE. THE CRADLE SHALL BE TERMINATED AT THE CLAY PIPE JOINT IN A MANNER WHICH WILL MAINTAIN THE FLEXIBILITY OF THE JOINT. COST OF CRADLE WITHIN MANHOLE EXCAVATION OR TO CLAY PIPE JOINTS ADJACENT TO MANHOLE SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE MANHOLE.
- MANHOLE COVER CASTINGS AND MANHOLE FRAME CASTINGS SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE STANDARD SPECIFICATIONS AND AS SHOWN IN THE STANDARD DETAIL DRAWING.
- THE VERTICAL DROP IN INSIDE DROP MANHOLES SHALL NOT EXCEED 2' FOR INFLOWING PIPES. THE CROWNS OF INFLOWING PIPES SHALL NEVER BE SET LOWER THAN THE CROWN OF THE OUTFLOWING PIPE.
- STANDARD MANHOLES AND STANDARD INSIDE DROP MANHOLES SHALL BE BID AS STANDARD MANHOLES FOR THE TYPE AND DIAMETER INDICATED. OUTSIDE DROP MANHOLES SHALL BE BID AS STANDARD OUTSIDE DROP MANHOLES FOR THE TYPE AND DIAMETER INDICATED. ALL MANHOLE DIAMETERS WILL BE 4' UNLESS INDICATED OTHERWISE.
- A BRICK MASONRY COLLAR SHALL BE INSTALLED BETWEEN THE CAST IRON FRAME AND THE CONCENTRIC CONE. THE COLLAR WILL HAVE 8" WALLS AND A VERTICAL HEIGHT OF 6" MINIMUM AND 18" MAXIMUM. A 1" COAT OF MORTAR WILL BE PLASTERED ON THE OUTSIDE OF THE COLLAR.

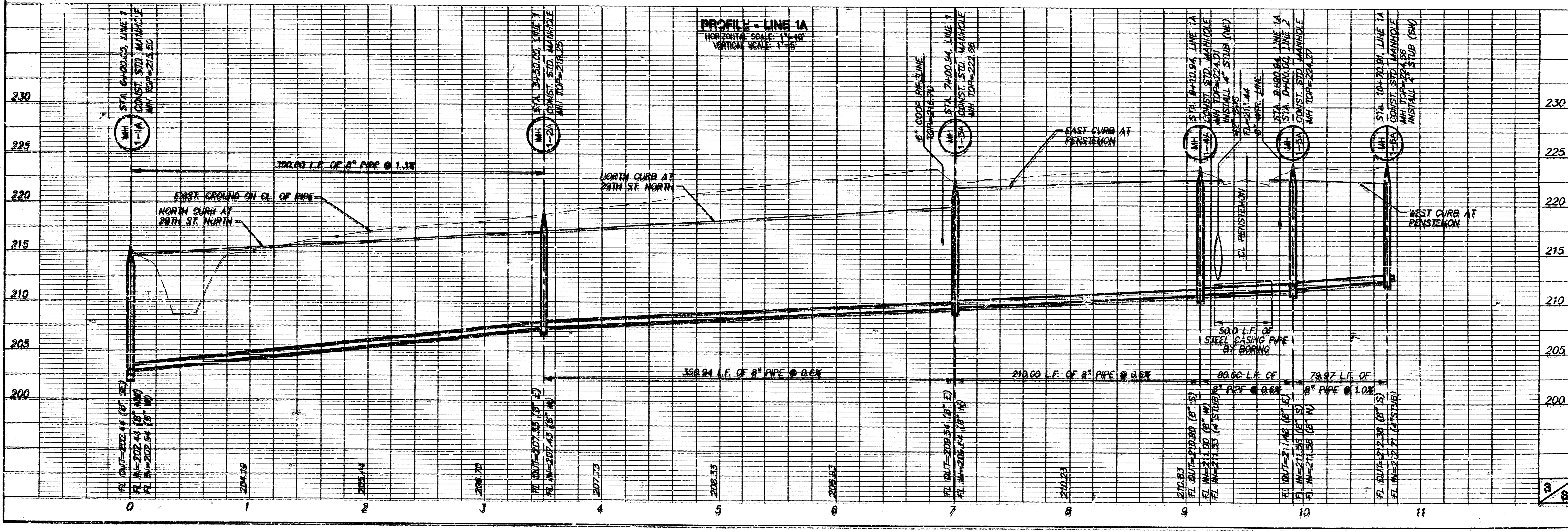
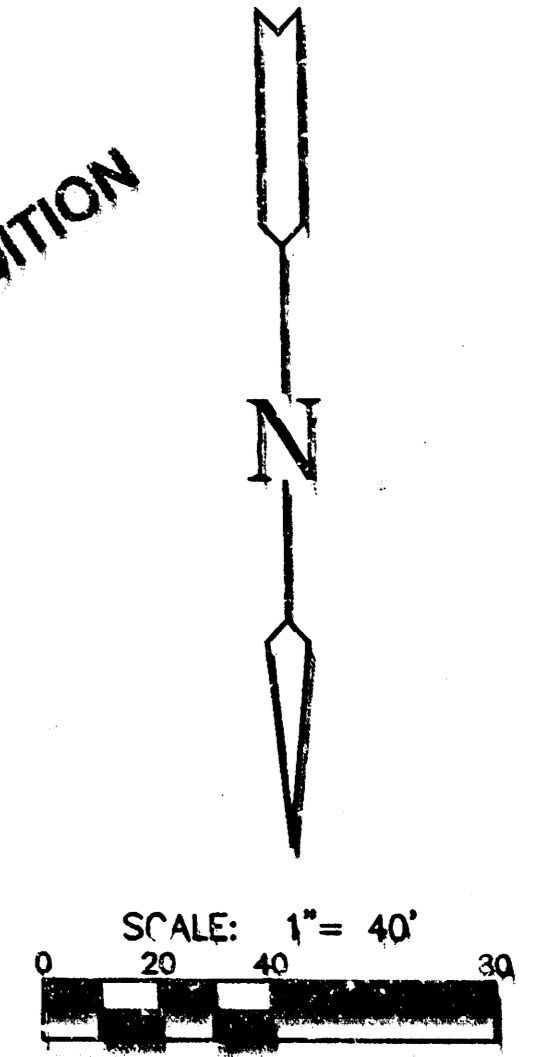
REVISED: 6-12-88

CITY OF WICHITA, KANSAS			
Design	C.O.W.	Checked by	Checked by
Drawn by	Dals	Date	Job No.

HOME DESIGN CENTER  
SANITARY SEWER  
PROJ#488-92052

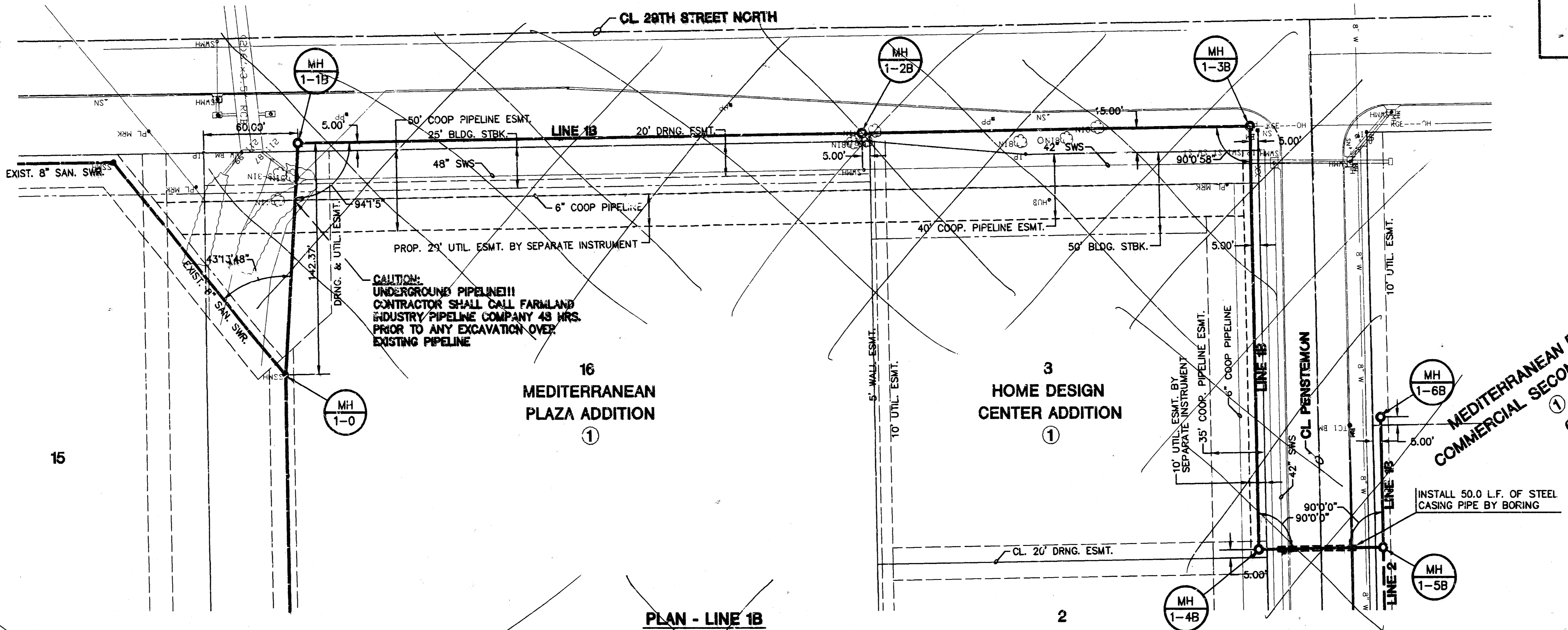


PLAN - LINE 1A

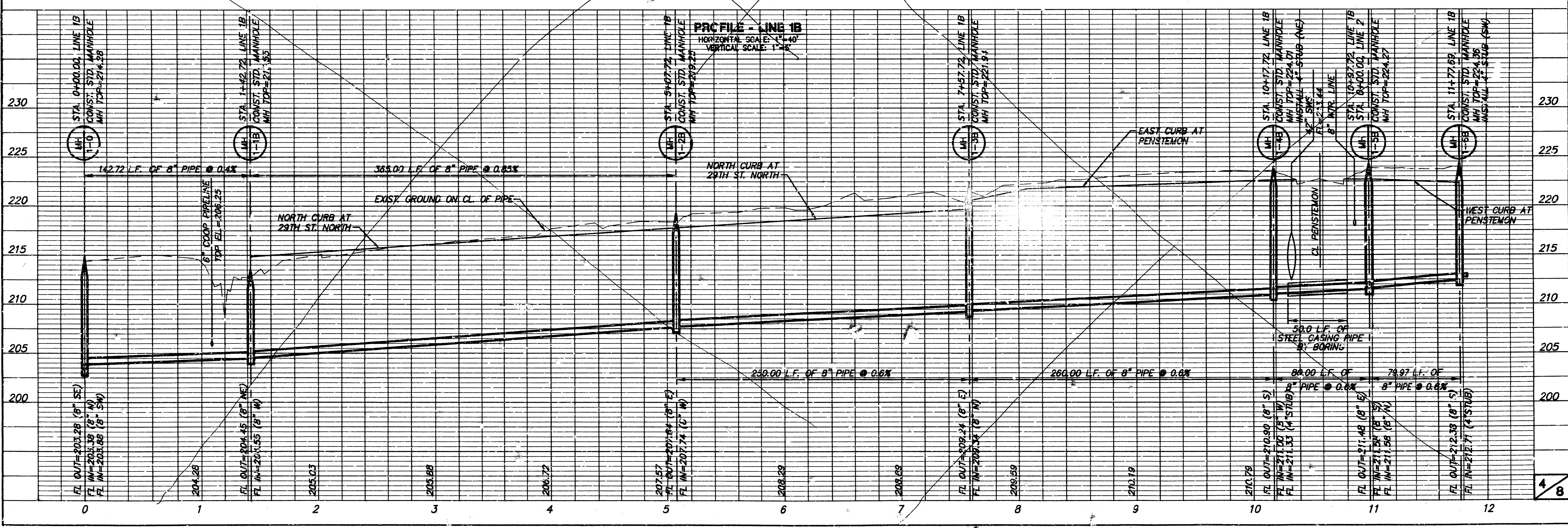


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HOME DESIGN CENTER  
SANITARY SEWER  
PROJ.#468-82062

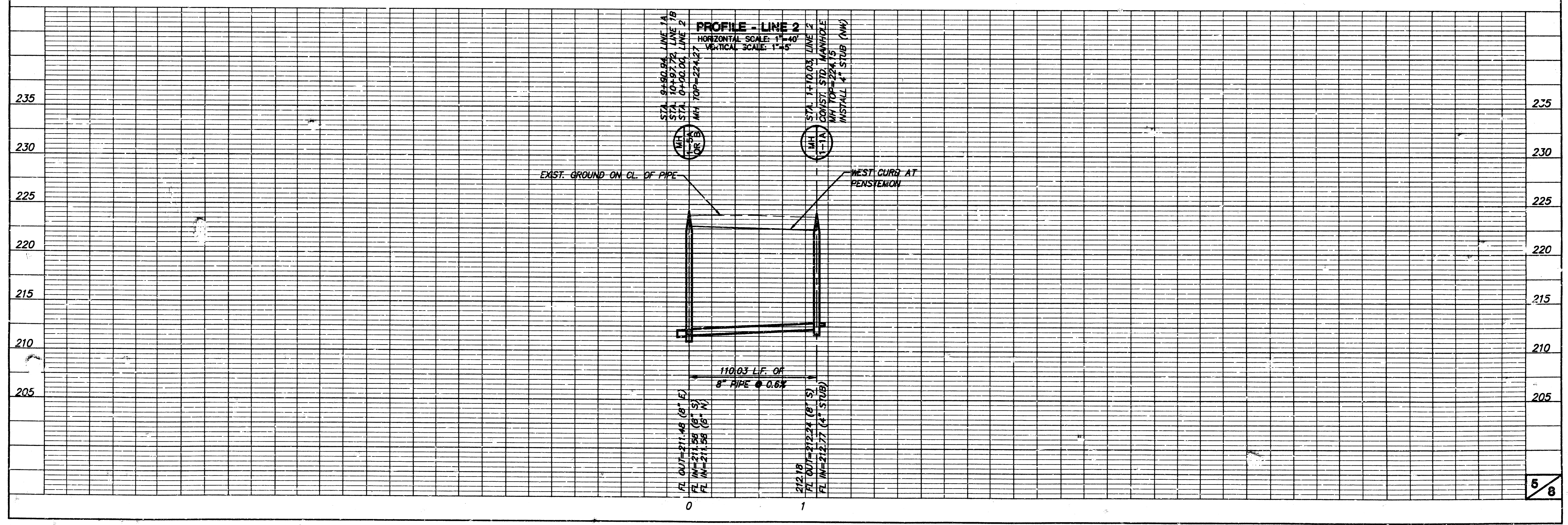
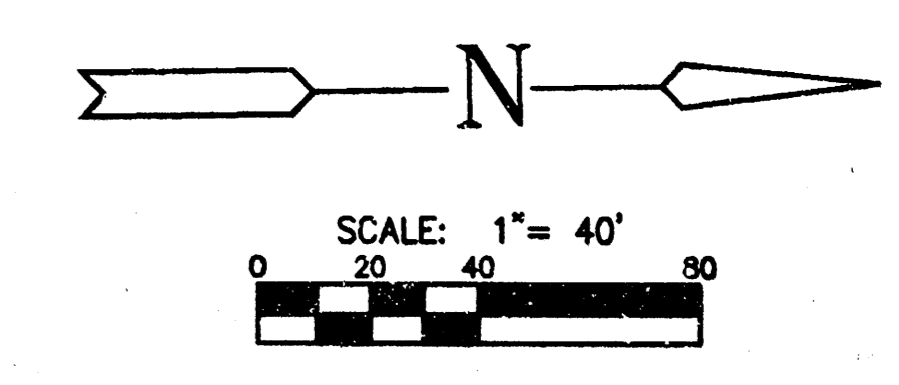
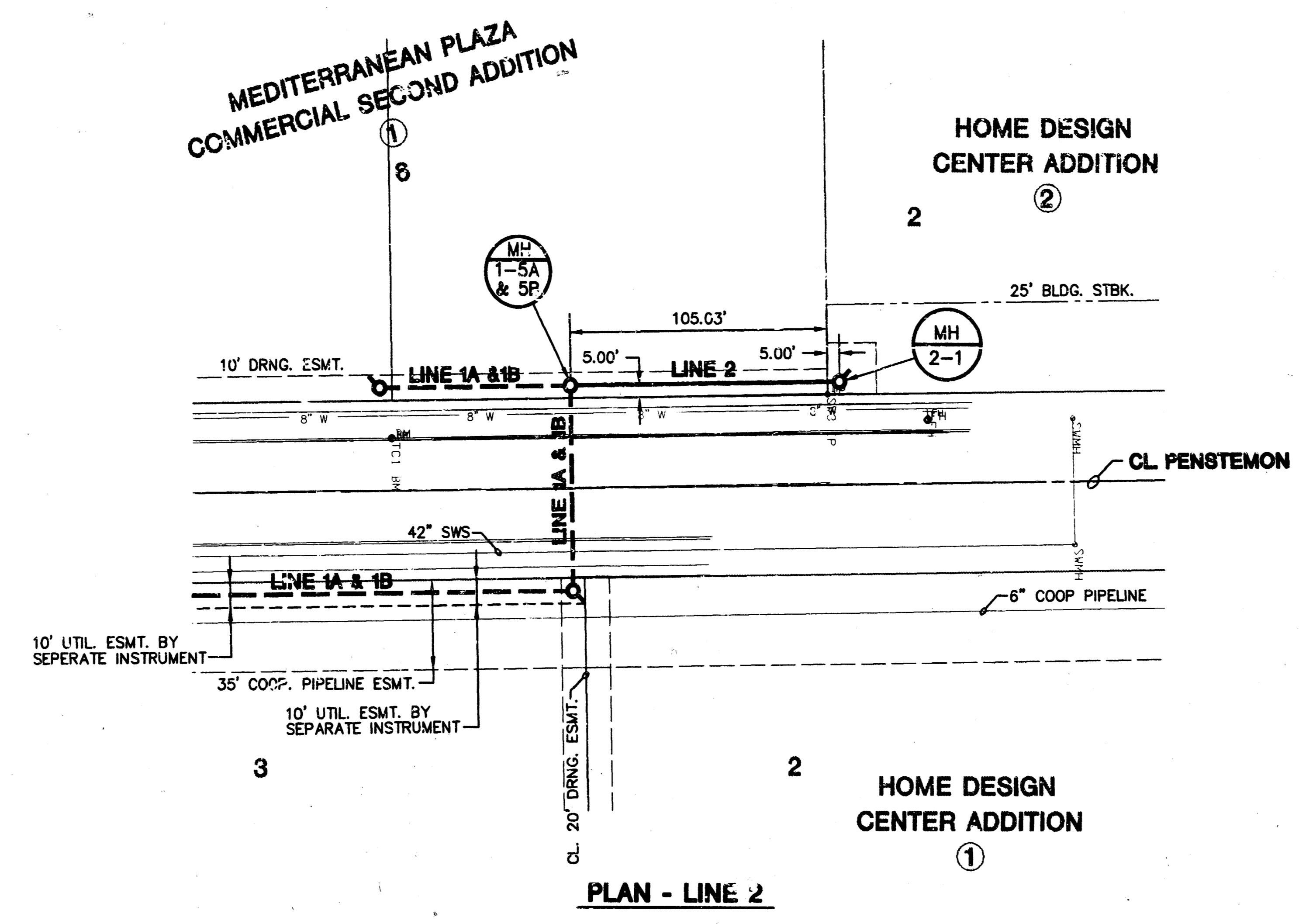


PLAN - LINE 1B



PROFILE - LINE 1B

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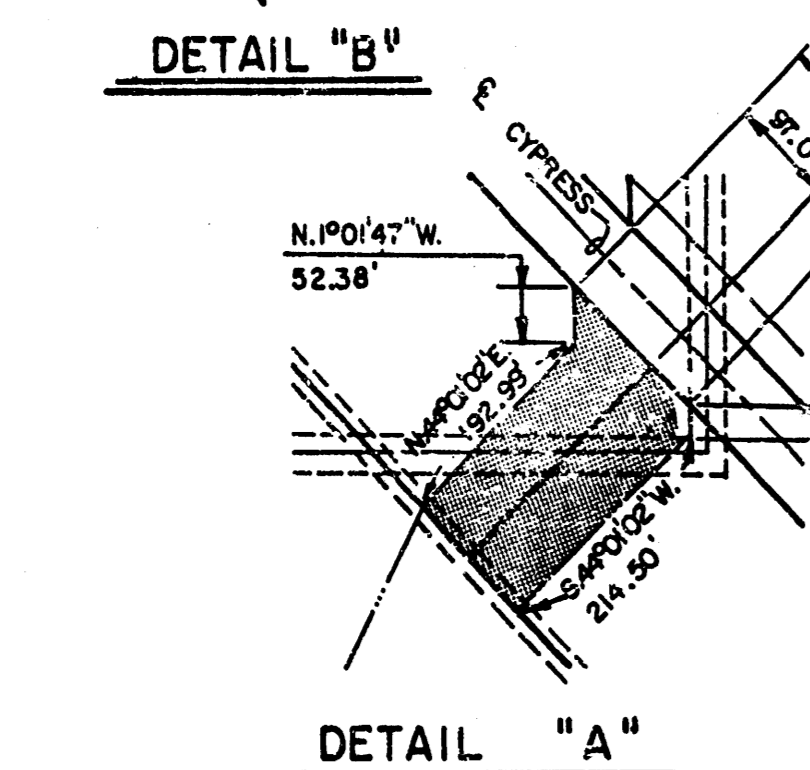
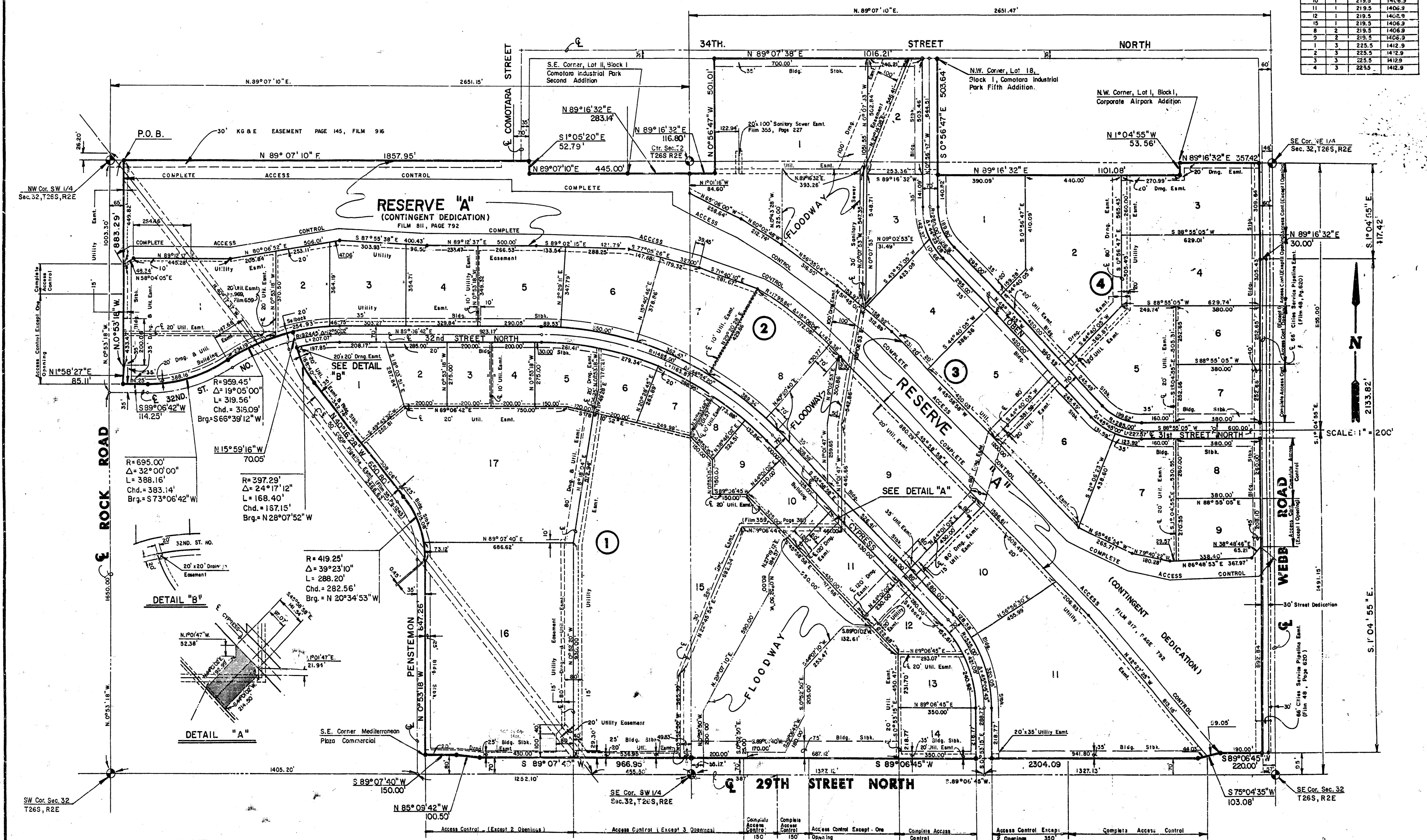


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# FINAL PLAT OF MEDITERRANEAN PLAZA

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

Lot No.	Block No.	Minimum Plat Acreage	Minimum Plat Area (U.S.S.)
10	1	219.5	1466.9
11	1	219.5	1406.9
12	1	219.5	1406.9
13	1	219.5	1406.9
14	1	219.5	1406.9
15	1	219.5	1406.9
16	1	219.5	1406.9
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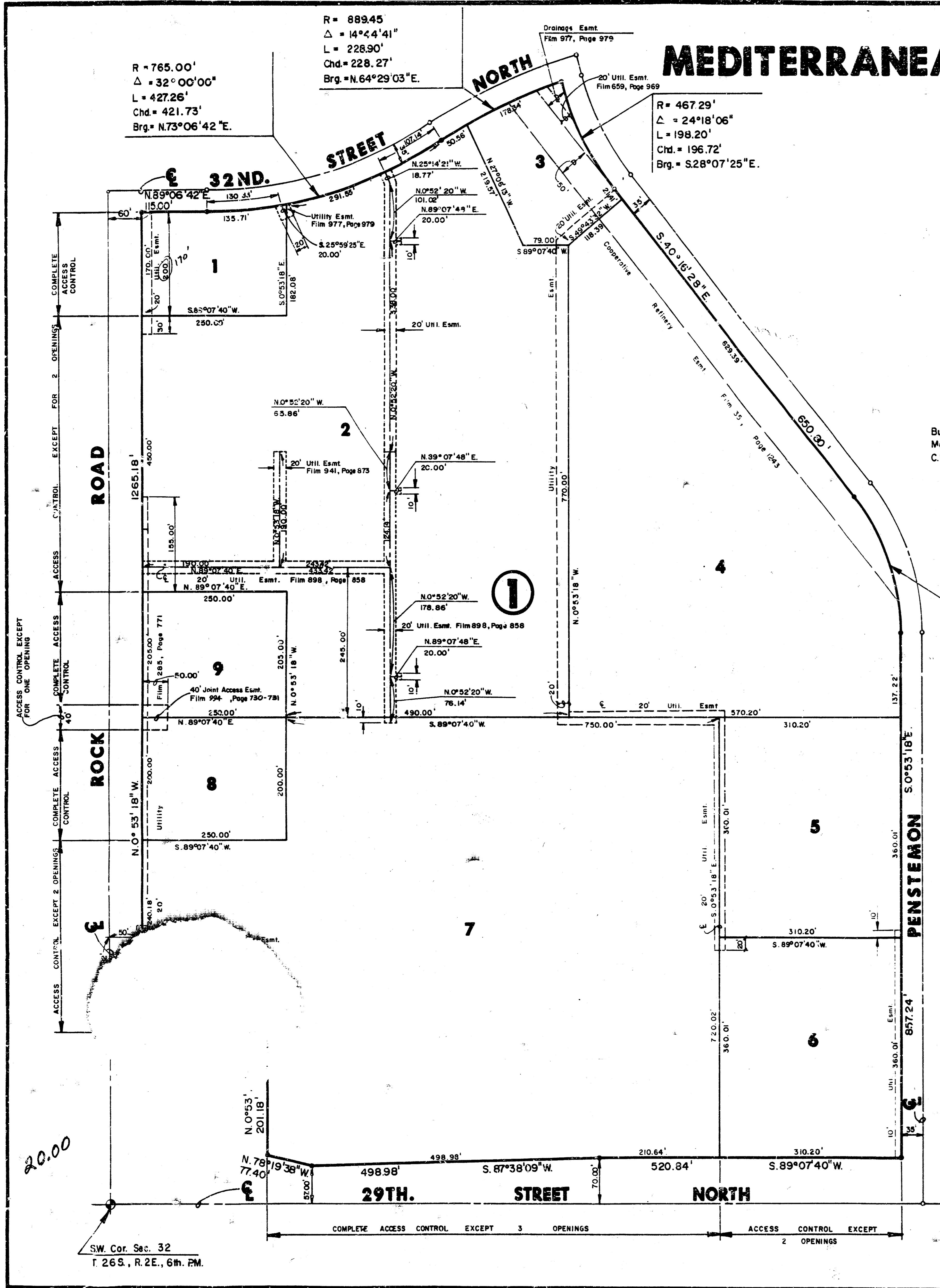
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87-L-1

# MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION

## AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



R = 765.00'  
 $\Delta = 32^{\circ}00'00''$   
 L = 427.26'  
 Chd. = 421.73'  
 Brg. = N.73°06'42"E.

R = 889.45  
 $\Delta = 14^{\circ}44'41''$   
 L = 228.90'  
 Chd. = 228.27'  
 Brg. = N.64°29'03"E.

R = 467.29'  
 $\Delta = 24^{\circ}18'06''$   
 L = 198.20'  
 Chd. = 196.72'  
 Brg. = S.28°07'25"E.

Scale: 1" = 100'

Building Setbacks As Per The Mediterranean Plaza Commercial C.U.P. (D.P. III)

R = 349.25'  
 $\Delta = 39^{\circ}23'10''$   
 L = 240.08'  
 Chd. = 235.38'  
 Brg. = S.20°34'53"E.

I, Kenneth H. Bengtson, a Civil Engineer and Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION", an addition to Wichita, Sedgwick County, Kansas, into lots and a block, the same being accurately set forth in the accompanying plat and described herein:

A replat of Lot 1 and Lot 2, Block 1 of MEDITERRANEAN PLAZA COMMERCIAL, an addition to Wichita, Sedgwick County, Kansas, except that portion described as follows:

Beginning at the Southwest corner of Lot 2, Block 1 of said Mediterranean Plaza Commercial; thence Northwesterly along the West line of said Lot 2, Block 1, N. 00° 53' 18" W., 175.00 feet; thence N. 09° 25' 09" W., 25.44 feet to a point lying 275.00 feet North of the South line of the Southwest Quarter, Section 32, Township 26 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas; thence N. 89° 07' 40" E., 203.77 feet parallel with said South line of said Southwest Quarter to a point lying 275.00 feet East of the West line of said Southwest Quarter; thence S. 00° 53' 18" E., 201.18 feet parallel with said West line of said Southwest Quarter to a point on the South line of said Lot 2, Block 1; thence Westerly along said South line N. 78° 19' 38" W., 25.68 feet; thence S. 87° 38' 09" W., 174.99 feet to the point of beginning.

All Lots, Blocks and easements within the above described property are being vacated and replatted by virtue of K.S.A. 12-512b.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 15 day of September, 1988.

Kenneth H. Bengtson  
 Kenneth H. Bengtson, P.E. R.L.S. #922  
 Mid-Kansas Engineering Consultants, P.A.  
 3500 N. Rock Road, Building #800  
 Wichita, KS 67226

Know all men by these presents that we the undersigned property owners of the land as above set forth in the Land Surveyor's Certificate, have caused the same to be known as "MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION", an addition to Wichita, Sedgwick County, Kansas. Easements for the construction and maintenance of drainage and public utilities as indicated on the accompanying plat are hereby granted. All abutters right of access to or from the East line of Rock Road over and across the West line of Mediterranean Plaza Commercial Second Addition are hereby granted to the City of Wichita, provided, however, that Lots 2 and 7, Block 1 shall have access to Rock Road at two (2) locations each and that Lots 8 and 9, Block 1 shall have access to Rock Road at one (1) location. A Joint Access Easement between said Lots 8 and 9. Location to be determined by the City Engineer. All abutters right of access to or from the North line of 29th Street North over and across the South line of Mediterranean Plaza Commercial Second Addition are hereby granted to the City of Wichita, provided, however, that Lot 6, Block 1 shall have access to 29th Street North at two (2) locations and Lot 7, Block 1, shall have access to 29th Street North at three (3) locations. Locations to be determined by the City Engineer. Building setbacks shall be in accordance with the Mediterranean Plaza Commercial C.U.P. (D.P. III) on file with the Wichita Sedgwick County Metropolitan Area Planning Department.

WOODLAWN DEVELOPMENT COMPANY, a partnership

By: Donald J. Abiah  
 Donald J. Abiah, Attorney-in-fact for Woodlawn Development Company

STATE OF KANSAS  
 SEDGWICK COUNTY

Be it remembered that on this 14th day of September, 1988, before me a Notary Public in and for said State and County, came Donald J. Abiah, Attorney-in-fact for Woodlawn Development Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Gloria A. Homil, Notary Public  
 My Appointment Expires: \_\_\_\_\_

We, Chemical Bank, Mortgages on the above described property, do hereby consent to the plat of "MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION."

CHEMICAL BANK  
 By: Phillip S. Frick  
 Phillip S. Frick, Attorney-in-fact #971640

STATE OF KANSAS  
 SEDGWICK COUNTY

Be it remembered that on this 14th day of September, 1988, before me a Notary Public in and for said State and County, came Phillip S. Frick, attorney-in-fact on behalf of Chemical Bank, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Patti L. Wassinger, Notary Public PATTI L. WASSINGER  
 My Appointment Expires: \_\_\_\_\_

We, The Mission Bank, Mortgages on the above described property, do hereby consent to the plat of "MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION."

THE MISSION BANK  
 By: Glen M. Porter  
 Glen M. Porter, Vice President

STATE OF KANSAS  
 SEDGWICK COUNTY

Be it remembered that on this 15th day of September, 1988, before me a Notary Public in and for said State and County, came Glen M. Porter, Vice President, of the Mission Bank, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Rose Ann Worlein, Notary Public  
 My Appointment Expires: \_\_\_\_\_

NORTHROCK REALTY PARTNERS  
 a Kansas general partnership

By: Virginia L. Abiah  
 Virginia L. Abiah, President  
 KILLARNEY INVESTMENTS, INC.  
 managing partner

STATE OF KANSAS  
 SEDGWICK COUNTY

Be it remembered that on this 14th day of September, 1988, before me a Notary Public in and for said State and County, came Virginia L. Abiah, President of Killarney Investments, Inc. managing partner to Northrock Realty Partners, to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy, Notary Public  
 My Appointment Expires: 10/20/90

This plat of "MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 15th day of September, 1988.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Elton Parsons, Chairman  
Marvin S. Krout, Secretary

This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 27th day of September, 1988.

Sheldon Kamen, Mayor  
Dale E. Rea, Deputy City Clerk

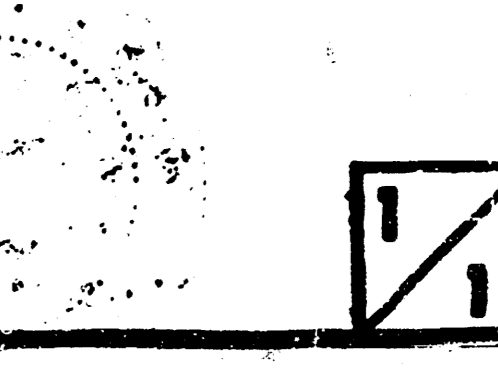
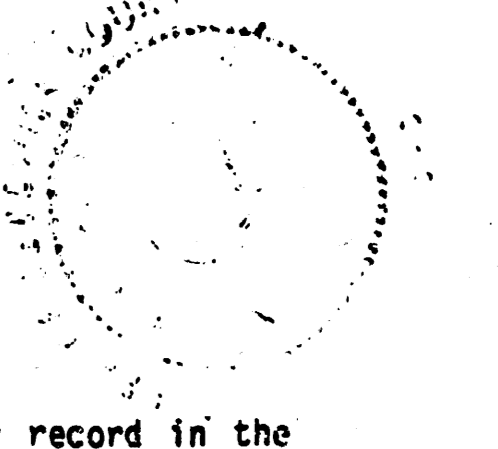
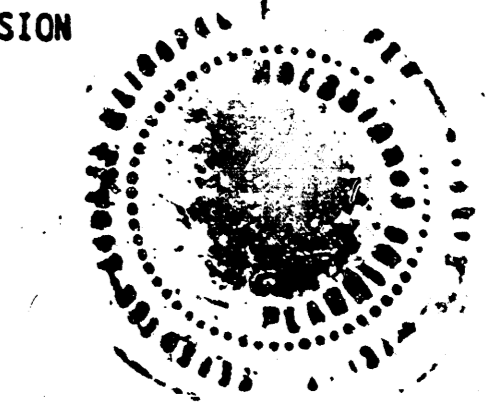
Entered on transfer records this 31st day of September, 1988.

Don Wright, County Clerk

STATE OF KANSAS  
 SEDGWICK COUNTY

This is to certify that this instrument was filed for record in the Register of Deeds office this 27th day of September, 1988, at 2:30 P.M.

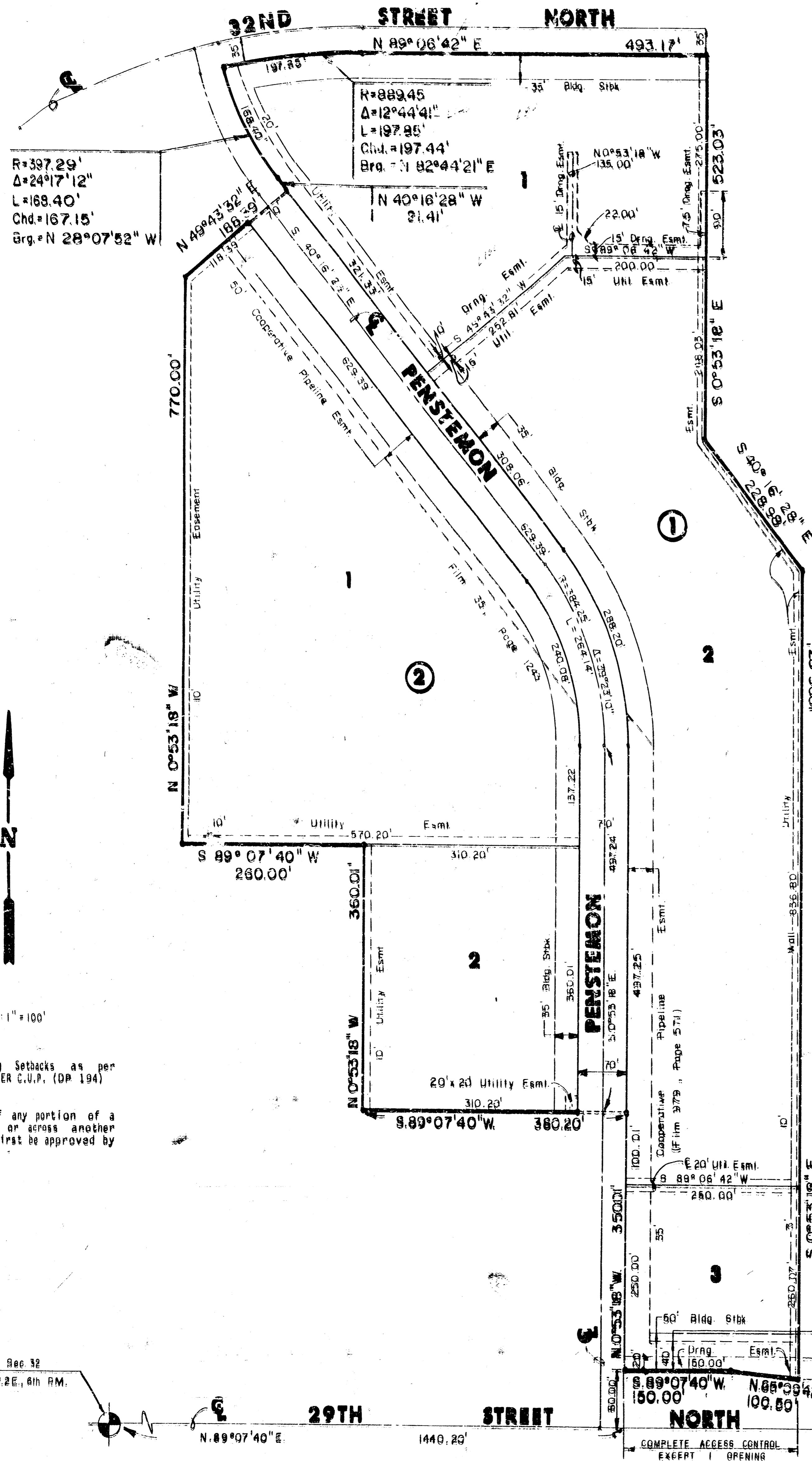
Pat Kettler, Register of Deeds  
Ed Resa, Deputy



E-7-28

# FINAL PLAT OF HOME DESIGN CENTER ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



I, Kenneth H. Bengtson, a Civil Engineer and Registered Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "HOME DESIGN CENTER ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, and a Street, the same being accurately set forth in the accompanying plat and described herein:

A replat of Lots 4 and 5 Block 1, MEDITERRANEAN PLAZA COMMERCIAL SECOND ADDITION, an addition to Wichita, Sedgwick County, Kansas and that part of Penstemon (street) lying adjacent to said Lots 4 & 5, and Lots 1 & 2, Block 1, MEDITERRANEAN PLAZA, an addition to Wichita, Sedgwick County, Kansas.

Also, a portion of Lots 16 and 17, Block 1, Mediterranean Plaza, an addition to Wichita, Sedgwick County, Kansas, described as follows:

Begin at the southwest corner of Lot 16, Block 1 of said Mediterranean Plaza; thence Northerly along the West line of said Lot 16, Block 1, N 00° 53' 18" W, 867.26 feet to a point on a curve to the left, thence along said curve 289.20 feet, said curve having a central angle of 30° 23' 10", a radius of 419.25 feet, and a long chord of 282.55, bearing N 20° 34' 53" W; thence N 40° 16' 28" W, 308.07 feet to the southwest corner of Lot 1, Block 1, Mediterranean Plaza; thence northerly along the southeasterly line of said Lot 1, N 49° 43' 32" E, 252.81 feet; thence N 89° 06' 42" E, 200.00 feet to the southeast corner of Lot 2, Block 1, Mediterranean Plaza; thence S 00° 53' 18" E, 248.03 feet; thence S 40° 16' 28" E, 228.98 feet; thence S 00° 53' 18" E, 1006.87 feet to a point on the North line of 29th Street North; thence along said Right of Way, N 89° 06' 42" E, 100.50 feet; thence S 89° 06' 40" W, 150.00 feet to the point of beginning.

All lots, blocks, easements, building setbacks, and street within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(a).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 26 day of March, 1990.

**Kenneth H. Bengtson**, P.E., R.L.S. #322  
Mid-Kansas Engineering Consultants, P.A.  
3500 N. Rock Road, Building #800  
Wichita, Kansas 67228

Know all men by these presents that we the undersigned property owners of the land as above set forth in the Land Surveyor's and Civil Engineer's Certificate, have caused the same to be surveyed and replatted into lots, blocks, and a street, the same to be known as "HOME DESIGN CENTER ADDITION" an addition to Wichita, Sedgwick County, Kansas. Easements for the construction and maintenance of drainage and public utilities are hereby granted. The 3.00' wall easement for the maintenance and construction of a wall is hereby granted, utilities may cross the wall easement. All abutters right of access to or from 29th Street North over and across the South line of Lot 3, Block 1 are hereby dedicated to the City of Wichita, provided however that Lot 3 shall have access to 29th Street North at and location, as determined by the City Engineer. Additional building setback requirements are per the HOME DESIGN CENTER ADDITION C.U.P. (DP 194) on file with the Wichita Sedgwick County Metropolitan Area Planning Department.

**WOODLAWN DEVELOPMENT COMPANY**  
A Kansas General Partnership  
By: **Sherman**  
George Sherman, Vice President  
American Diversified Real Estate, Inc.  
General Partner

STATE OF KANSAS SS:  
SEDGWICK COUNTY

Be it remembered that on this 26th day of March, 1990, before me a Notary Public in and for said State and County, came George Sherman, Vice President of American Diversified Real Estate, Inc., to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

**Annette L. Weakley**, Notary Public  
ANNETTE L. WEAKLEY  
My Appointment Expires: 1-10-91

**NORTHROCK REALTY PARTNERS**  
A Kansas General Partnership  
By: **Virginia P. Walsh**  
Killarney Investments, Inc.  
Managing Partner

STATE OF KANSAS SS:  
SEDGWICK COUNTY

Be it remembered that on this 22nd day of March, 1990, before me a Notary Public in and for said State and County, came Virginia L. Walsh, President of Killarney Investments, Inc., Managing Partner, for Northrock Realty Partners, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

**Annette L. Weakley**, Notary Public  
ANNETTE L. WEAKLEY  
My Appointment Expires: 1-10-91

**LOOP PROPERTIES**  
A Kansas General Partnership  
By: **Donald J. Ablah**  
Donald J. Ablah, Trustee  
Classic Real Estate, Inc.  
A Partner

STATE OF KANSAS SS:  
SEDGWICK COUNTY

Be it remembered that on this 26th day of March, 1990, before me a Notary Public in and for said State and County, came Donald J. Ablah, President of Classic Real Estate, Inc., A Partner, for Loop Properties, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

**Annette L. Weakley**, Notary Public  
ANNETTE L. WEAKLEY  
My Appointment Expires: 1-10-91

We, BANK IV WICHITA, National Association mortgagees on a portion of the above described property, do hereby consent to the plat of "HOME DESIGN CENTER ADDITION"

**BANK IV WICHITA, NATIONAL ASSOCIATION**  
By: **Ron Briley**  
R.N. Briley, Senior Vice President

STATE OF KANSAS SS:  
SEDGWICK COUNTY

Be it remembered that on this 26th day of March, 1990, before me a Notary Public in and for said State and County, came Ron Briley, Senior Vice-President of Bank IV Wichita, National Association to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

**Patricia Moore**, Notary Public  
PATRICIA MOORE  
My Appointment Expires: 7/3/91

This plat of "HOME DESIGN CENTER ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 15th day of March, 1990.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

**James R. Camp**, Chairman  
**Martin L. Applegate**, Secretary



This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 10th day of April, 1990.

**John M. Blair**, Mayor  
**John M. Blair**, City Clerk



Entered on transfer record this 23rd day of April, 1990.

**Don Wright**, County Clerk

STATE OF KANSAS SS:  
SEDGWICK COUNTY

This is to certify that this instrument was filed for record in the Register of Deeds office this 23rd day of April, 1990.

**Lee Fowler**, Register of Deeds  
**Patricia Moore**, Deputy



Additional Building Setbacks as per the HOME DESIGN CENTER C.U.P. (DP 194)

The Construction of any portion of a wall or fence, in or across another easement needs to first be approved by City Engineering.

SCALE: 1" = 100'

S.W. Cor. Sec. 32  
T28N, R.2E, 8th RM.