

SANITARY SEWER LAT. 277, SOUTHWEST INTERCEPTOR

SERVING PART OF

SUNRIDGE
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

CITY OF WICHITA, KANSAS
M.E. LINDEBAK CITY ENGINEER

CITY PROJECT NO. 468-76-245-81929-000-000-001
INDEX NO. 740605

IMPROVEMENT DISTRICT DESCRIPTION-
Lots 23 through 35, inclusive, Block A, and
Lots 25 through 46, inclusive, Block B, in
Sunridge.

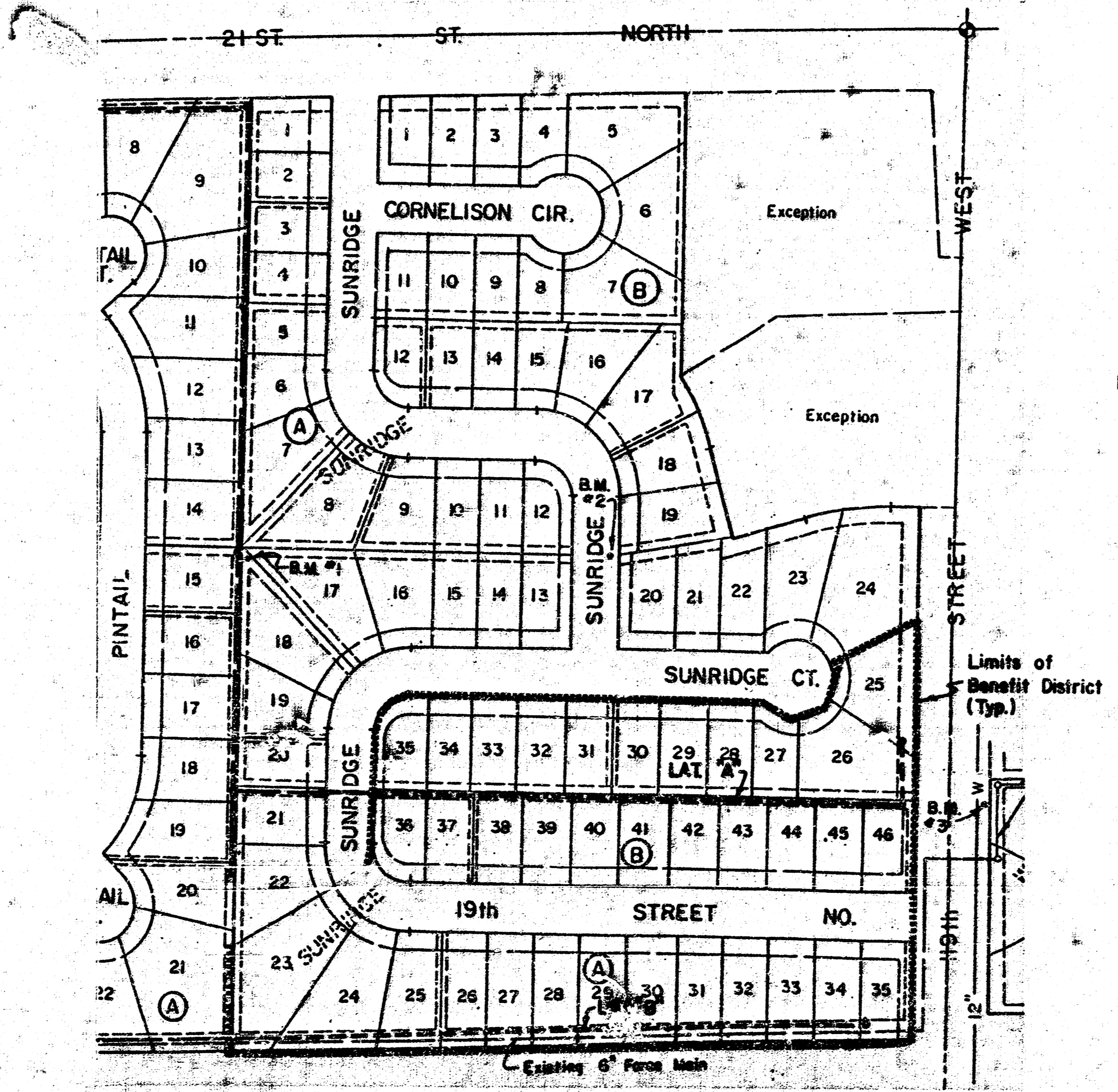
NOTES:

1. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF TWENTY-FOUR (24) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

KANSAS ONE-CALL	687-2470
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THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

CABLEVISION	262-4270 OR 263-2061
K.P. & L. GAS SERVICE COMPANY	263-7511
KANSAS GAS & ELECTRIC	264-1141
ARKLA GAS COMPANY	942-8350 OR 263-8161
SOUTHWESTERN BELL TELEPHONE COMPANY	1-571-2611
CITY OF WICHITA WATER DEPARTMENT	268-4908
CITY OF WICHITA SEMER MAINTENANCE	268-4071
2. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED.
- ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS. OF ENGINEER PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
3. THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ADJACENT TO THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
5. UNLESS OTHERWISE SPECIFIED ON THE PLANS, MANHOLES MAY BE TYPE "P", "C" OR "D". MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE STANDARD DETAIL DRAWINGS.
6. TRAFFIC WILL NOT BE AFFECTED IN THIS AREA OF CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.
8. CONTRACTOR SHALL GRADE THE SANITARY SEWER ALIGNMENT TO THE PROFILE AND ELEVATION SHOWN ON THE EASEMENT GRADING PLAN. ALL COSTS FOR GRADING SHALL BE SUBSIDIARY TO THE PROJECT.



INDEX

Sheet No.	Description
1.	Cover Sheet
2.	Plan & Profile - Lat. "A"
3.	Plan & Profile - Lat. "B"
4.	Easement Grading Plan/ Plat

- BENCHMARKS-**
1. Chiseled "□" on S.E. Cor. Area Inlet neg. N.W. Cor. Lot 17, Blk. "A". Elev. = 159.45 City Datum
 2. Chiseled "□" on top of E. curb Sunridge, opposite S.W. Cor. Lot 19, Blk. "B". Elev. = 165.46 City Datum
 3. R.R. Spike in W. face of power pole, E. side 119th St. W. approx. 150' S. of 20th St N. Elev. = 169.33 City Datum

*BUILT PER PLAN
RPL
2-1-91*

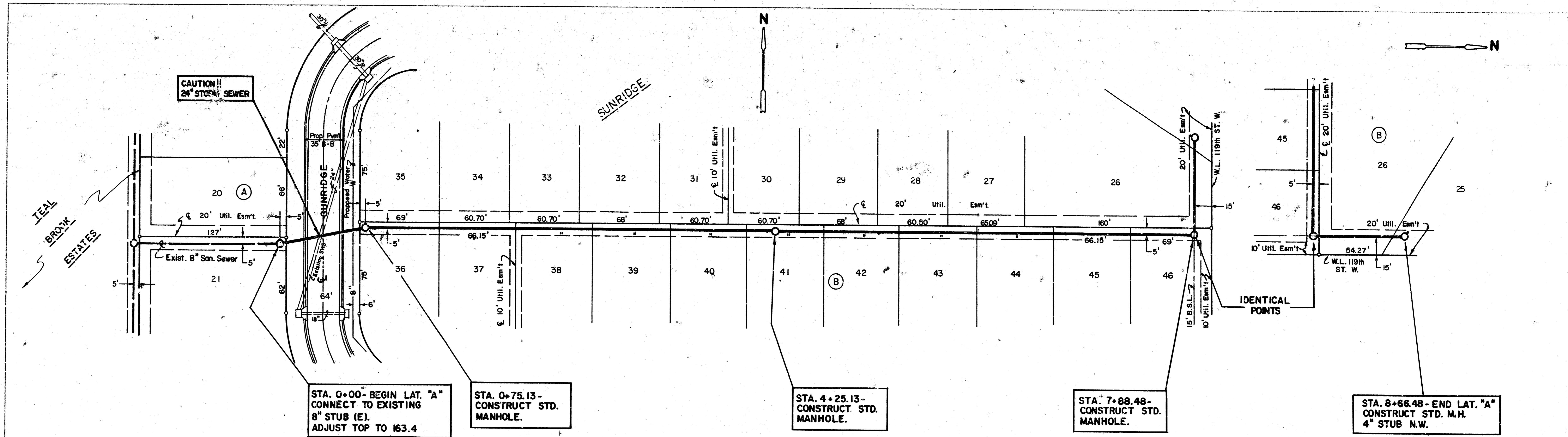
MOEHRING & ASSOCIATES
CONSULTING ENGINEERS
WICHITA



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PLAN SURVEYED BY DATE
 NOTED BY
 NOTE BOOK NO. OF WAY CHECKED
 No.

PROFILE SURVEYED BY DATE
 NOTED BY
 NOTE BOOK NO. OF WAY CHECKED
 No.



STA. 0+00- BEGIN LAT. "A"
 CONNECT TO EXISTING
 8" STUB (E).
 ADJUST TOP TO 163.4

STA. 0+75.13-
 CONSTRUCT STD.
 MANHOLE.

STA. 4+25.13-
 CONSTRUCT STD.
 MANHOLE.

STA. 7+88.48-
 CONSTRUCT STD.
 MANHOLE.

STA. 8+66.48- END LAT. "A"
 CONSTRUCT STD. M.H.
 4" STUB N.W.

LAT. "A"

SCALE
 1" = 40' Horiz.
 1" = 5' Vert.

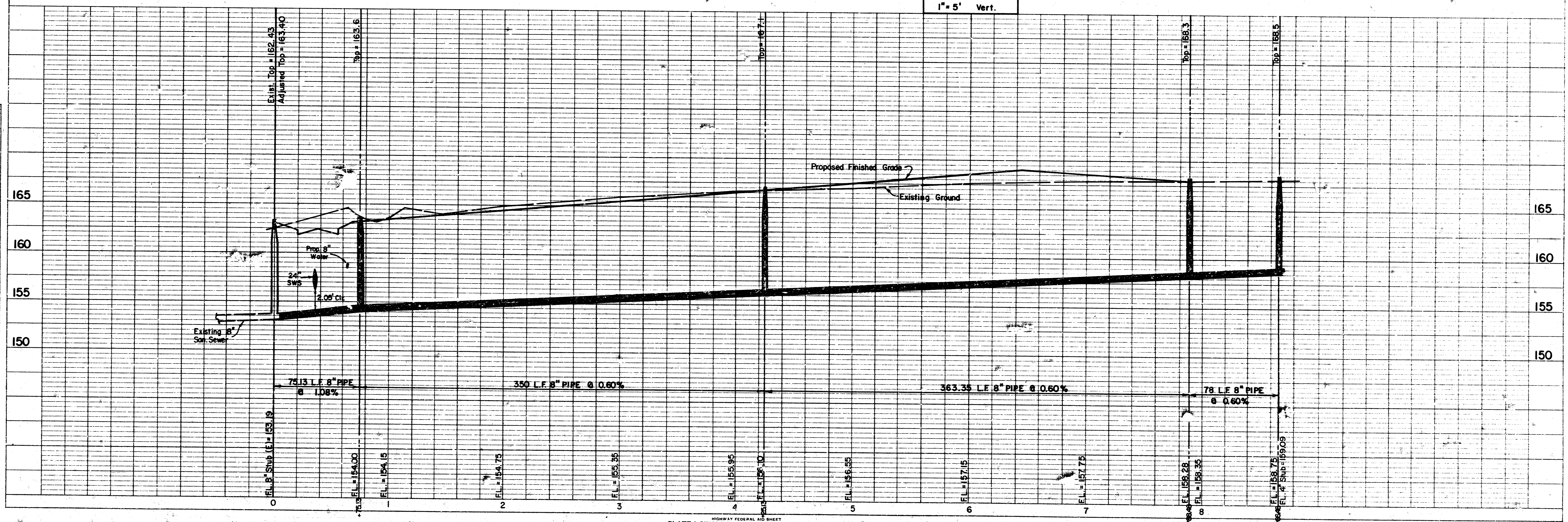


PLATE 1-SINGLE PLAN AND PROFILE-FULL LINE
 PRINTED IN U.S.A.

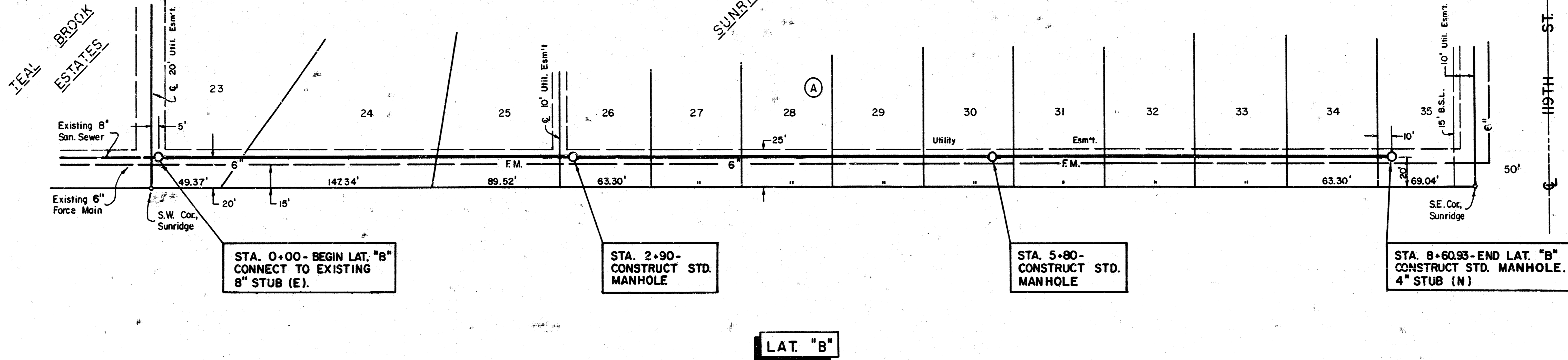
MOHRING & ASSOCIATES CONSULTING ENGINEERS

Sheet 2 of 4

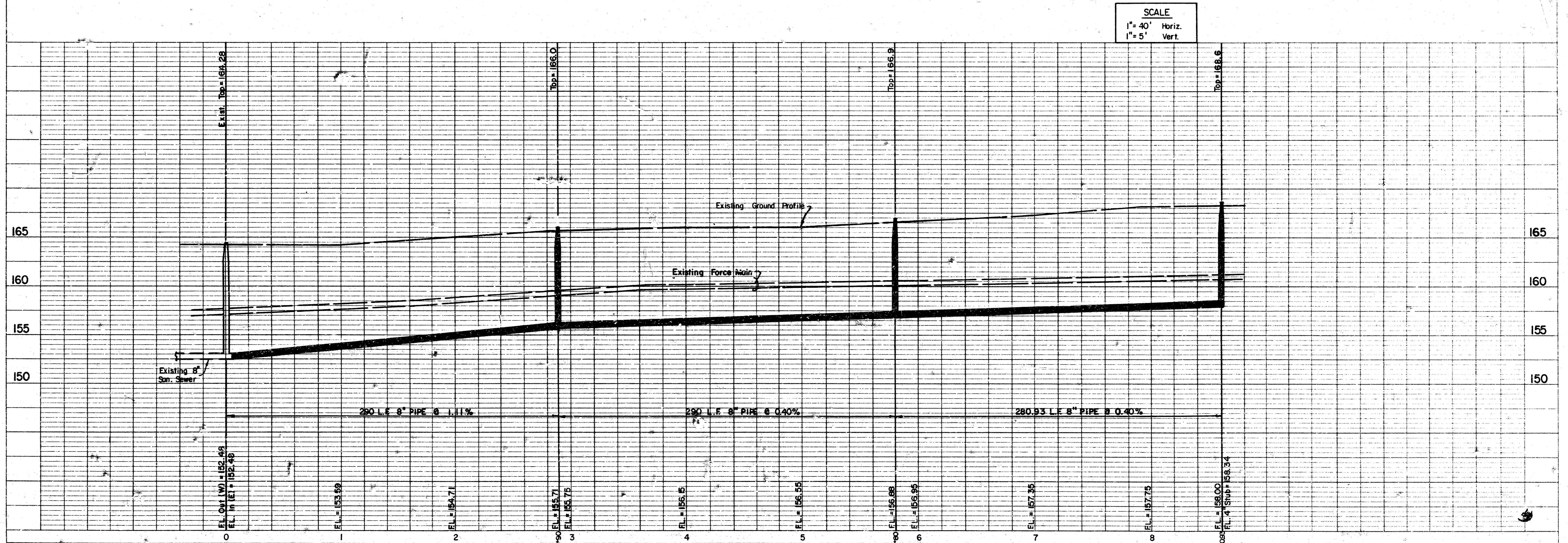
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DATE: _____
 BY: _____
 PLAN: _____
 NOTE BOOK: _____
 No. _____



DATE: _____
 BY: _____
 PROFILE: _____
 NOTE BOOK: _____
 No. _____



HIGHWAY FEDERAL AID SHEET
 PLATE 1-SINGLE PLAN AND PROFILE-FULL LINE
 MOHRING & ASSOCIATES
 CONSULTING ENGINEERS

MOHRING & ASSOCIATES CONSULTING ENGINEERS

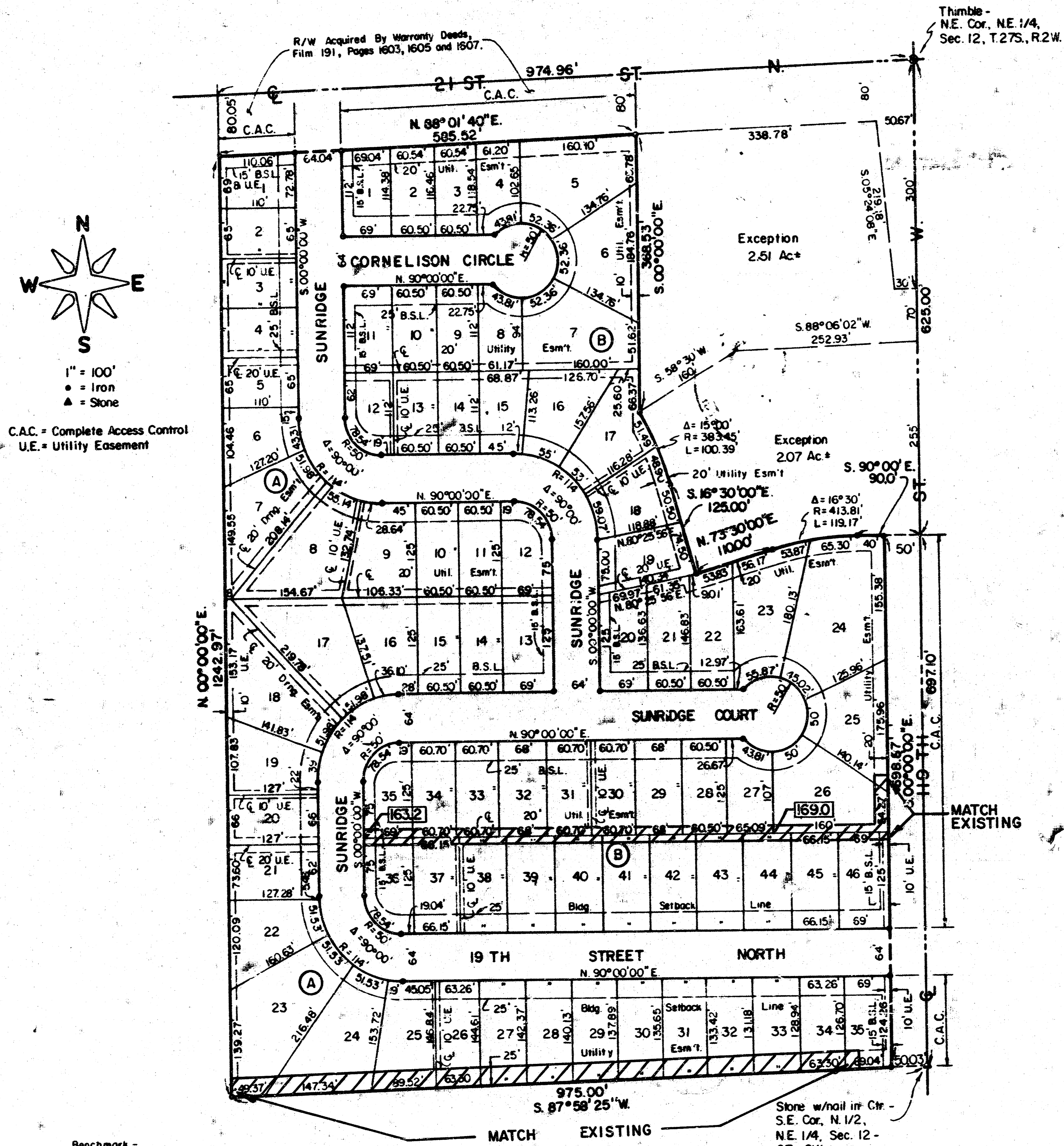
Sheet 3 of 4

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F 1-27

SUNRIDGE

AN ADDITION TO WICHITA,
SEDGWICK COUNTY, KANSAS



Benchmark -
City Disc. 79' South and 46' East
of Thimble (NE Cor. Sec. 12).
Elev. = 1359.48 M.S.L.
= 172.08 City Datum

"D", Cut in Center of South Hubguard
of 7.3' R.C.B.C. under 21st St. N.
Elev. = 1351.48 M.S.L.
= 164.08 City Datum

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:
I, Don C. Moehring II, a Registered Land Surveyor in said State and County, do hereby certify that I have surveyed and platted "SUNRIDGE", an Addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks and Streets, the same being accurately set forth on the accompanying plat, being a tract of land in the North 1/2 of the NE 1/4 of Sec. 12, T27S, R2W of the 6th P.M., Sedgwick County, Kansas, described as beginning at a point in the East line and 625.0' South of the Northeast corner of the NE 1/4 of said Sec. 12; thence South along the East line of said NE 1/4, and with an assumed bearing of S. 00°00'00" E., a distance of 697.10' to the Southeast corner of the North 1/2 of said NE 1/4; thence S. 87°58'25" W., along the South line of the North 1/2 of said NE 1/4, a distance of 975.0'; thence N. 00°00'00" E., a distance of 1242.97' to a point in the South right-of-way line of 21st Street N.; thence N. 88°01'40" E., parallel with the North line of said NE 1/4, a distance of 585.52'; thence S. 00°00'00" E., a distance of 368.53' to a point on a curve to the right having a radius of 383.45'; thence Southeast along said curve to the right and through a central angle of 15°00', a distance of 100.39' to the P.T. of said curve, the chord to said curve bearing S. 24°00'00" E.; thence S. 16°30'00" E., a distance of 125.01'; thence N. 73°30'00" E., a distance of 100.39' to the P.C. of a curve to the right having a radius of 413.81'; thence along said curve to the right and through a central angle of 16°30', a distance of 119.17' to the P.T. of said curve; thence S. 90°00'00" E., a distance of 90.0' to the point of beginning.



Don C. Moehring II
Surveyor

I know all men by these presents that we the undersigned, property owners of the land as above set forth in the Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks and Streets, to be known as "SUNRIDGE", an Addition to Wichita, Sedgwick County, Kansas. The Streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat, are hereby granted. All abutters rights of access to and from 21st St. North, over and across the North line of Lot 1, Block A and over and across the North line of Lots 1, 2, 3, 4 and 5, Block B, and also, all abutters rights of access to and from 119th St. West, over and across the East line of Lots 24, 25, 26 and 46, Block B, and over and across the East line of Lot 35, Block A, are hereby granted to the appropriate Governing body.

GENESIS HOMES, INC.
Billy J. Gray, President
Denise M. Gray, Secretary-Treasurer

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:
Be it remembered that this 16th day of November, 1988, before me, a Notary Public in and for said State and County, came Genesis Homes, Inc., by Billy J. Gray, President and Denise M. Gray, Secretary-Treasurer, in behalf of the Corporation, to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same in behalf of and as the act and deed of said Corporation. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Denise E. Northrup
Notary Public
My Commission Expires 12-28-91



EASEMENT GRADING / PLAT
[Hatched Area] = AREAS TO BE GRADED

This plat of "SUNRIDGE" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission.
Dated this 15th day of September, 1988.
WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION
Elton Parsons, Chairman
Marvin S. Krout, Secretary
Sheldon Kamen, Mayor
Dale E. Rea, Deputy City Clerk

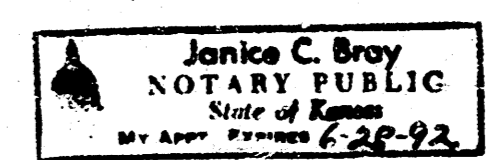
STATE OF KANSAS, COUNTY OF SEDGWICK, SS:
This is to certify that this instrument was filed for record in the Register of Deeds Office at 3:15 P.M. on the 23rd day of December, 1988.

Pat Kettler, Register of Deeds
Ed Resa, Deputy
Don Wright, County Clerk

Me the undersigned, mortgagee on the above described property, do hereby consent to the plat of "SUNRIDGE".
HAYSVILLE STATE BANK
Stephen K. Matthews, President

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:
Be it remembered that this 16th day of November, 1988, before me, a Notary Public in and for said State and County, came Haysville State Bank by Stephen K. Matthews, President, in behalf of the Bank, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same in behalf of and as the act and deed of said Bank. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Janice C. Bray, Notary Public
My Commission Expires June 28, 1992



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