

Sanitary Sewer Extensions To Serve  
**RIDGE PLAZA 11TH ADDITION**  
**LATERAL 51 - MAIN 4 - S.W.I.**

INDEX CODE: 740829

Project No.

**468-76-245-82130-000-000-001**

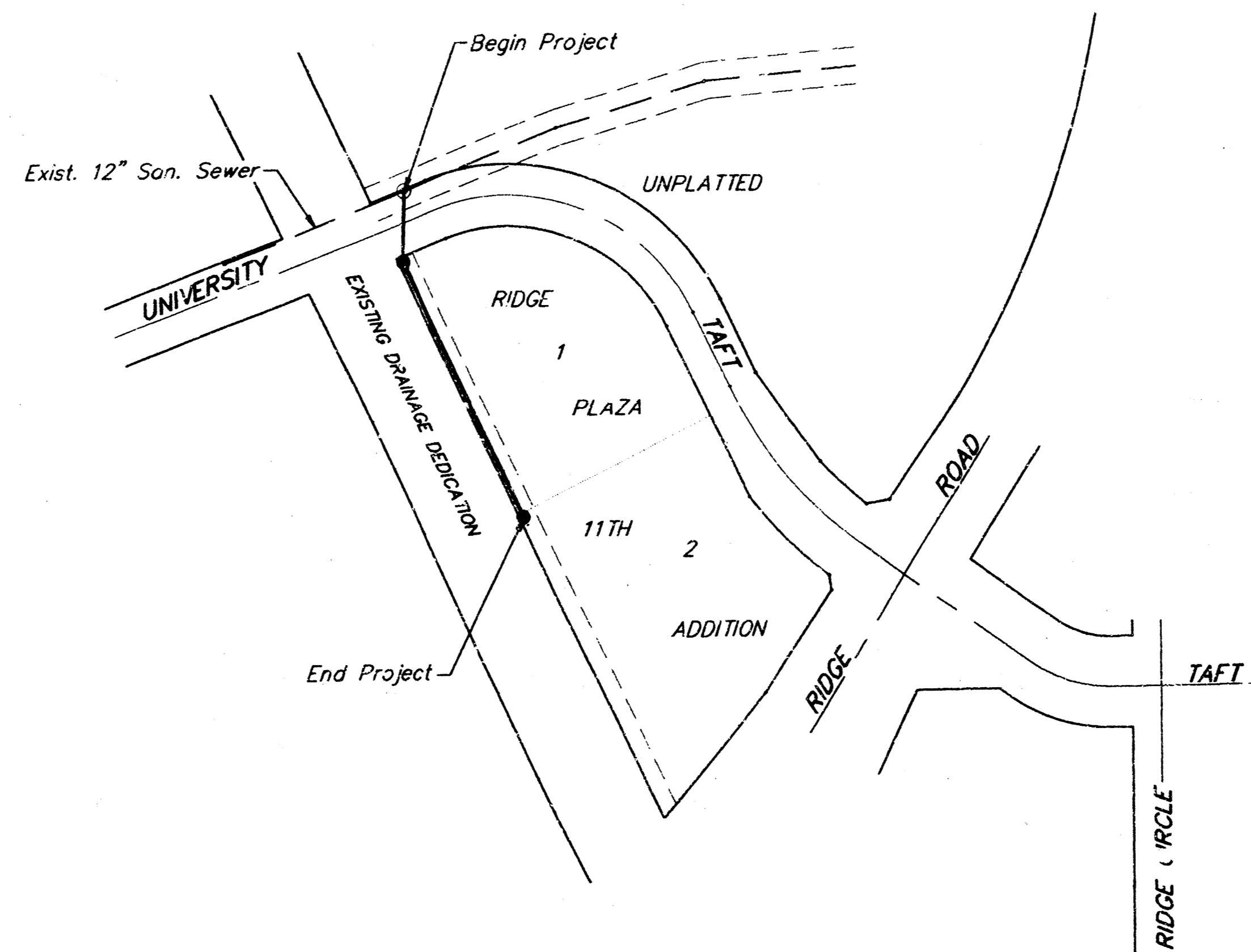
City of Wichita, Kansas - Michael E. Lindebak, City Engineer

**INDEX**

1. TITLE SHEET
2. PLAN/PROFILE SANITARY SEWER
3. PLAT OF RIDGE PLAZA 11TH ADDITION



Scale: 1" = 150'

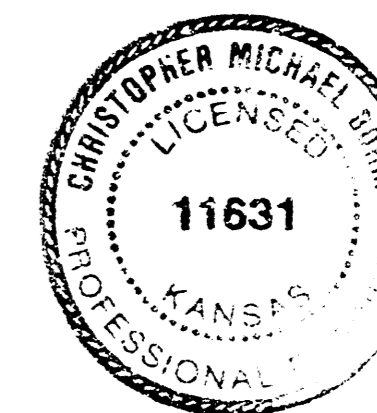


**BENEFIT DISTRICT**

**GENERAL NOTES**

1. Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
2. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
3. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
4. Contractor shall grade the sanitary sewer alignment to the profile and elevation shown on the easement grading plan. All costs for grading shall be subsidiary to the project.

*Booked  
 per plan  
 RDL*

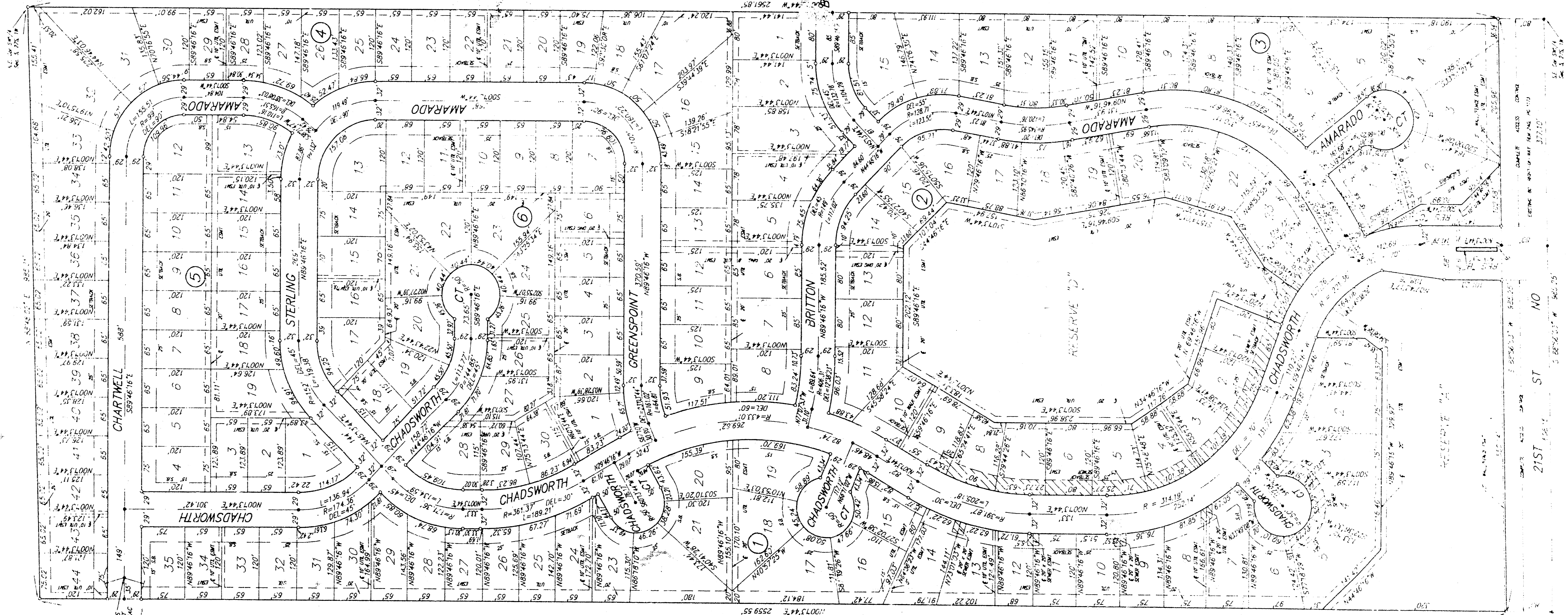


① 1/3

**BAUGHMAN COMPANY P. A.**  
 ENGINEERING & SURVEYING  
 316/262-7271 • 315 E. 15th • WICHITA, KANSAS 67211

# CHADSWORTH ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS



**MINIMUM BUILDING PAD ELEVATIONS**  
 Lowest Floor Elevation of Structure  
 1st City Datum, 7, 10.50 M.S.L.  
 Lots 28, 29, 30, 31, 32, 33, 34  
 and 35, Block 1  
 Lot 28, 29, 30, 31, 32, 33, 34  
 43, 35 and 44, Block 2  
 41, 42,  
 43, 35 and 44, Block 2  
 Lots 1, 2, 3, 4, 5, 6, 7, 8, 9,  
 10, 11, 12, 13, 14, 15, 16, 17,  
 18, and 19, Block 3  
 21, and Lot 28, Block 6

**BRUSH MARK:**  
 Square Cut on top of headwall at  
 N.E. Corner of R2BC on the north  
 side of 7th St. No. west of Keith  
 Elevation = 161.28 City Datum  
 Elevation = 1346.68 M.S.L.

Know all men by these presents that we, the undersigned, have caused the land described in the surveys to be platted into Lots, Blocks, Reserves and Streets to be known as "CHADSWORTH ADDITION", Wichita, Sedgwick County, Kansas. Reserve "A" is hereby reserved for drainage purposes, open space, and landscaping. Reserve "B" is hereby reserved for landscaping, entry features and for the construction and maintenance of all public utilities. Reserve "C" is hereby reserved for open space, landscaping and entry features. Reserve "D" is hereby reserved for drainage purposes, open space, recreational purposes, and walks. All reserves shall be owned and maintained by the homeowners association for the addition. The wall/fence easements are hereby granted as indicated for the construction and maintenance of a private screening wall or fence and utility main lines and service lines are granted for pedestrian access and sidewalk purposes and no fencing or other obstructions shall be allowed within said easement. The utility easements are hereby granted for the construction and maintenance of public utilities. The drainage easements are hereby granted for drainage purposes. The temporary Cur-De-Soc will expire at such time as Chartwell is extended further west or is terminated as a permanent Cur-De-Soc on the property to the west. The streets are hereby dedicated to and for the use of the public. All abutters rights of access to or from 21st St. No. over and across the south line of Reserve "A" and "C" and Lots 2, 3, and 4, Block 3, are hereby granted to the appropriate governing body. Minimum Pad Elevations for lowest floor and lowest opening shall be as shown on the face of the plat.

Rider Land & Cattle Co.  
 a Colorado Partnership  
 General Partner  
 Dwight C. Rider  
 J. A. H., Inc.  
 President  
 Matthias F. Eck

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, by Dwight C. Rider, General Partner of Rider Land & Cattle Co., a Colorado Partnership, on behalf of the Partnership.  
 My App'l. Exp. \_\_\_\_\_ Notary Public

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, by Matthias F. Eck, President of J. A. H., Inc., on behalf of the corporation.  
 My App'l. Exp. \_\_\_\_\_ Notary Public

This plat of "CHADSWORTH ADDITION", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

Wichita-Sedgwick County Metropolitan Area Planning Commission.  
 Chairman  
 George D. Sherman  
 Secretary  
 Marvin S. Arout

This plat approved and all registrations and hereon, accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

Mayor  
 Rob Knight  
 Deputy City Clerk  
 Pat Palmer

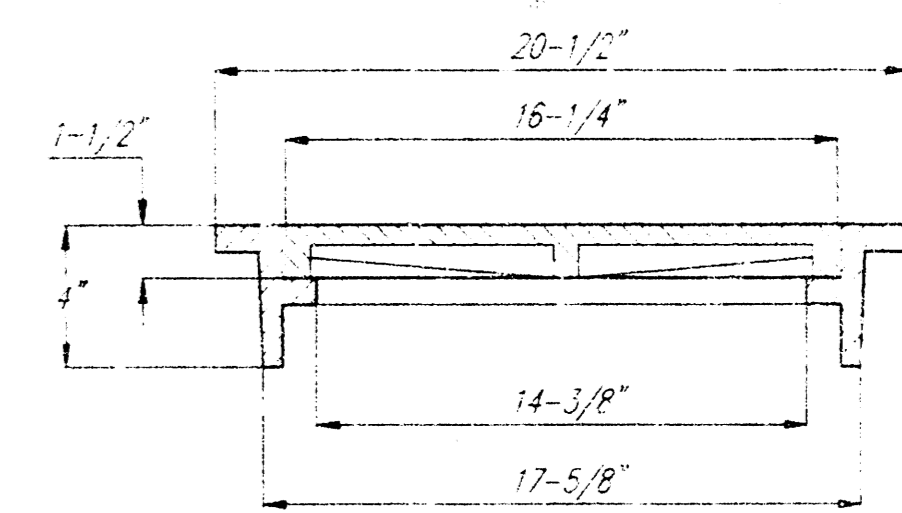
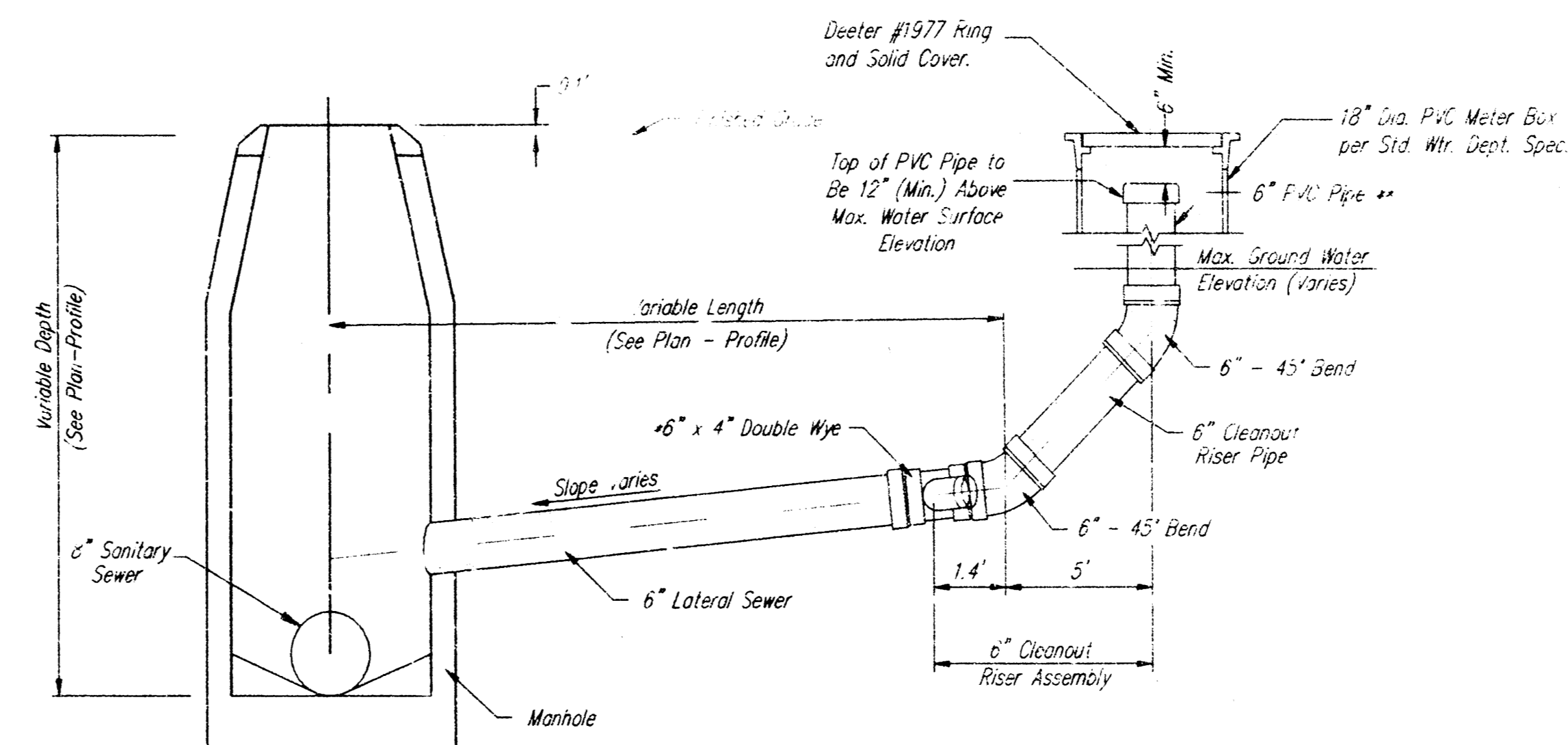
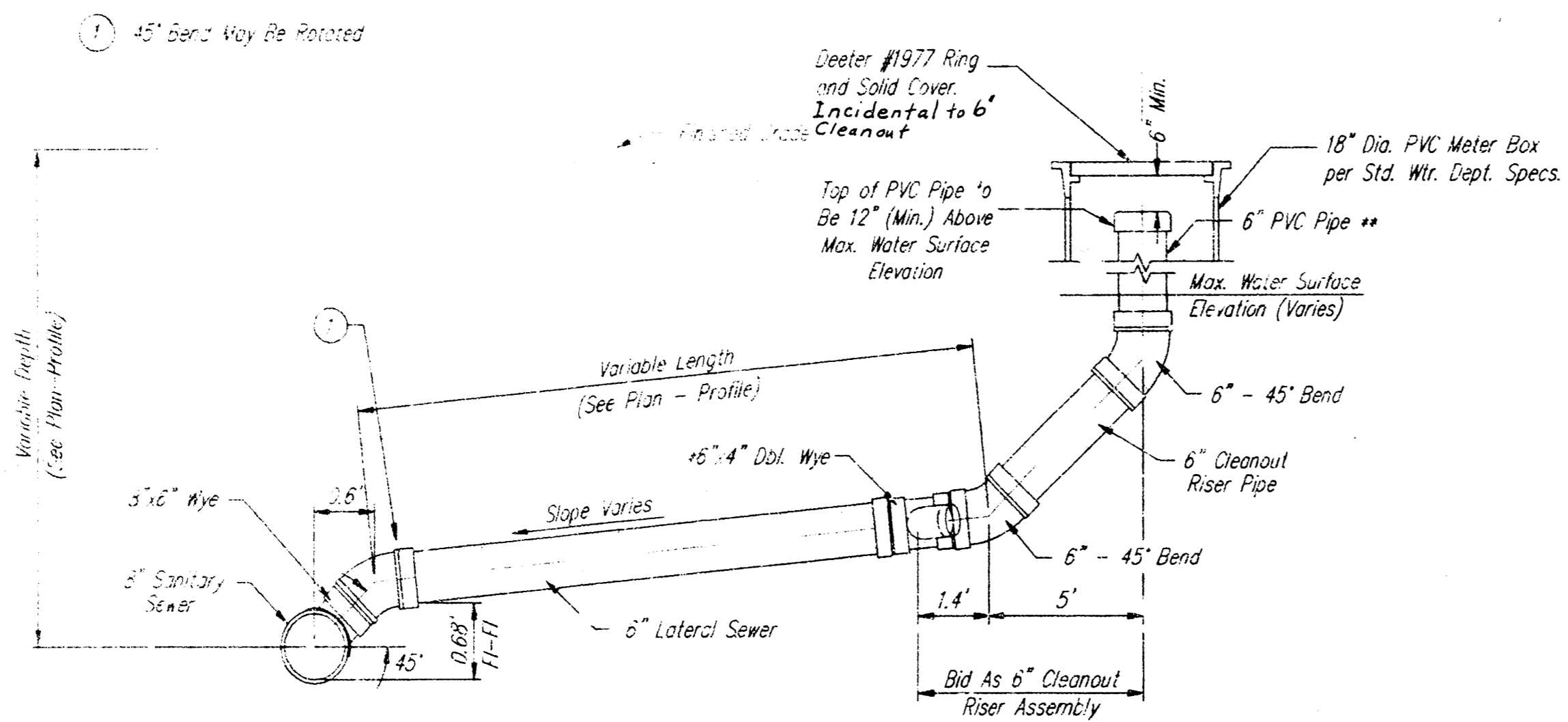
Wichita-Sedgwick County Clerk  
 Dan Knight

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, at \_\_\_\_\_, Kansas. M. and is duly recorded.

Register of Deeds  
 Deputy

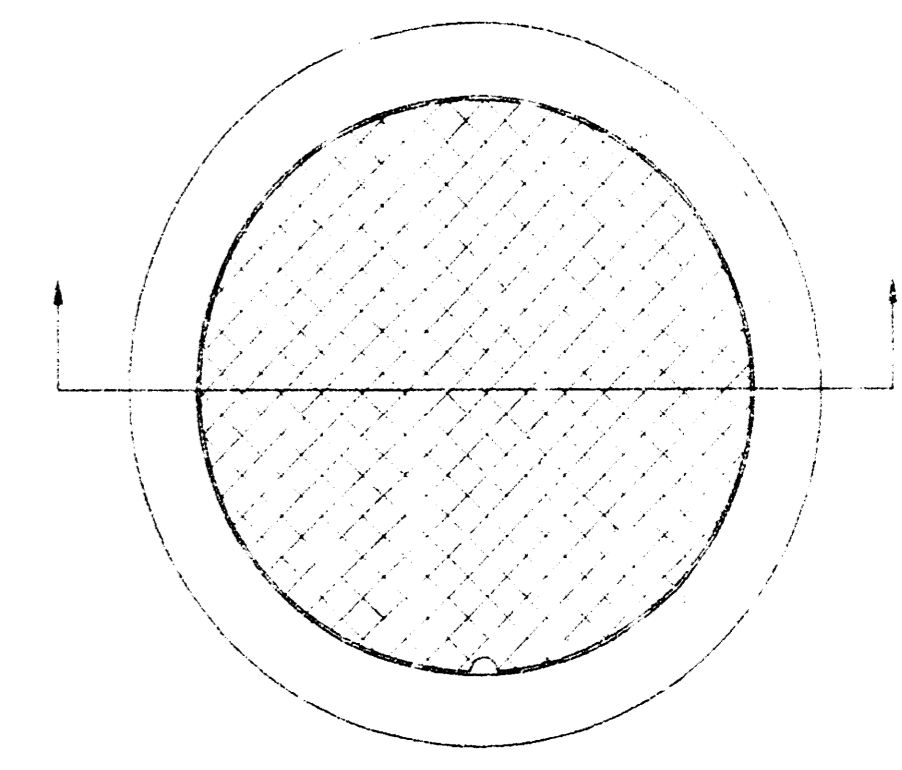
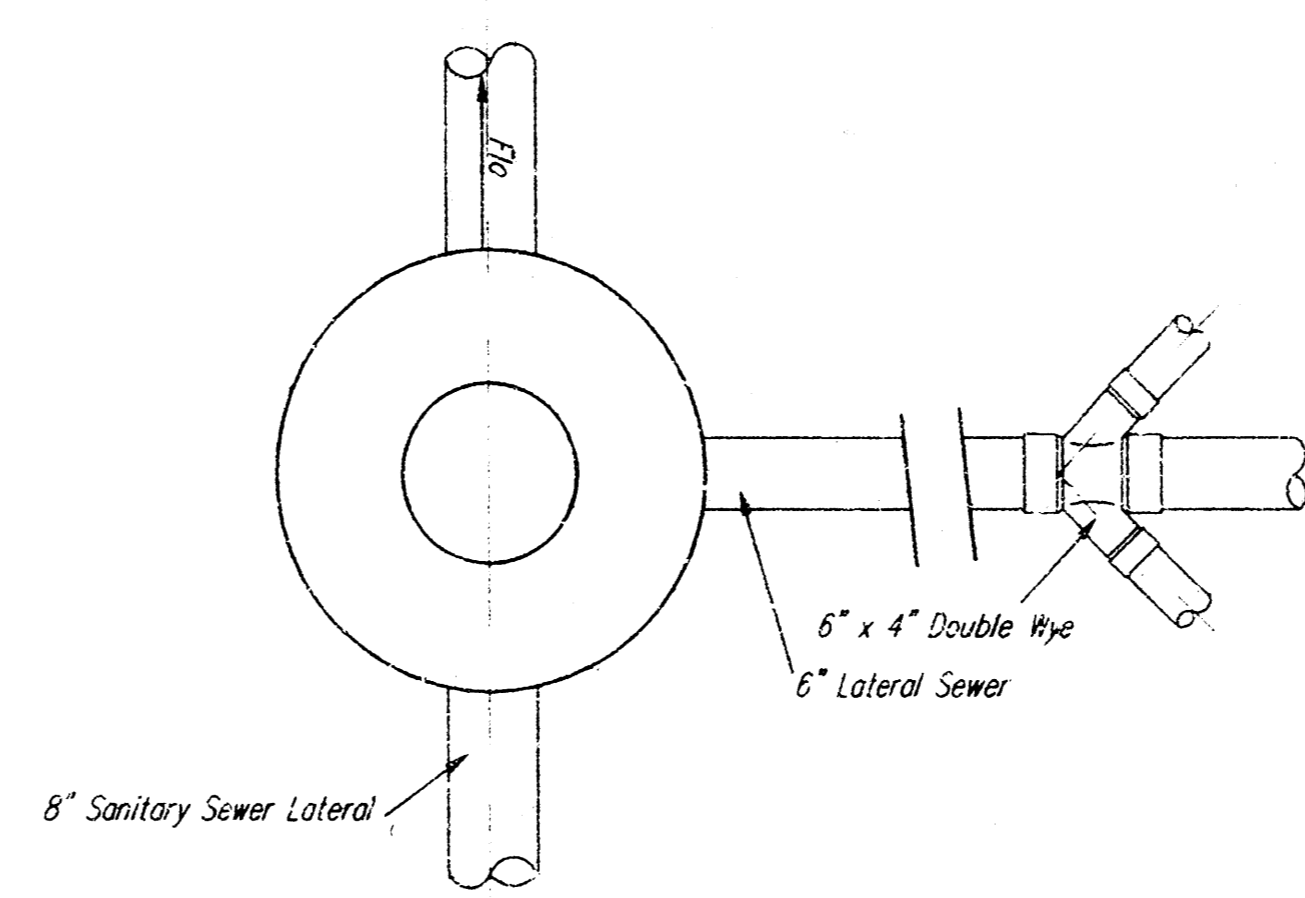
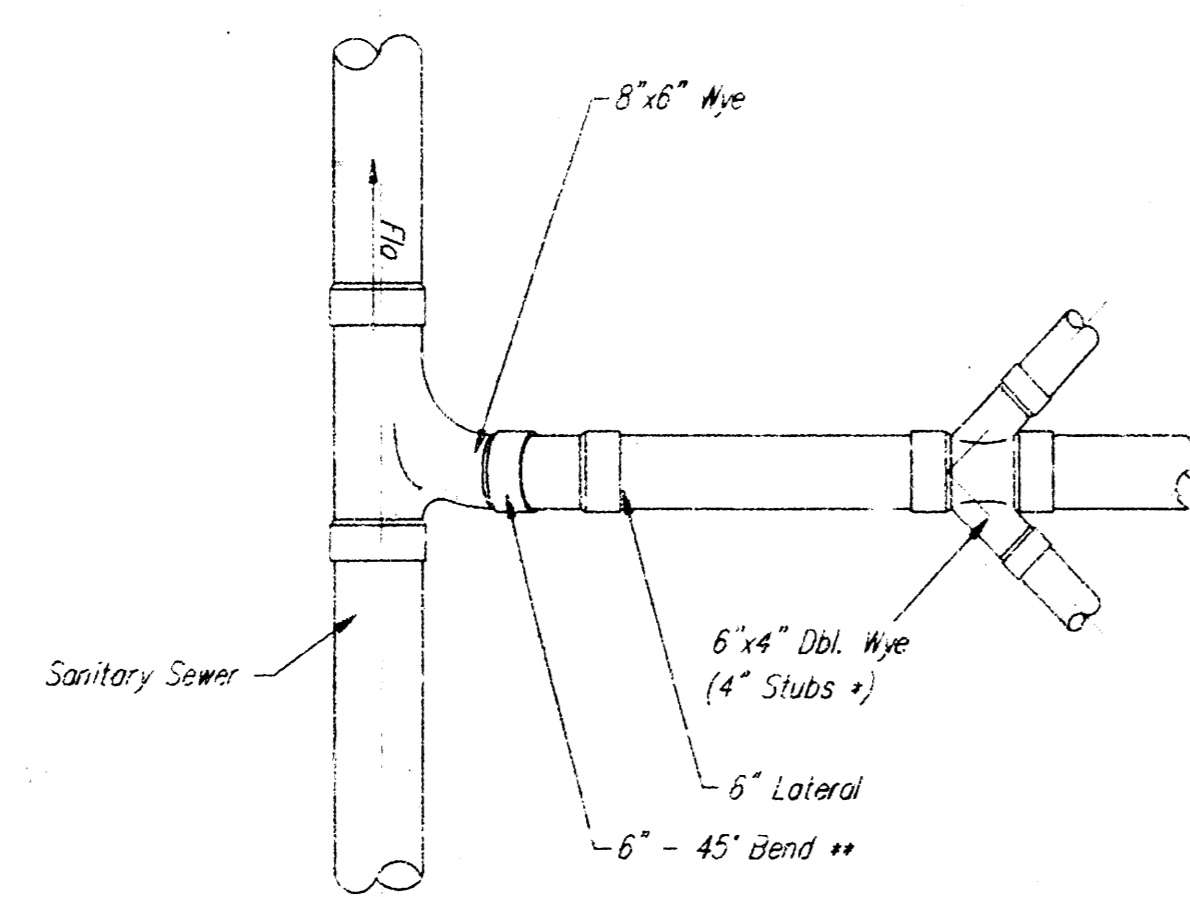
Date 15 Jan 91  
 Boughtman Company, P.A.  
 Mark A. Savoy  
 Surveyor

CHADSWORTH ADDITION



\* 4" Branch (each side) to Serve as 4" Stub. Temporary Plug Until Service Connection is Required. Single Wye to be Used Where Indicated on Plan.

\*\* 6" Lateral to be Air-Tested up to its Top of PVC Pipe, per Standard Specifications

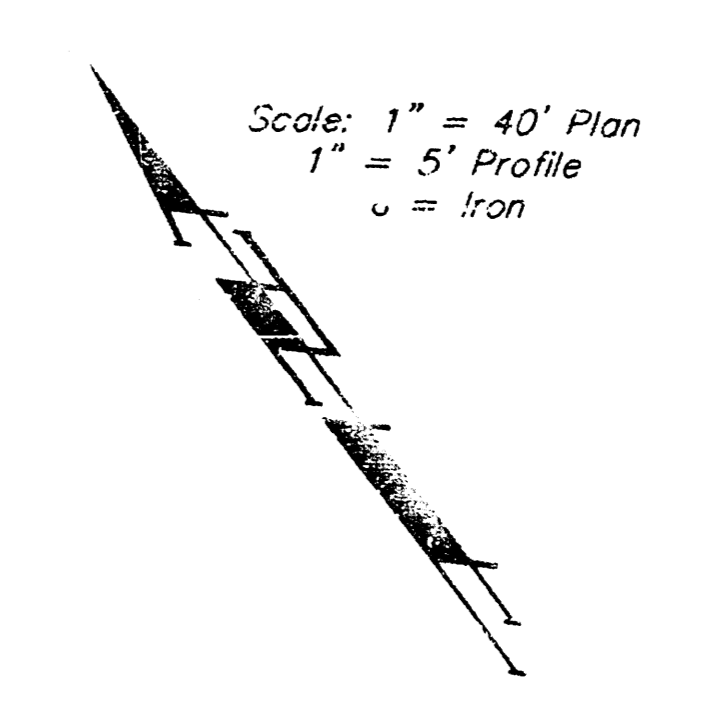
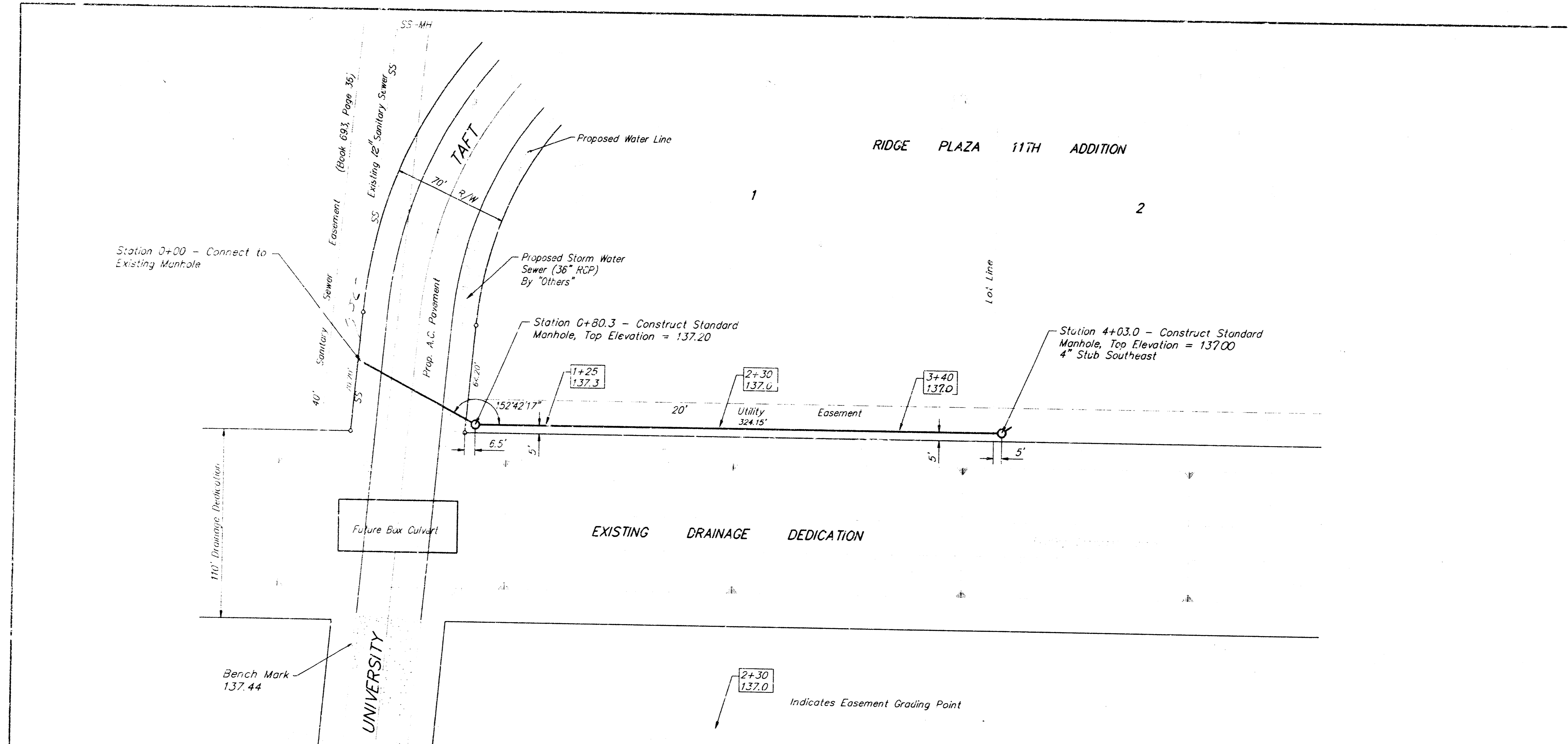


6" CLEANOUT RISER ASSEMBLY DETAIL  
W/ WYE CONNECTION

6" CLEANOUT RISER ASSEMBLY DETAIL  
W/ MANHOLE CONNECTION

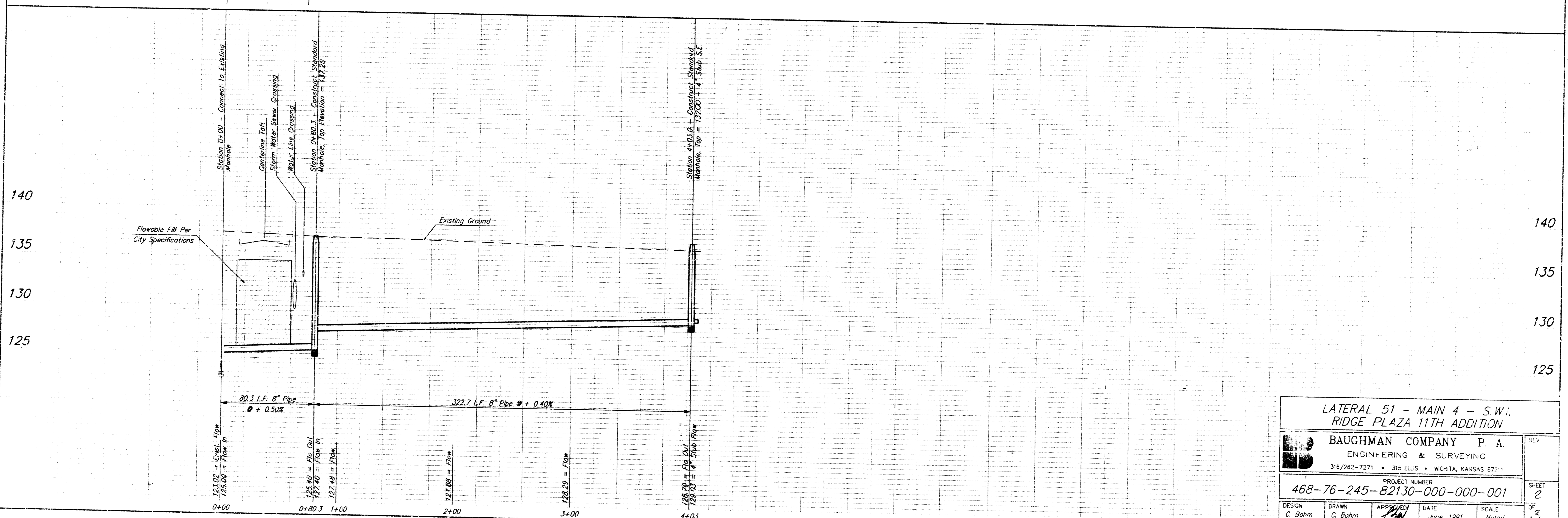
DEETER #1977 RING and SOLID COVER


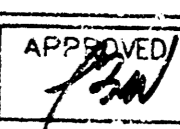
CLEANOUT RISER ASSEMBLIES			
BAUGHMAN COMPANY P. A. ENGINEERING & SURVEYING			
468-76-245-82093-000-000-001			
DESIGN	DRAWN	CHECKED	DATE
	P.W.		
13	14		



Bench Mark: Square Cut in Top of Curb Located At The N.E. Corner Of The Intersection of Mid-Continent And Taft, Corner Of Parking Lot Curb Elevation = 140.25 City Datum

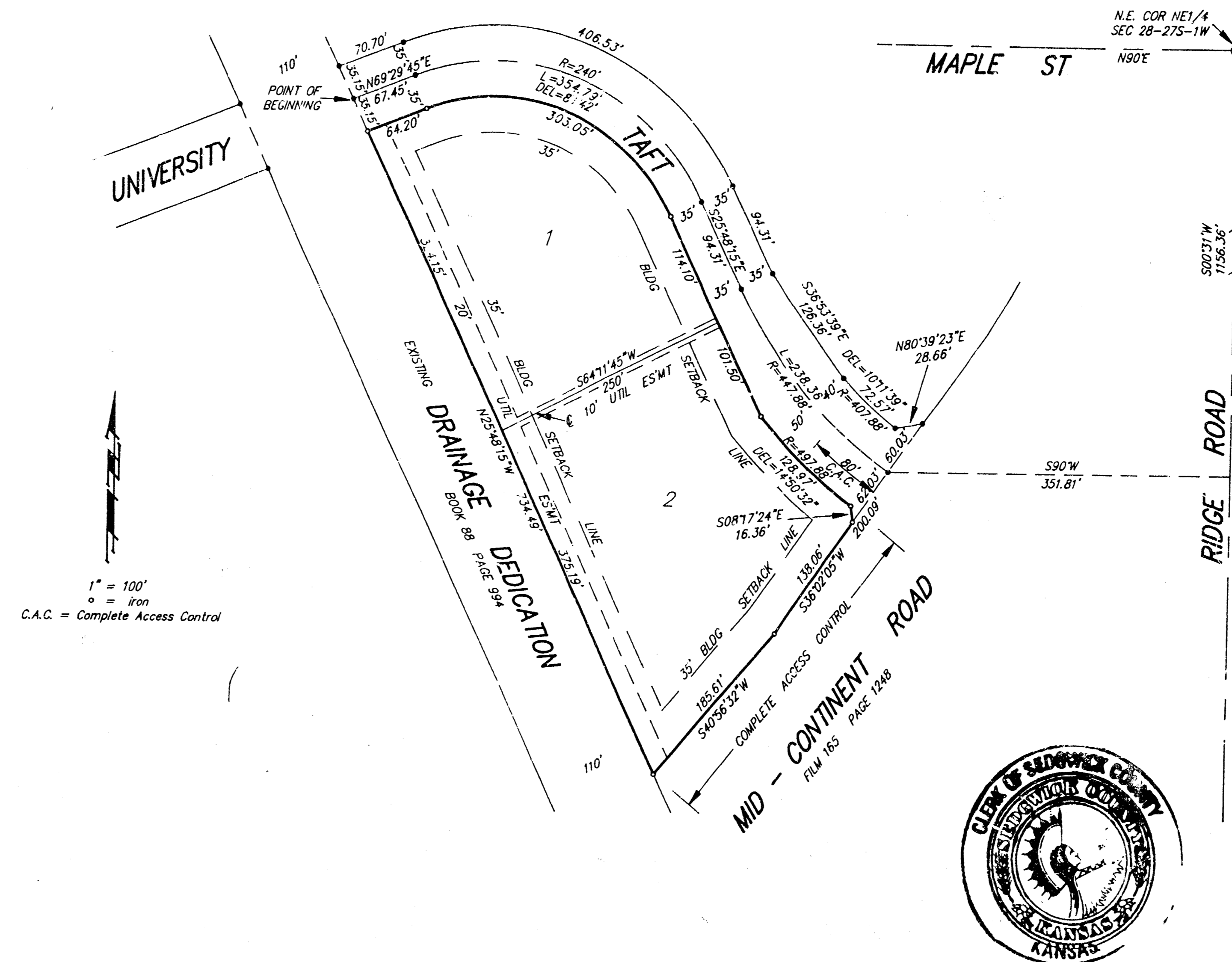
Bench Mark: Square Cut in Top of Curb Located 13' West of the N.W. Corner of the Intersection of University and the Drainage Dedication (Shown on Plan) Elevation = 137.44



LATERAL 51 - MAIN 4 - S.W. RIDGE PLAZA 11TH ADDITION				
 <b>BAUGHMAN COMPANY P. A.</b> ENGINEERING & SURVEYING 316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211				
PROJECT NUMBER <b>468-76-245-82130-000-000-001</b>				
DESIGN C. Bohm	DRAWN C. Bohm	APPROVED 	DATE June, 1991	SCALE Noted
				SHEET 2 OF 2

# RIDGE PLAZA 11TH ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS



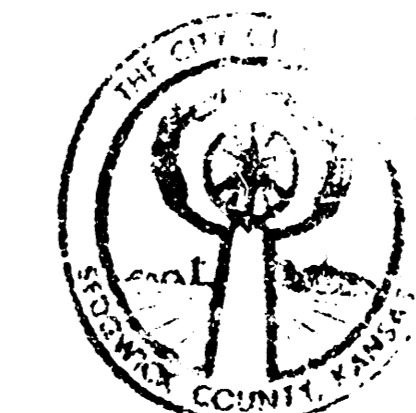
This plat of "RIDGE PLAZA 11TH ADDITION",  
Wichita, Sedgwick County, Kansas has been submitted to and ap-  
proved by the Wichita-Sedgwick County Metropolitan Area Planning  
Commission, Wichita, Kansas.  
Dated this 25<sup>th</sup> day of April, 1991.

Wichita-Sedgwick County Metropolitan Area Planning Commission



*George D. Sherman* Chairman  
George D. Sherman  
*Marvin S. Krout* Secretary  
Marvin S. Krout

This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this 24<sup>th</sup> day of July, 1991.



*Bob Knight* Mayor  
Bob Knight  
*Pat Burnett* Deputy City Clerk  
Pat Burnett

Entered on transfer record this 9<sup>th</sup> day  
of July, 1991.

*Don Wright* County Clerk  
Don Wright

This is to certify that this plat has been  
filed for record in the office of the Register of Deeds, this 9<sup>th</sup> day  
of July, 1991, at 2:11 o'clock P.M. and is duly  
recorded.

*Pat Kettler* Register of Deeds  
Pat Kettler  
*Ed Resa* Deputy  
Ed Resa

Know all men by these presents that we,  
the undersigned, have caused the land described in the surveyors  
certificate to be platted into Lots and a street to be known as  
"RIDGE PLAZA 11TH ADDITION", Wichita, Sedgwick County, Kansas.  
The utility easement is hereby granted for the construction and  
maintenance of all public utilities. The street is hereby dedicated  
to and for the use of the public. All abutters rights of access to  
or from Mid-Continent Road over and across the southeasterly line  
of Lot 2 and to or from Taft over and across the southeasterly 80  
feet of the northeasterly line of Lot 2 are hereby granted to the  
City of Wichita, Kansas.

*Bowen H. Brady* 1145499  
Bowen H. Brady

The foregoing instrument acknowledged be-  
fore me, this 20<sup>th</sup> day of May, 1991, by Bowen H.  
Brady

*Michael E. Franz* Notary Public  
M. Michael E. Franz  
My App't. Exp. 2-3-95

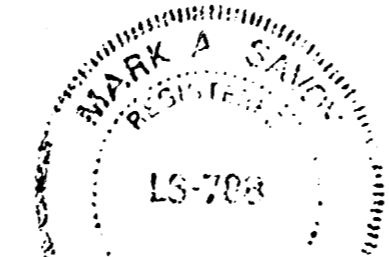
State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) do hereby certify that we have surveyed and  
platted "RIDGE PLAZA 11TH ADDITION", Wichita, Sedgwick County,  
Kansas and that the accompanying plat is a true and correct exhibit  
of the property surveyed described as all that part of the NE1/4 of  
Sec. 28, Twp. 27-S, R-1-W of the 6th P.M., Sedgwick County, Kansas,  
commencing at a point on the north line of said NE1/4, said point  
being 1097 feet west of the N.E. Corner thereof; thence southerly  
along the east line of the drainage dedication as recorded in Book 88,  
Page 994, and being parallel with the east line of said NE1/4, 138.61  
feet to the P.C. of a curve to the left with a radius of 1228.04 feet  
and a central angle of 26°19'15"; thence southeasterly along said  
curve, 564.14 feet to the P.T. of said curve; thence southeasterly,  
tangent to said curve, 125.33 feet to the point of beginning; thence  
easterly, with a deflection angle to the left of 84°42', 67.45 feet to  
the P.C. of a curve to the right with a radius of 240 feet and a  
central angle of 84°42'; thence southeasterly along said curve, 354.79  
feet to the P.T. of said curve; thence southeasterly, tangent to said  
curve, 94.31 feet to the P.C. of a curve to the left with a radius of  
447.88 feet and a central angle of 30°29'30"; thence southeasterly  
along said curve, 238.35 feet to the west line of Mid-Continent Road  
as recorded on Film 165, Page 1248; thence southwesterly, along said  
west line to the east line of the drainage dedication as recorded in  
Book 88, Page 994; thence northwesterly, along said east line to the  
point of beginning.

Existing easements and dedications being vacated by virtue of  
K.S.A. 12-512(b).

Baughman Company, P.A.

Date 20 May 1991

*Mark A. Sawyer* Surveyor  
Mark A. Sawyer



We, the undersigned, holders of a mortgage  
on the above described property do hereby consent to this plat of  
"RIDGE PLAZA 11TH ADDITION", Wichita, Sedgwick County, Kansas.

First National Bank in Wichita

*John W. Long* V.P. + Cashier  
John W. Long

**RIDGE PLAZA 11th ADDITION**  
Project no. 468-76-245-82130-000-000-001  
State of Kansas) The foregoing instrument acknowledged be-  
Sedgwick County) for me, this 23<sup>rd</sup> day of May, 1991, by  
*John W. Long, Vice President* Cashier of First National Bank in  
Wichita, on behalf of the corporation. 3 of 3