

LATERAL 13, MAIN 14, SWI

TO SERVE

# BURNHAM & VON FELDT INDUSTRIAL ADDITIONS

PROJECT NO. 468-83772

CITY OF WICHITA, KANSAS

JIM ARMOUR, P.E., ACTING CITY ENGINEER

OCA 744041

HARRY. ST.

## GENERAL NOTES

1. UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA STANDARD SPECIFICATIONS.

2. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

KANSAS ONE-CALL 1-800-344-7233  
or 687-2470 (LOCAL WICHITA)

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

SBC (TELEPHONE) 800-870-8390  
COX COMMUNICATIONS (CABLE) 262-0661  
KANSAS GAS SERVICE (GAS) 832-3101  
CITY OF WICHITA WATER & SEWER 262-6000  
WESTAR (ELECTRIC) 261-6512  
AQUILA (GAS) 948-0096

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

4. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.

5. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.

6. COST OF EXCAVATION, HAULING, AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.

7. A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDING AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUNDS SHALL BE CONSTRUCTED WITH A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.

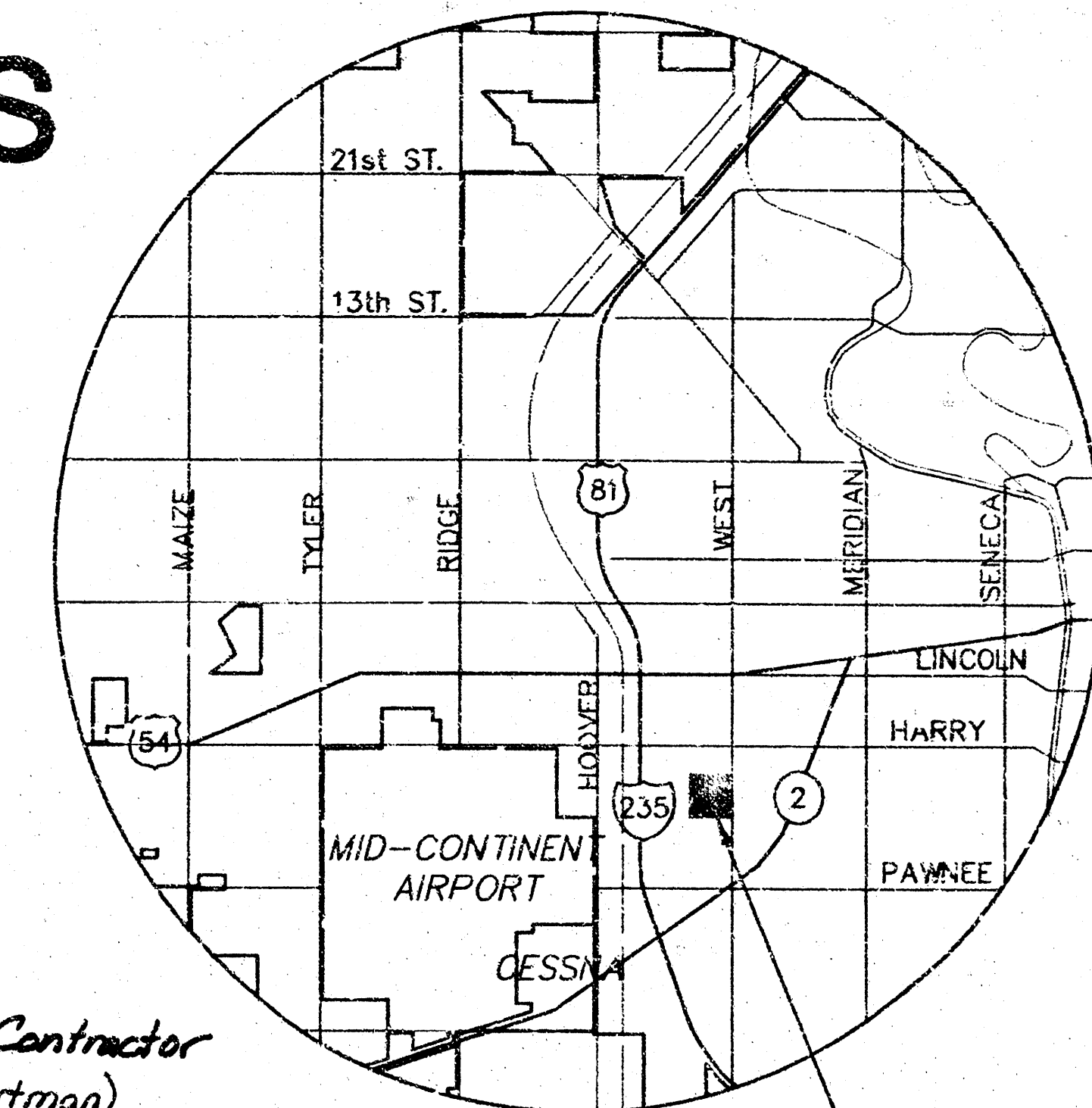
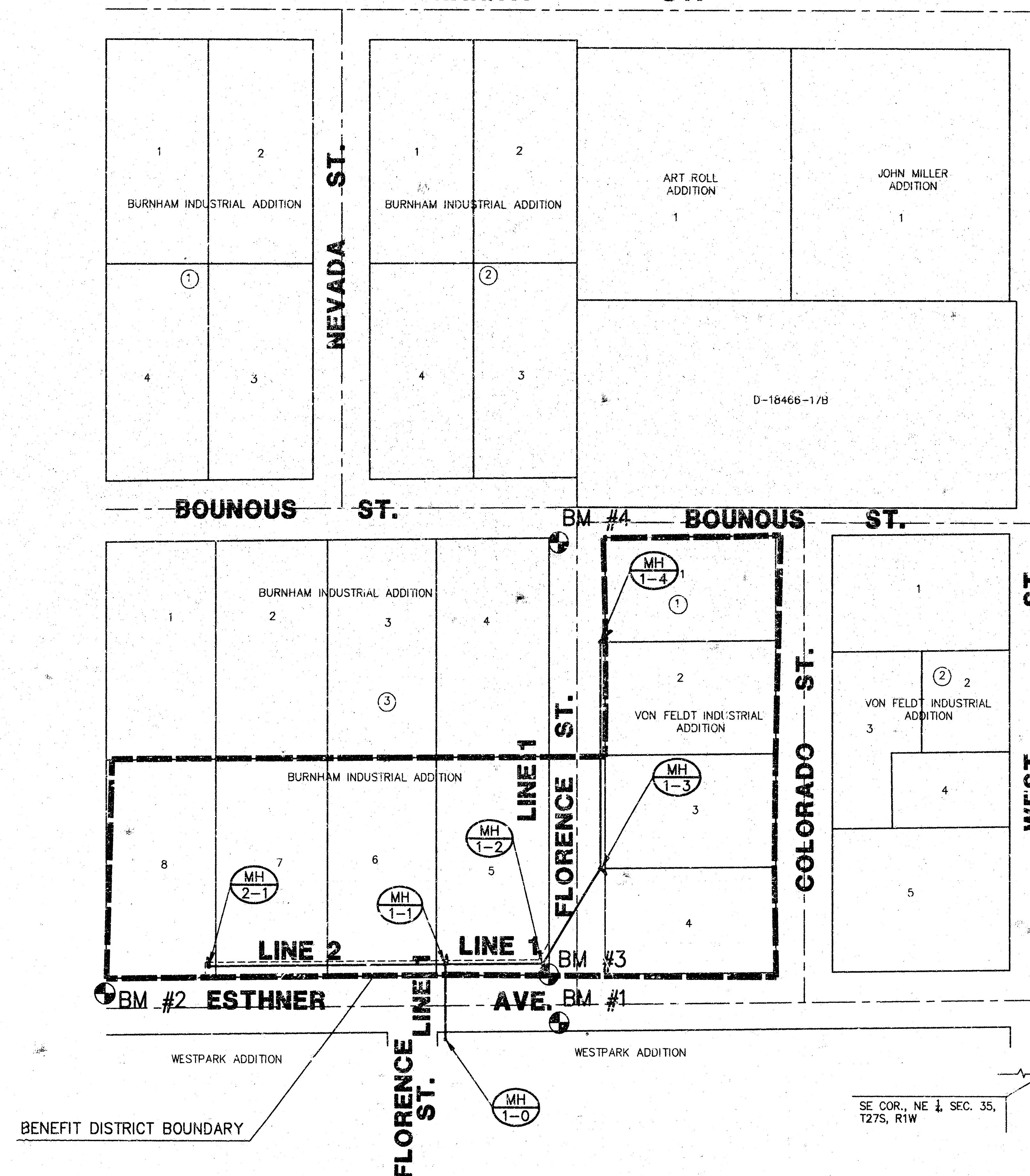
8. ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.

9. CONNECTING TO EXISTING MANHOLES: PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE A MAN CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST OF CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.

10. TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY AND EASEMENTS WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.

11. ALL DISTURBED AREAS TO BE SEEDED WITH RYE GRASS AT A RATE OF 200 LBS. PER ACRE WITHIN 10 DAYS OF CONSTRUCTION. CONTRACTOR TO PREPARE GROUND PER CITY SPECIFICATIONS. COST IS SUBSIDIARY TO SITE PREPARATION AND RESTORATION.

12. CONTRACTOR SHALL LOCATE & EXPOSE ALL EXISTING UTILITY SERVICE LINES PRIOR TO COMMENCING CONSTRUCTION OF SANITARY SEWER. SERVICE LINES SHALL BE RELOCATED AS REQUIRED TO CONSTRUCT SANITARY SEWER. ANY SERVICE LINES NOT REQUIRING RELOCATION TO ACCOMMODATE SANITARY SEWER ALIGNMENT THAT ARE DAMAGED BY CONTRACTOR SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.



LOCATION MAP

PROJECT SITE

Dandlinger & Sons - Contractor  
City - Inspector (Hartman)  
As-Built  
Stubs  
pdf by JDL 2/6/05  
Released 1/6/05

## INDEX TO DRAWINGS

| SHEET NO. | DESCRIPTION     |
|-----------|-----------------|
| 1         | TITLE SHEET     |
| 2         | MANHOLE DETAILS |
| 3         | LINE 1          |
| 4         | LINE 2          |
| 5-6       | EROSION DETAILS |
| 7-8       | FINAL PLATS     |

SCALE: 1" = 100'

## BENCHMARKS

BM #1 Chiseled "□" cut on the front and center of a SWS inlet located at the southwest corner of the intersection of Esthner and Florence Street.  
Elev. = 109.91 (C.O.W.)

BM #2 Chiseled "□" cut on the front and center of a SWS inlet located on the north side of Esthner, near the SW corner of Lot 8, Block 3, Burnham Industrial Add.  
Elev. = 112.26 (C.O.W.)

BM #3 Top of a found 1/2" iron pipe, located at the NW corner of the intersection of Esthner Ave. and Florence St. - SE corner of Lot 5, Block 3, Burnham Industrial Addition.  
Elev. = 110.75 (C.O.W.)

BM #4 Chiseled "□" cut near the SW corner of concrete pad at an existing field inlet located near the SW corner of the intersection of Florence Street and Bounous Street.  
Elev. = 109.83 (C.O.W.)

REVISION: OCTOBER 2004, LINE 1-2 OF SHEETS 3-4 FOR THE CITY OF WICHITA



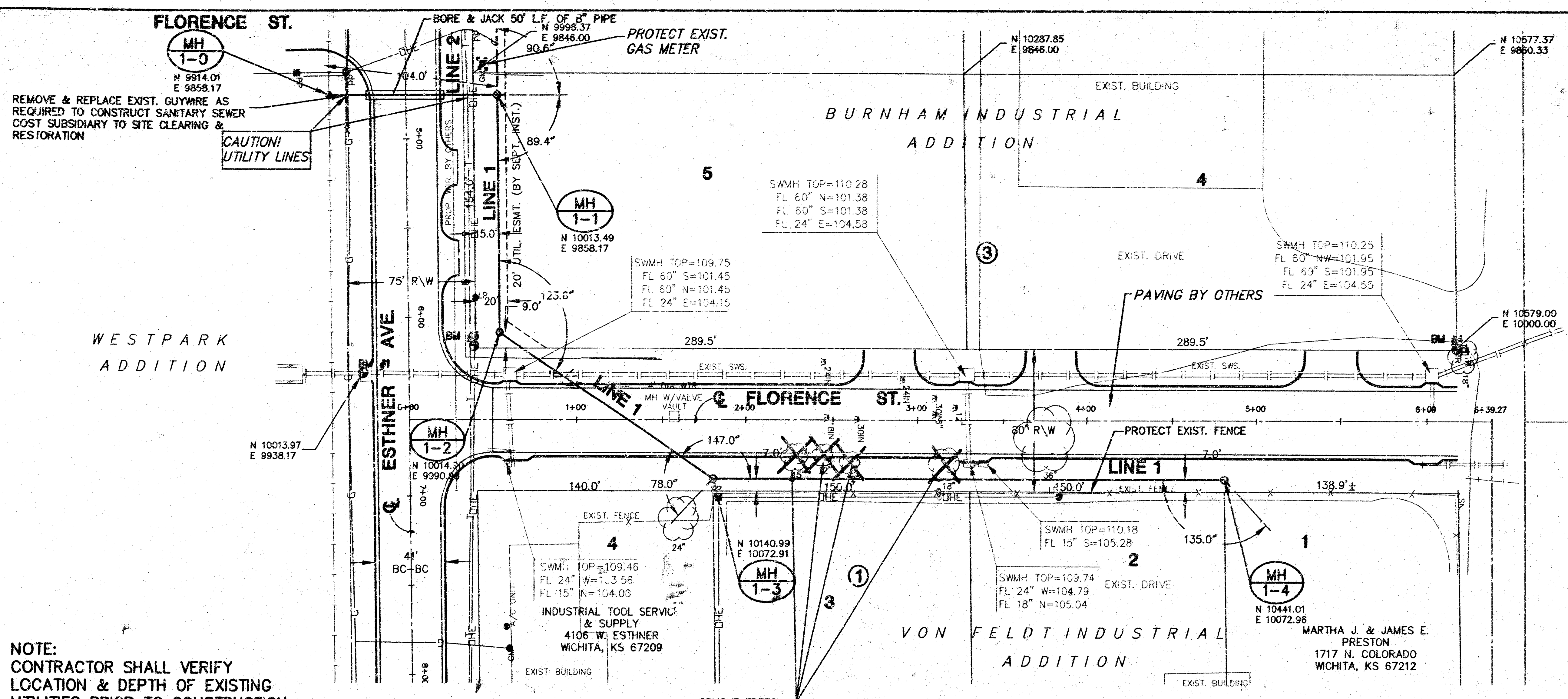
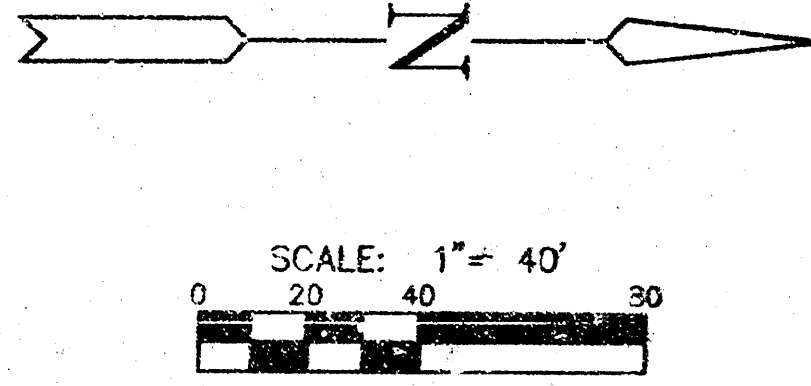
BURNHAM & VON FELDT INDUSTRIAL ADDITIONS

PROJECT NAME  
LOTS 5-8 (BURNHAM ADD.) & LOTS 1-4 (VON FELDT ADD.) SANITARY SEWER

SHEET TITLE

|            |           |             |
|------------|-----------|-------------|
| SRS        | KWS       | GJA         |
| DESIGN BY: | DRAWN BY: | CHECKED BY: |
| JULY 2004  | 04180BT   | 1 / 8       |
| DATE       | JOB NO.   | SHEET OF    |

**BURNHAM &  
VON FELD IND. ADD.  
SANITARY SEWER PLANS  
PROJECT #488-83772**



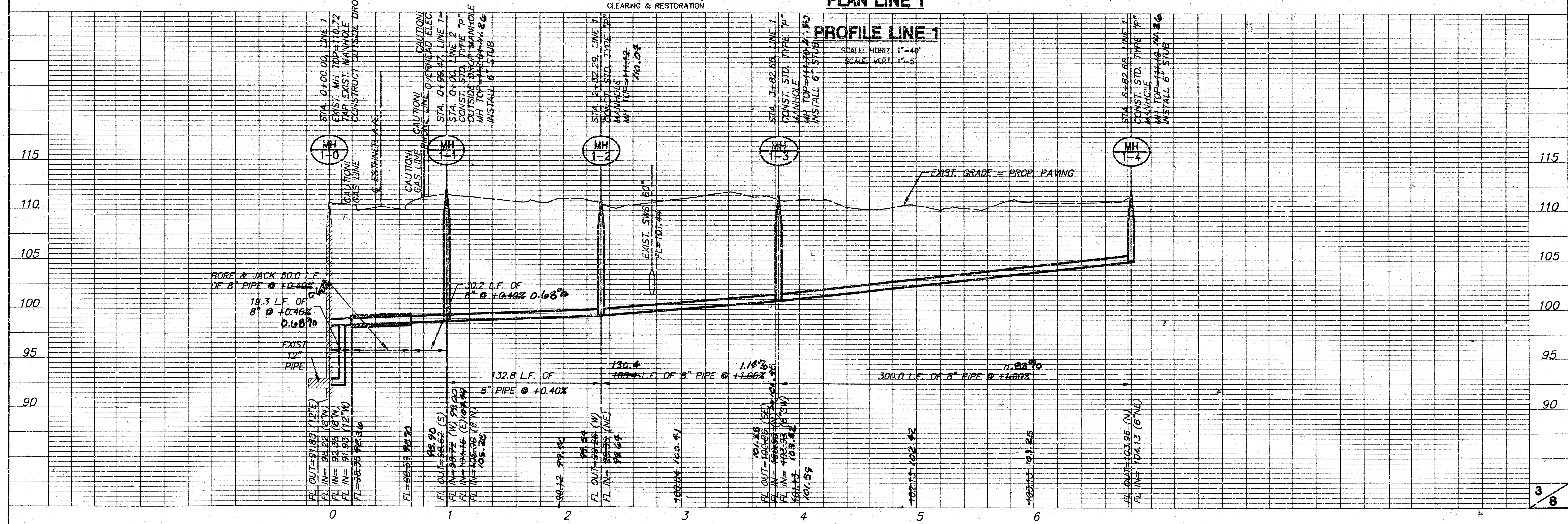
**NOTE:**  
CONTRACTOR SHALL VERIFY  
LOCATION & DEPTH OF EXISTING  
UTILITIES PRIOR TO CONSTRUCTION.

REMOVE TREES  
COST SUBSIDIARY TO SITE  
CLEARING & RESTORATION

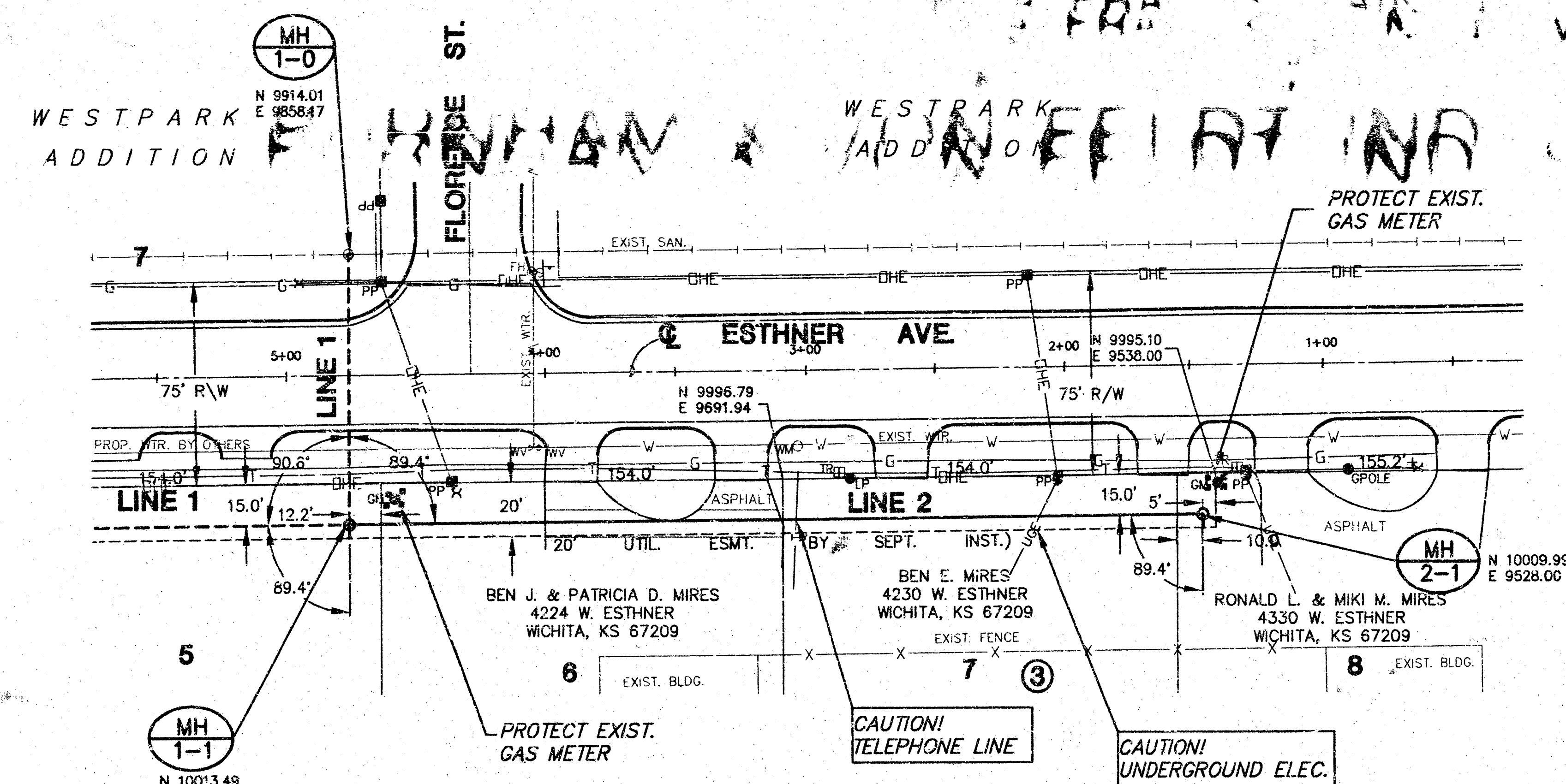
**PLAN LINE 1**

**PROFILE LINE 1**

SCALE: HORIZ. 1"=40'  
SCALE: VERT. 1"=5'

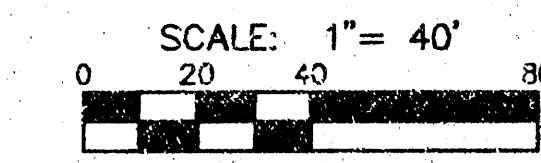


**BURNHAM &  
VON FELDT IND. ADD.  
SANITARY SEWER PLANS  
PROJECT #468-83772**



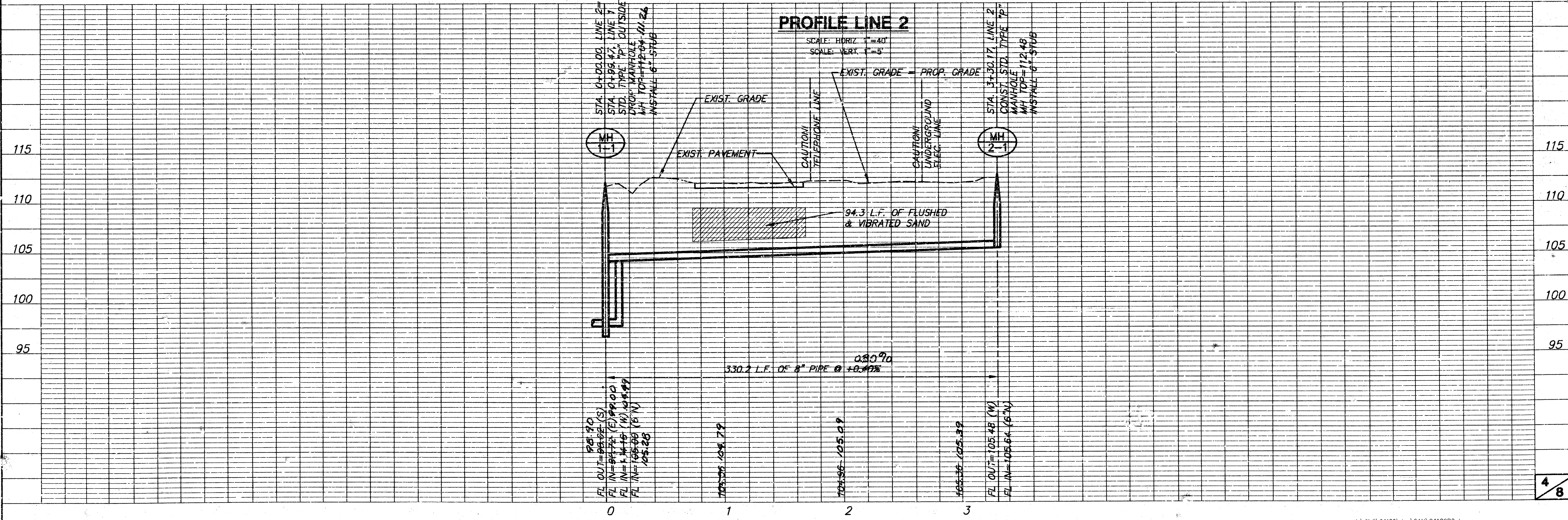
NOTE:  
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LOCATION & DEPTH OF EXISTING  
UTILITIES PRIOR TO CONSTRUCTION.

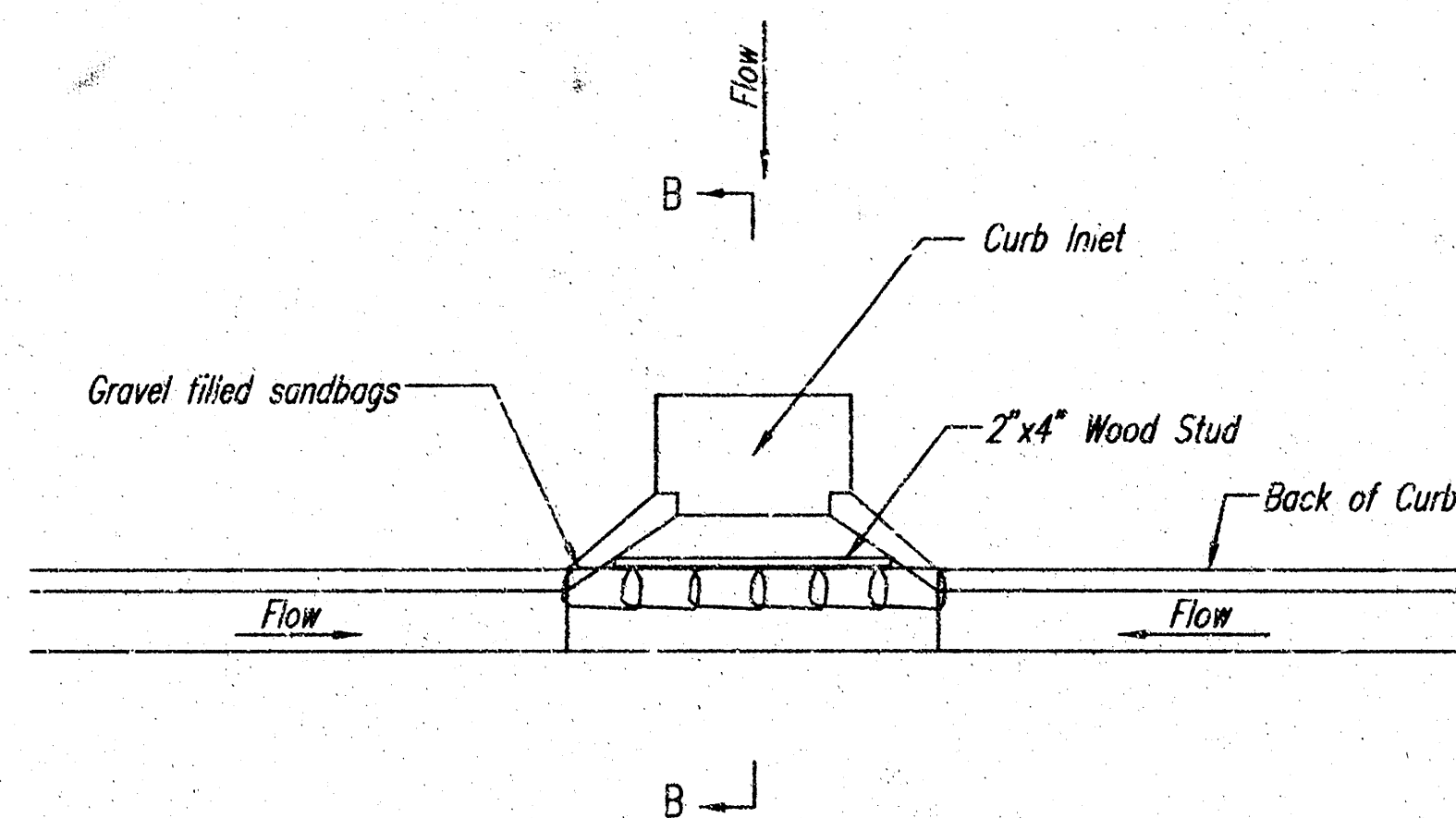
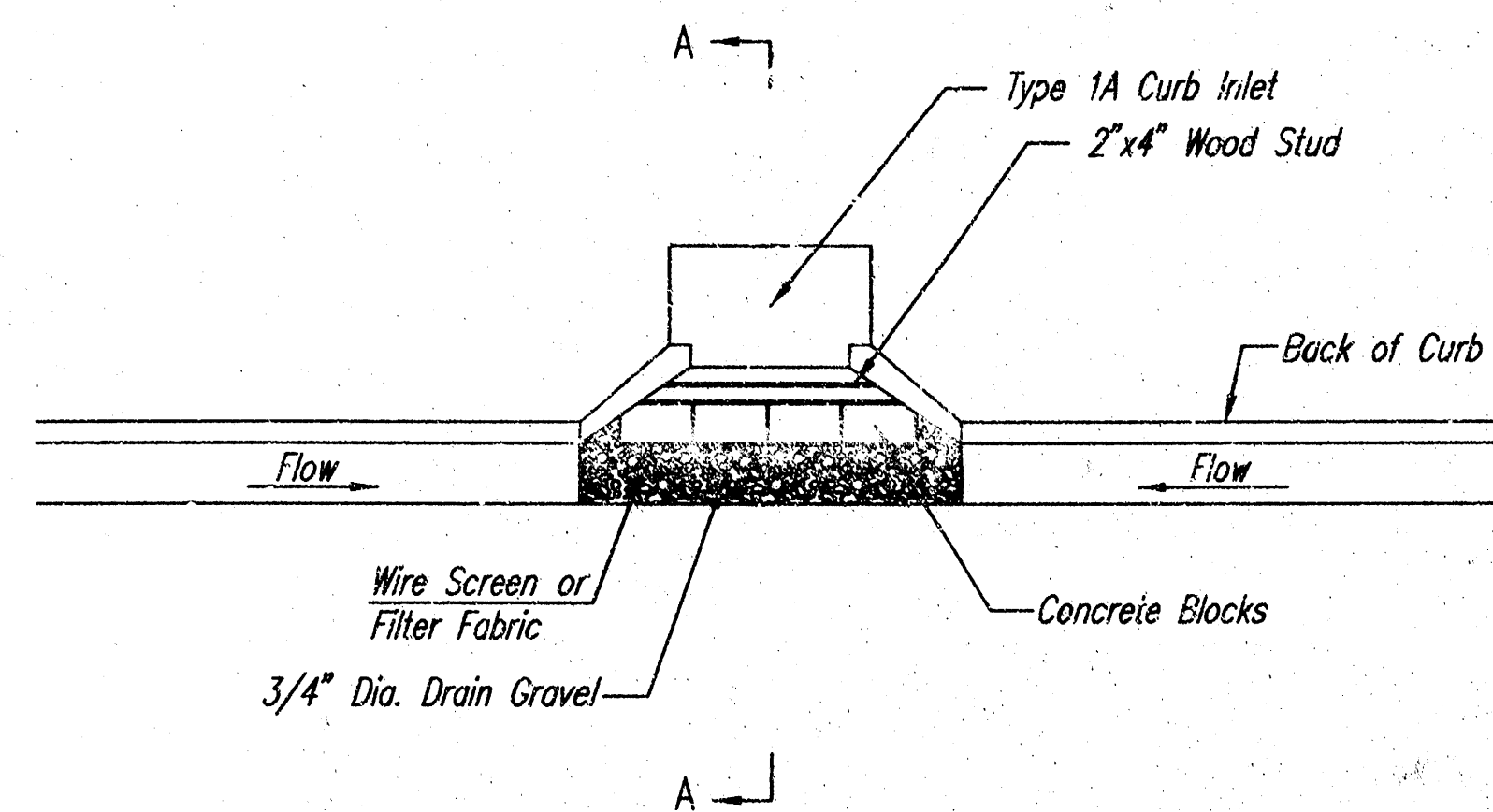
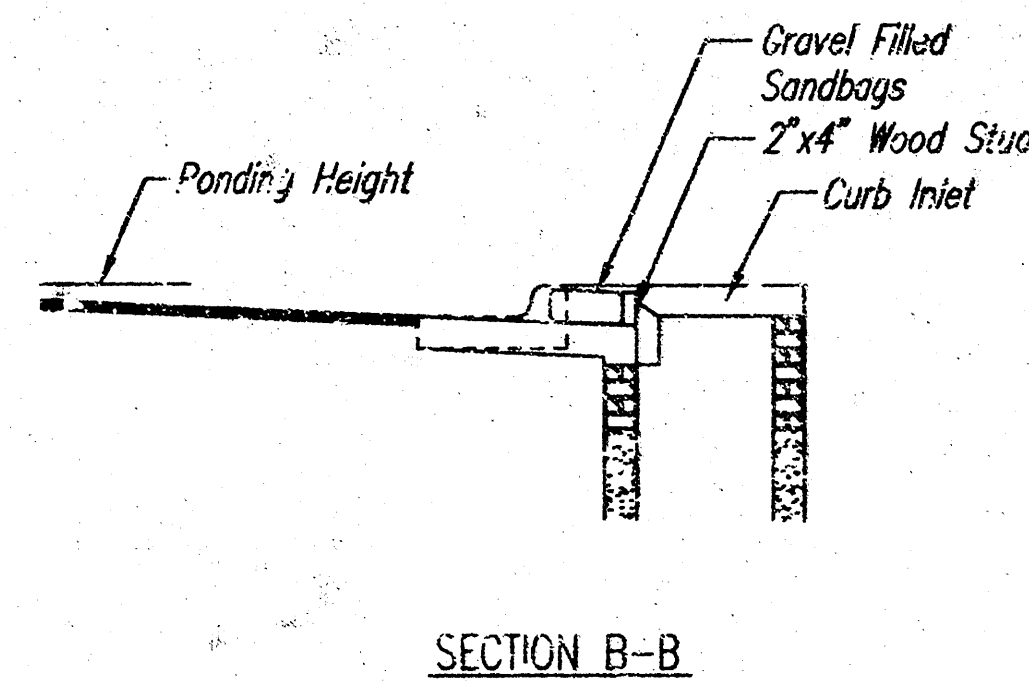
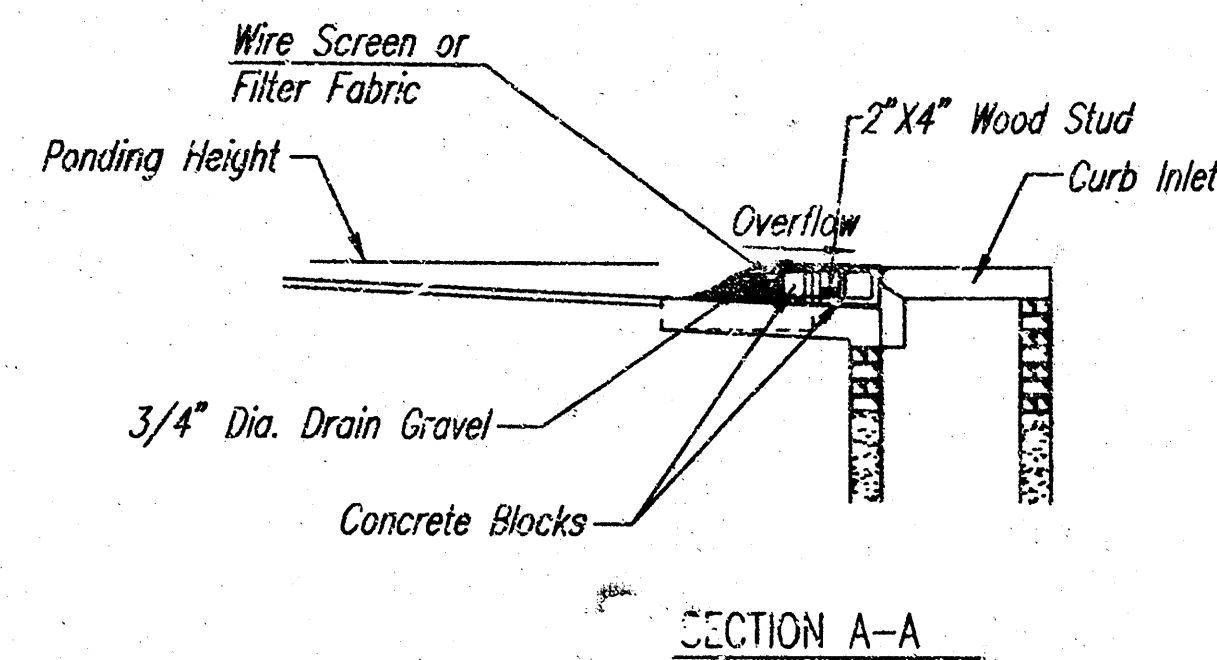
ASPHALT PAVEMENT REMOVAL  
& REPLACEMENT  
PER CITY OF WICHITA  
STANDARD SPECIFICATION



**PLAN LINE 2**

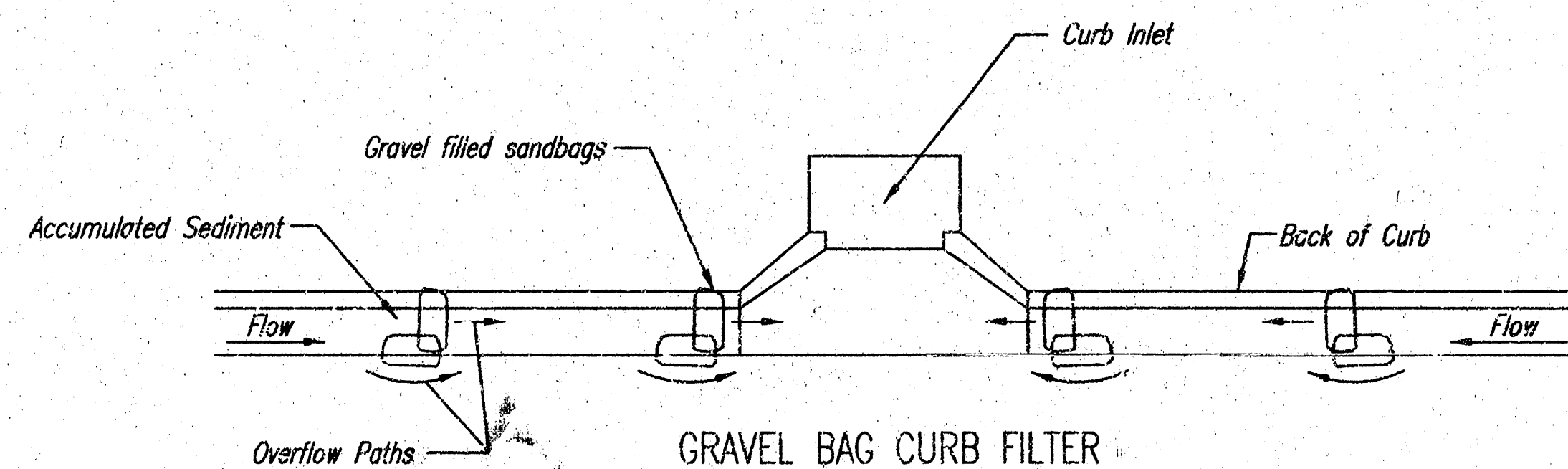
**PROFILE LINE 2**





#### CURB INLET SANDBAG FILTERS (INLET PROTECTION)

NOTE: Other types of curb inlet protection may be approved by the City so long as equal protection is provided.



#### GRAVEL BAG CURB FILTER (INLET PROTECTION)

NOTE: Place two or more sets of bags in a manner that results in maximum support. The flow line bag must be lower than top of curb.

#### CURB SEDIMENT TRAPS

When inlets are located on streets having a grade (i.e., sump conditions do not exist), installing gravel (or sand) bags in the gutter flow line to create small sediment traps can be considered. Gravel bags are recommended over sand bags to allow for drainage.

If the spacing between bags becomes too large, little sediment may be trapped. Spacing of bags should be completed using the table or graph that illustrates placement distances based upon street slope. When installed in the gutter, bag tops must be lower than the sidewalk.

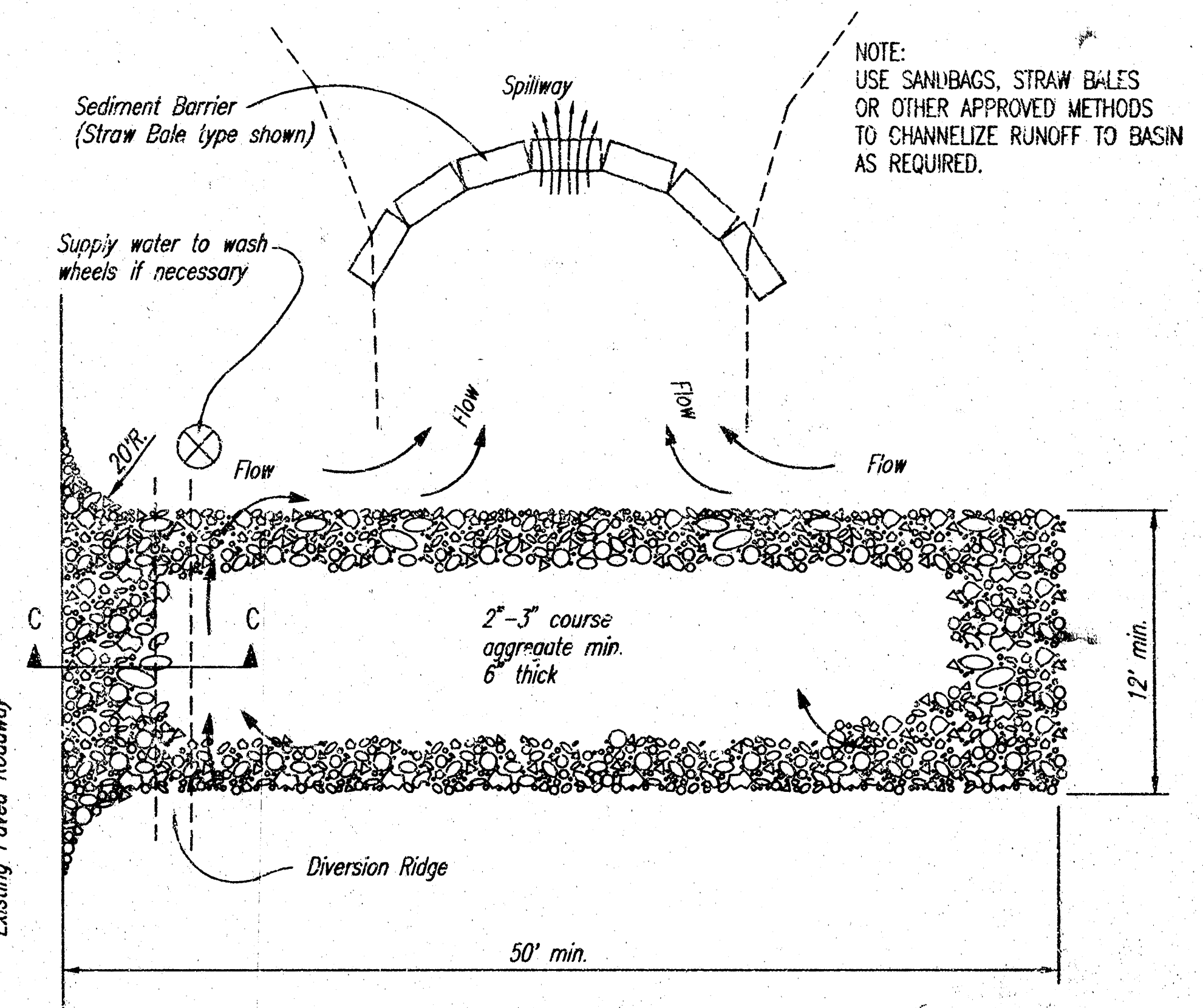
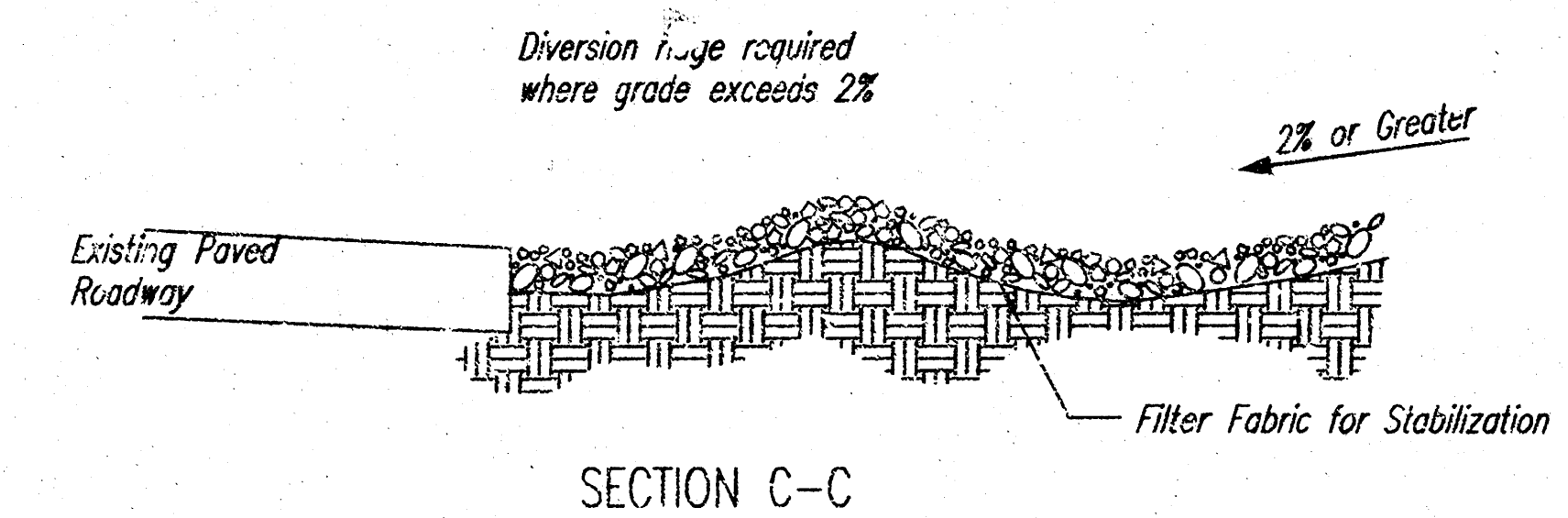
#### Spacing:

Gravel bags are to be placed according to street grades using the following table or graph that appears below.

| GRADE (%) | SPACING (FEET) |
|-----------|----------------|
| 0.5       | 75             |
| 1.0       | 45             |
| 2.0       | 18             |
| 3.0       | 12             |
| 4.0       | 9              |
| 5.0       | 6              |

#### Maintenance:

Collected sediment shall be removed after every runoff event. Bags that are destroyed by vehicular traffic or through natural deterioration are to be immediately replaced.



#### STABILIZED CONSTRUCTION ENTRANCE

#### NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

#### CURB INLET GRAVEL FILTERS (INLET PROTECTION-RESIDENTIAL STREETS ONLY)

NOTE: Other types of curb inlet protection may be approved by the city so long as equal protection is provided.

A gravel inlet filter shall be installed at sump locations on residential streets. This type of protection is not to be used on arterial or collector streets at any time that it would pose an undue traffic hazard.

#### Instructions for Installing:

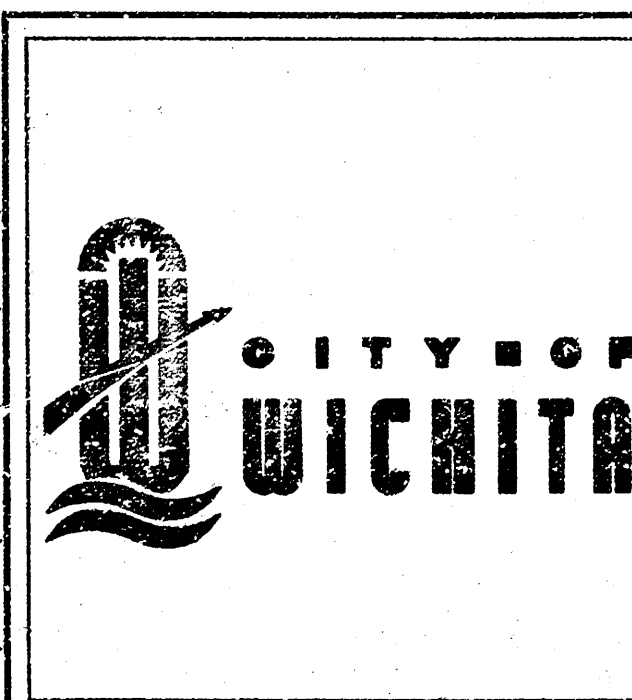
- STEP 1: Place concrete blocks around the inlet as shown on drawing. Insert 2x4 board as shown.
- STEP 2: Wrap 1/2 inch mesh wire screen around the concrete blocks.
- STEP 3: Place 1 inch to 1-1/2 inch diameter rock around the blocks and wire screen. Be sure the rock extends down from the top of the concrete block.
- STEP 4: To prevent damage to vehicles, signs warning drivers about the structures may be necessary. An alternative installation is the use of gravel bags supported by a 2x4 board to prevent collapsing.

Use of rock with diameters smaller than 1 inch in the bag may result in clogging of pores and reduce the amount of water flowing into an inlet.

#### Maintenance:

All curb inlet gravel filters shall be inspected and repaired after each runoff event. Sediment deposits are to be removed once material is within 8 cm (3 inches) of the top of any block. Periodically, the gravel shall be raked to increase infiltration and filtering of runoff waters. Accumulated sediment is to be removed immediately from roads and streets.

J:\CIVIL\04180.DWG SAN 04180ER1.DWG



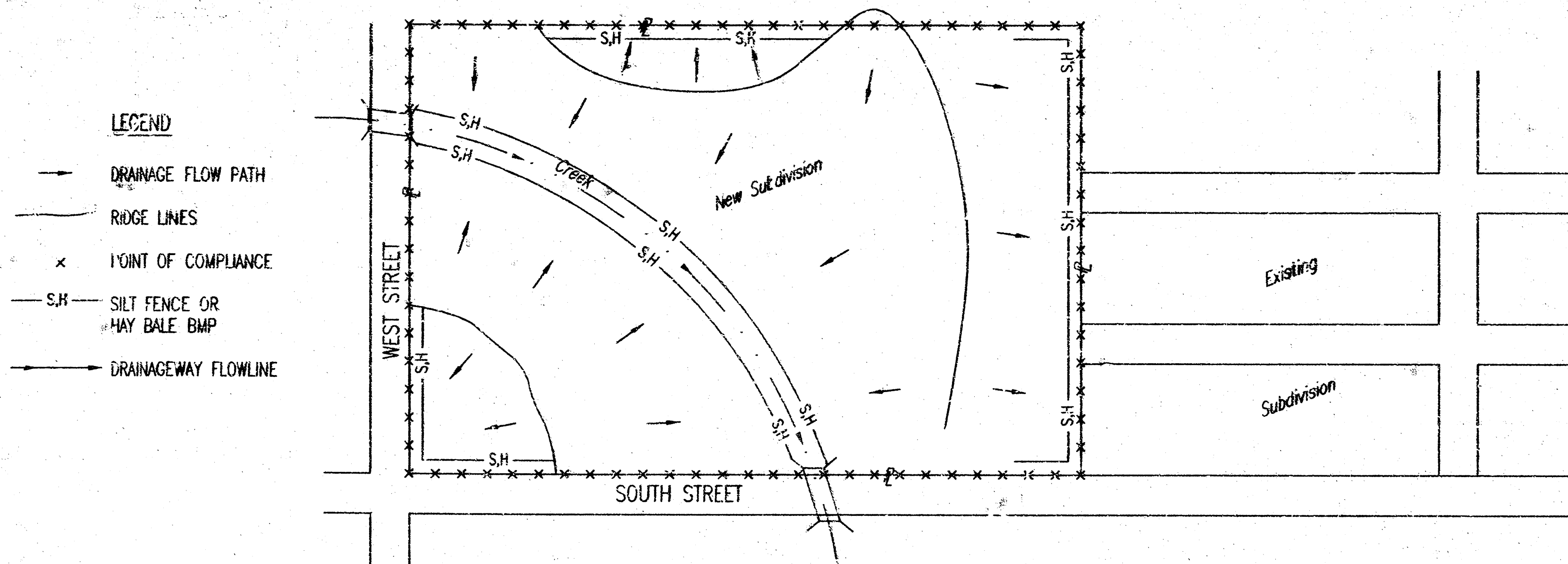
#### SOIL EROSION BMP DETAILS

CHRISTOPHER M. CARRIER, P.E.  
STORM WATER ENGINEER

PROJECT NUMBER: 468-83772 OCA NO.: 744041

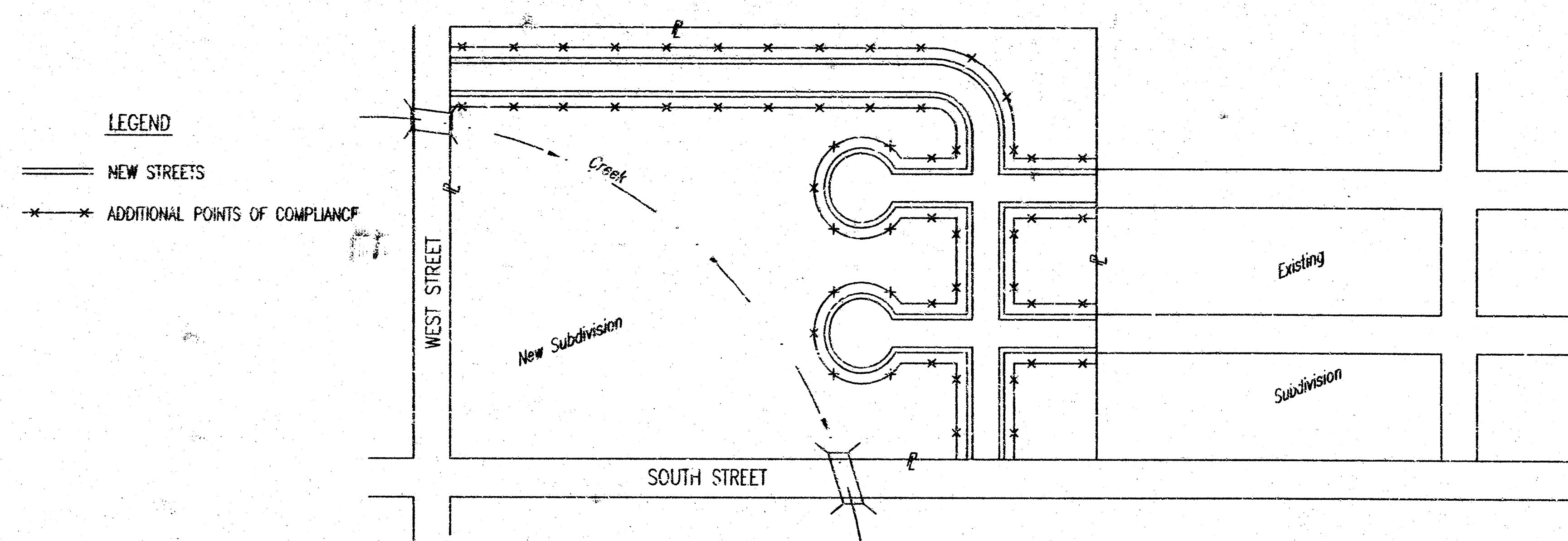
DATE: JULY 2004 SHEET 5 OF 8

# PHASE 1 - INITIAL EARTHWORK AND UTILITIES (EXCEPT STORM SEWER)



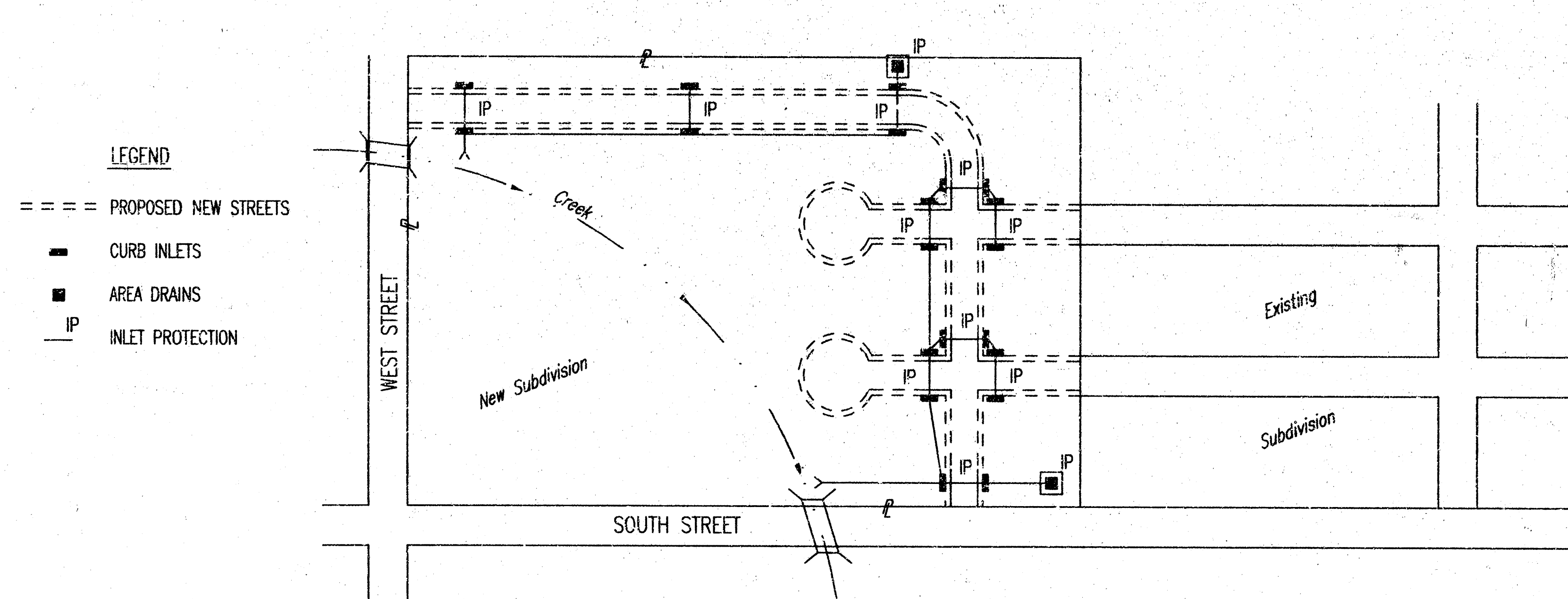
1. DURING THIS PHASE OF SUBDIVISION CONSTRUCTION, THE POINTS OF COMPLIANCE ARE THE PERIMETER BOUNDARIES AND ANY DRAINAGE WAYS OR STORM SEWERS DRAINING THROUGH OR FROM THE SITE. SHOULD LAKES BE CONSTRUCTED WITHIN THE SUBDIVISION THAT WILL DISCHARGE DURING STORMS, THEY ARE ALSO A POINT OF COMPLIANCE.
2. HAYBALES OR SILT FENCE MUST BE CONSTRUCTED ALONG THE PROPERTY LINE WHERE ON SITE WATER CAN DRAIN OFF THE PROPERTY. THESE BMP'S WILL ALSO BE INSTALLED ALONG ANY DRAINAGE DITCH OR LAKE THAT CAN DISCHARGE.
3. SHOULD SILT OR SEDIMENT ENTER THE DITCHES OR GUTTERLINES ON THE ADJACENT BOUNDARY STREETS, APPROPRIATE BMP'S WILL BE PLACED WITHIN THE SUBDIVISION TO PREVENT THIS.
4. ANY MUD TRACKED ONTO ADJACENT STREETS WILL BE REMOVED AT THE END OF EACH WORK DAY.
5. CONTRACTORS WORKING WITHIN THE SITE WILL NOT BE REQUIRED TO USE INDIVIDUAL BMP'S AS LONG AS THOSE SPECIFIED ABOVE ARE IN PLACE AND EFFECTIVE. CONTRACTORS WORKING ON THE BOUNDARY LINE STREETS OR ON ADJACENT PROPERTIES TO EXTEND UTILITIES ARE EXPECTED TO USE BMP'S AT THEIR WORK LOCATIONS, AS NEEDED.
6. UTILIZE STABILIZED CONSTRUCTION ENTRANCE AT ENTRANCE AND EXIT ONTO ANY EXISTING PUBLIC STREETS.
7. THE SUBDIVISION DEVELOPER (OWNER) SHALL INSTALL AND MAINTAIN THE ON-SITE BMP'S.

# PHASE 3 - STREET CONSTRUCTION



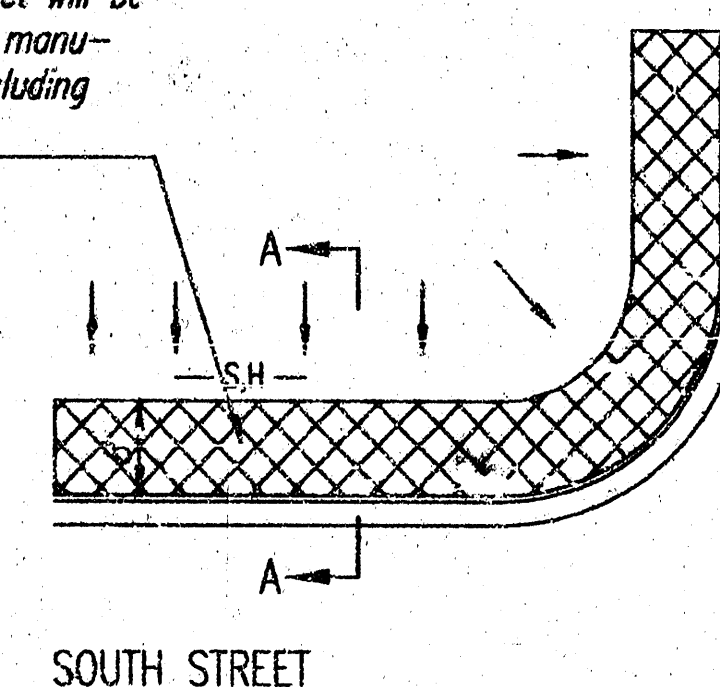
1. DURING THIS PHASE OF SUBDIVISION CONSTRUCTION, NEW STREETS ARE INSTALLED. ALL BMP'S INSTALLED DURING PHASE 1 AND 2 MUST STILL BE MAINTAINED. THE POINT OF COMPLIANCE NOW SHIFTS TO THE BACK OF CURB ALONG EACH STREET.
2. CURB OPENING INLET PROTECTION:  
A. SUMP AREAS - INLET PROTECTION SHALL BE PROVIDED WHEN STREET SUBGRADE WORK IS COMPLETED.  
B. NON-SUMP LOCATIONS - PROVIDE INLET PROTECTION AS SOON AS BASE COURSE ASPHALT IS INSTALLED, BEFORE THE SURFACE COURSE LIFT.
3. BMP'S WILL BE REQUIRED BACK OF CURB WHEREVER WATER CAN FLOW OVER THE CURB AND THE CURB HAS BEEN BACKFILLED TO WITHIN 3" OR LESS OF THE TOP OF CURB (SEE CURB BACKFILL DETAIL). FOR CURBS NOT YET ENTIRELY BACKFILLED (3" OR MORE BELOW TOP OF CURB), BMP'S WILL BE REQUIRED AT POINTS WHERE WATER BREAKS OVER CURB WHICH COULD RESULT IN THE PLACEMENT OF SEDIMENT IN THE GUTTER.
4. SEE DETAIL THIS SHEET ON BACK OF CURB PROTECTION.
5. THE BACK OF CURB PROTECTION SPECIFIED ON THIS PLAN MAY HAVE TO BE SUPPLEMENTED WITH HAYBALE OR SILT FENCE BMP'S AT LOCATIONS WHERE CONCENTRATED FLOW RESULTS IN SEDIMENT BEING CARRIED OVER THE EXCELSIOR MATS.
6. THE STREET CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING BACK OF CURB BMP'S.
7. THE INDIVIDUAL LOT OWNERS WILL BE RESPONSIBLE FOR MAINTAINING THE BACK OF CURB BMP'S IN FRONT OF THEIR LOTS UNTIL SUCH TIME AS ADJACENT DISTURBED EARTH IS STABILIZED WITH GRASS OR SOD.

# PHASE 2 - INSTALLATION OF STORM SEWER

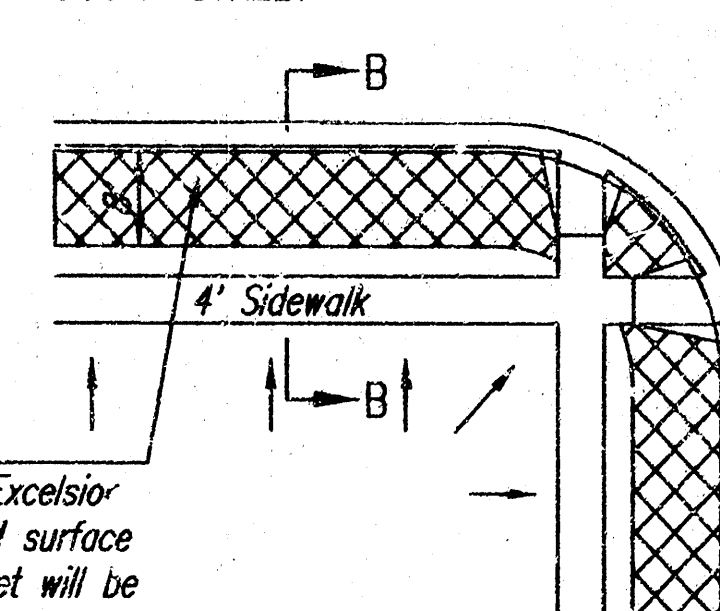


1. DURING THIS PHASE OF SUBDIVISION DEVELOPMENT, ALL BMP'S REQUIRED IN PHASE 1 SHALL REMAIN IN PLACE AND BE MAINTAINED.
2. AS NEW STORM SEWERS, WITH INLETS, ARE INSTALLED, THE STORM SEWERS MUST NOW BE PROTECTED SO ALL NEW INLETS BECOME POINTS OF COMPLIANCE.
3. AREA DRAINS - AS SOON AS WATER CAN FLOW INTO THESE DRAINS, HAYBALE OR SILT FENCE PROTECTION WILL BE INSTALLED AROUND THEM.
4. CURB OPENING INLETS - AS SOON AS WATER CAN FLOW INTO THESE DRAINS, INLET PROTECTION BMP'S MUST BE INSTALLED. SEE PHASE 3 - STREET CONSTRUCTION.
5. THE STORM SEWER CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING THESE BMP'S. IF WATER CANNOT FLOW INTO CURB INLETS UNTIL STREET CONSTRUCTION IS COMPLETE, THEN STREET CONTRACTOR WILL INSTALL INLET PROTECTION.
6. THE SUBDIVISION DEVELOPER WILL MAINTAIN THESE BMP'S ONCE INSTALLED.
7. ONCE ALL DISTURBED GROUND DRAINING TO AN INLET HAS BEEN RESTABILIZED WITH GRASS OR SOD, THE SUBDIVISION DEVELOPER WILL BE RESPONSIBLE FOR PERMANENTLY REMOVING THE INLET PROTECTION.

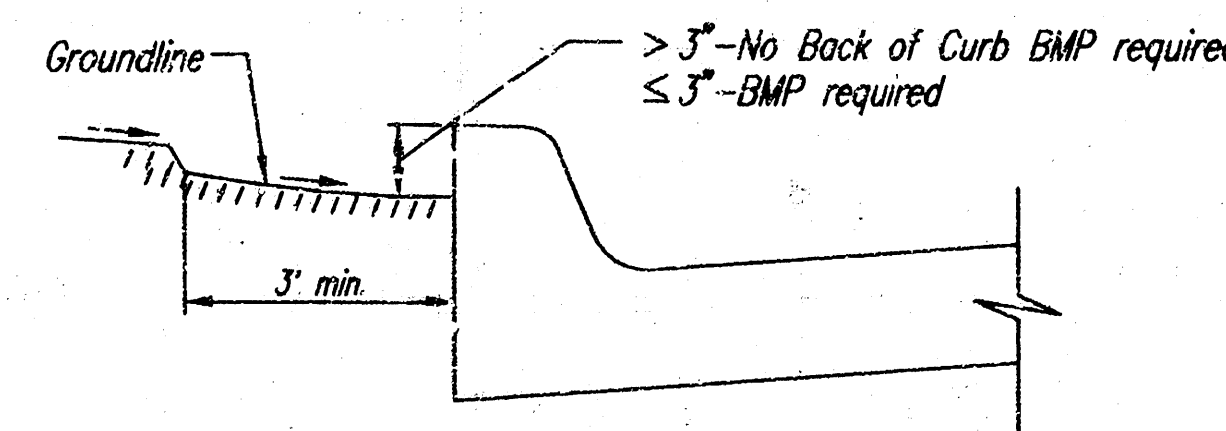
BMP-Install 8" wide Curlex I Excelsior Blanket, or equal, on prepared surface back of curb. Edge of blanket will be at back of curb. Install per manufacturer's recommendation, including staples.



BMP-Install 8" wide Curlex I Excelsior Blanket, or equal, on prepared surface back of curb. Edge of blanket will be at back of curb. Install per manufacturer's recommendation, including staples.



## BACK OF CURB PROTECTION DETAIL



## CURB BACKFILL DETAIL

## GENERAL NOTES:

1. THE INTENT OF ALL BEST MANAGEMENT PRACTICES (B.M.P.'S) IS TO PREVENT ERODED SOIL FROM ENTERING DITCHES, STORM SEWERS, OR ANY OTHER DRAINAGE FEATURE.
2. THIS SHEET IS INTENDED TO PROVIDE GUIDELINES AS TO WHAT TYPE OF BMP'S WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS. CONTRACTORS ARE EXPECTED TO BID PROJECTS ACCORDINGLY.
3. BMP'S SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS TO REMAIN EFFECTIVE. MAINTENANCE SHALL BE AS INDICATED ON THE BMP DETAIL SHEETS.
4. PERSONS DESTROYING BMP'S SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING THEM OR INSTALLING SUITABLE REPLACEMENT BMP'S.
5. THE DEVELOPMENT OF ANY SUBDIVISION THAT DISTURBS 5 ACRES OR MORE WILL REQUIRE A FEDERAL/STATE NPDES STORMWATER PERMIT. THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN IS REQUIRED. EROSION CONTROL BMP'S ARE REQUIRED. THE DETAILS SHOWN ON THIS SHEET ARE THE MINIMUM STANDARDS TO BE SHOWN ON POLLUTION PREVENTION PLAN.
6. FOR SUBDIVISIONS SMALLER THAN 5 ACRES, SOIL EROSION BMP'S ARE REQUIRED. ALSO, DEVELOPERS AND CONTRACTORS ARE ENCOURAGED TO DEVELOP POLLUTION PREVENTION PLANS FOR EACH PROJECT PRIOR TO CONSTRUCTION.
7. FAILURE TO USE AND MAINTAIN BMP'S IS A VIOLATION OF SECTION 16.32 OF THE CITY CODE AND WILL SUBJECT THE SUBDIVISION DEVELOPER AND CONTRACTORS TO THE PENALTIES PROVIDED THEREIN.
8. THE APPLICATION OF BMP'S SHOWN ON THIS SHEET IS FOR SITUATIONS NORMALLY ENCOUNTERED. FROM TIME TO TIME, SITUATIONS WILL ARISE THAT MAY REQUIRE A DIFFERENT BMP OTHER THAN THAT SHOWN. BMP'S, OTHER THAN THOSE SHOWN, MAY BE UTILIZED SO LONG AS THEY ARE EFFECTIVE AND MAINTAINED.
9. A STABILIZED EARTH SURFACE IS DEFINED AS ONE THAT IS HARD SURFACED WITH CONCRETE, ASPHALT, OR THE LIKE, OR ONE ON WHICH 70% OF THE GRASS HAS GERMINATED ON THE ENTIRE SURFACE.



## SOIL EROSION BMP'S SUBDIVISION DEVELOPMENT PROCESS

CHRISTOPHER M. CARRIER, P.E.  
STORM WATER ENGINEER

PROJECT NUMBER 468-83772 OCA NO. 744041

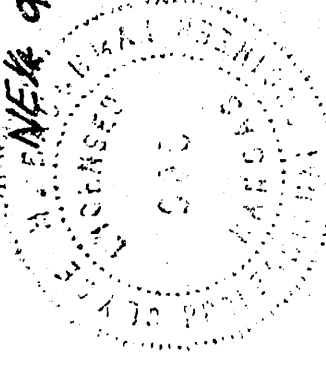
DATE JULY 2004 SHEET 6 OF 8

BURNHAM INDUSTRIAL ADDITION

TO WICHITA, KANSAS.

State of Kansas), S.S. I, Clyde M. Baughman, Surveyor in and  
Sequoyia County, do hereby certify that I have surveyed  
and platted BURNHAM INDUSTRIAL ADDITION, to Wichita,  
Kansas, and that the accompanying plat is a true and correct  
copy of the original surveyed, certified as the N.E. of the  
NE 1/4 of the NE 1/4 of Sec. 36, Twp. 27-S, R. 1-W.

Clyde M. Baughman, Surveyor



Know all men by these presents that we  
Burnham Products Inc. a corporation of C.A. Burnham, President  
and Paul Donaldson, Secretary, and C.A. Burnham and  
Mildred V. Burnham his wife and Paul Donaldson and  
Louise S. Donaldson his wife, and Owen J. Redmond and  
Anna Redmond his wife, and J.E. Borlase and Ruth Borlase  
his wife, have caused this land described in the surveyors  
certificate to be platted into lots, blocks, streets, and an Avenue  
to be known as BURNHAM INDUSTRIAL ADDITION, to  
Wichita, Kansas. The streets and Avenue are hereby dedicated  
to and for the use of the public.

Burnham Products Inc.

C.A. Burnham President  
Paul Donaldson Secretary  
Michael V. Burnham J.E. Borlase  
Paul Donaldson Ruth Borlase  
Anna Redmond Owen J. Redmond  
Anna Redmond Ruth Redmond

State of Kansas), S.S. Be it remembered that on this 12th  
day of January, 1952, before me a Notary Public  
in and for Sequoyia County, and State came S.A. Burnham, President  
and Paul Donaldson, Secretary of Burnham Products Inc., and  
C.A. Burnham and Mildred V. Burnham his wife, and Paul  
Donaldson and Louise S. Donaldson his wife, and Owen J.  
Redmond and Anna Redmond his wife, and J.E. Borlase and Ruth  
Borlase his wife, to me known to be the same persons who executed  
the foregoing instrument of writing and duly acknowledged the execution  
of the same. In testimony whereof I have hereunto set my hand and  
affixed my notarial seal the day and year above written.

My Commission Expires: August 14, 1952 Notary Public  
Paul E. Davis

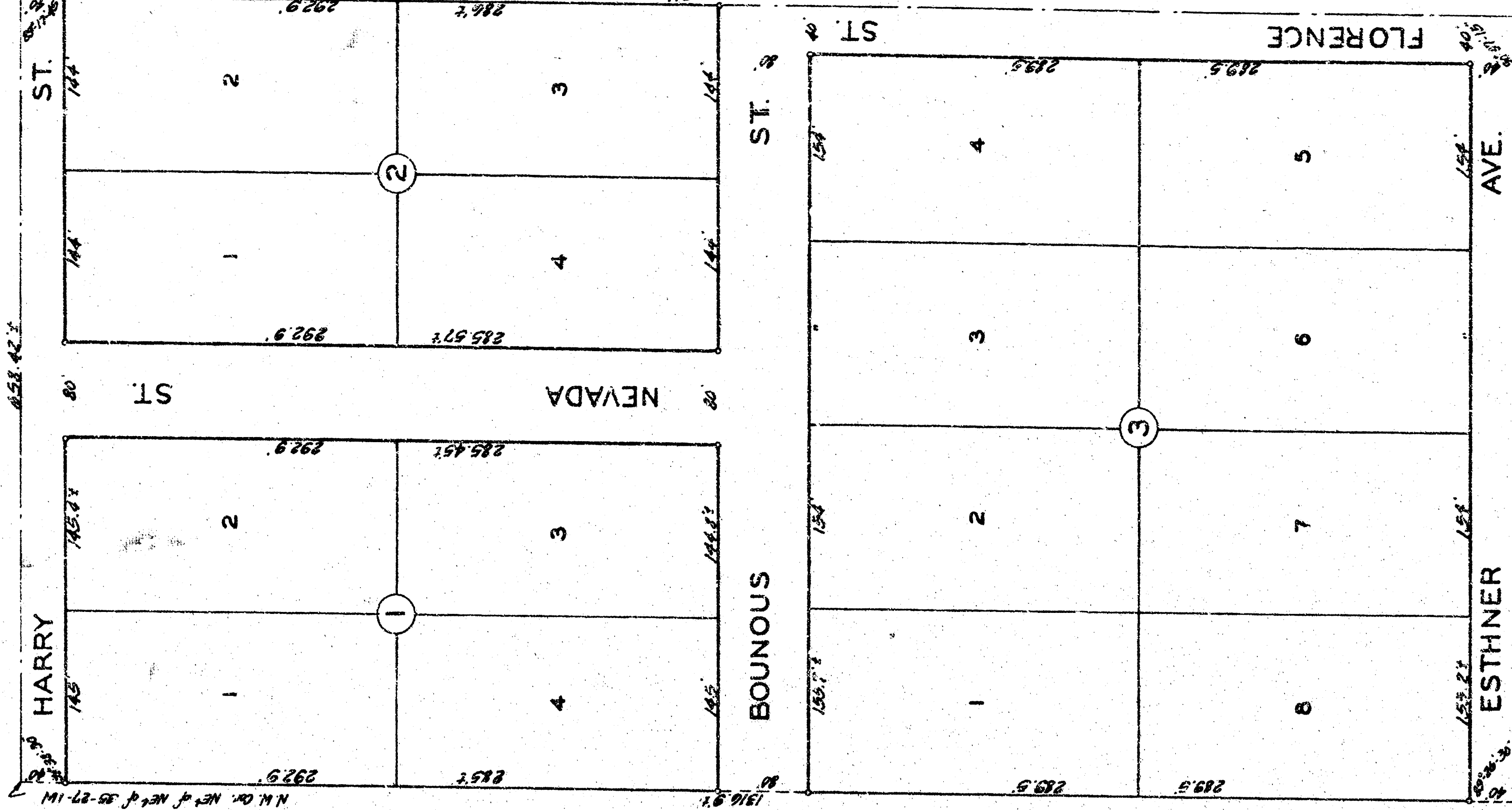
This plat of BURNHAM INDUSTRIAL ADDITION  
to Wichita, Kansas, has been submitted to and considered by the Wichita  
Sequoyia County Metropolitan Area Planning Commission, and is hereby  
transmitted to the Board of City Commissioners with the recommendation  
that such plat be approved as proposed.  
Dated this 5th day of November, 1952.  
Wichita Sequoyia County Metropolitan Area Planning Commission.

Approved by the Board of City Commissioners  
this 12th day of January, 1952.  
Justin H. Grogan Mayor  
C. A. Grogan City Clerk

Commissioners this 12th day of February, 1952.  
W. O. Williams County Clerk

State of Kansas), S.S. This is to certify that this plat was filed  
for record in the office of the Register of Deeds, this 12th  
day of February, 1952, at 2:00 o'clock  
P.M., and is duly recorded.

Refugio E. Deeking Register of Deeds  
# 2200



holders of a mortgage on a portion of the above described property do  
herby, consent to the plat of BURNHAM INDUSTRIAL ADDITION to  
Wichita, Kansas.

Union National Bank in Wichita  
Refugio E. Deeking  
Refugio E. Deeking Clerk

State of Kansas), S.S. Be it remembered that on this 12th day of  
February, 1952, before me a Notary Public in and for  
Sequoyia County, and State came Paul Davis, President and  
Secretary of Union National

Bank in Wichita, Kansas, to me known to be the same persons  
who executed the foregoing instrument of writing and duly acknowledged  
the execution of the same. In testimony whereof I have hereunto  
set my hand and affixed my notarial seal the day and year  
above written.

My Commission Expires: August 14, 1952 Notary Public  
Paul E. Davis

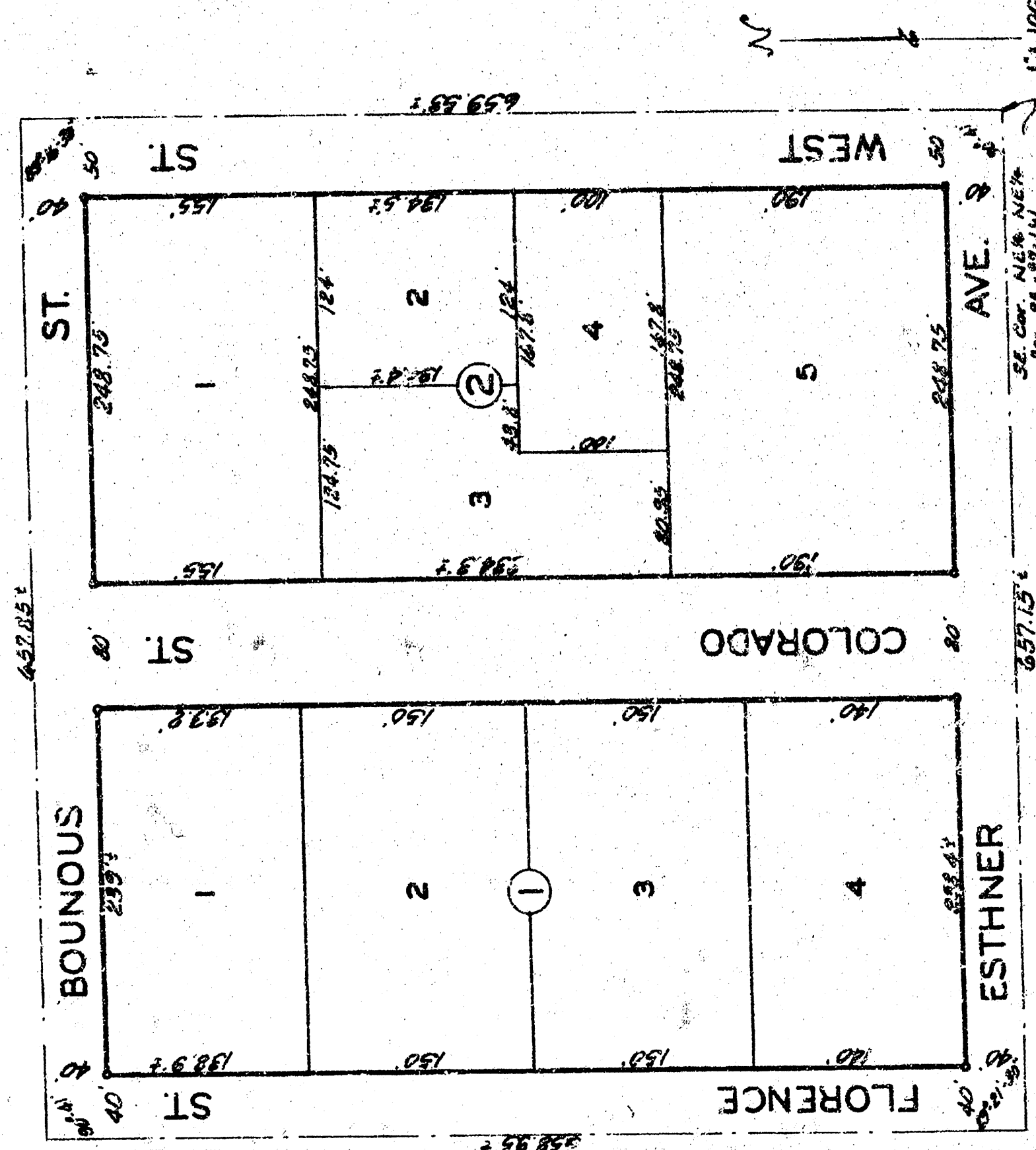
Let day of February, 1952.

W. O. Williams County Clerk

40-18

# VON FELDT INDUSTRIAL ADDITION

TO WICHITA, KANSAS.



This plat of "VON FELDT INDUSTRIAL ADDITION" to Wichita, Kansas, has been submitted to and considered by the City Planning Commission of Wichita, Kansas, and is hereby transmitted to the Board of City Commissioners with the recommendation that such plat be approved as proposed.

Dated this 1st day of May, 1957.  
The City Planning Commission of Wichita, Kansas.  
*Wesley H. Lawrence, Chairman*  
*August H. Smith, Secretary*

City Commissioners this 1st day of May, 1957.  
*E. E. Baird, Mayor*

Approved by the Board of County Commissioners this 1st day of May, 1957.  
*Clinton Wheeler, County Clerk*

State of Kansas, s.s. I, Clyde M. Baughman, Surveyor in Sequoyia County, and state do hereby certify that I have surveyed and plotted "VON FELDT INDUSTRIAL ADDITION" to Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed as shown on the plat of the Von Feldt Industrial Addition, T. 27 S., R. 1 W.

*Clyde M. Baughman, Surveyor*

Know all men by these presents that we, A. H. Realty Inc., a corporation by and under the laws of the State of Kansas, do hereby certify that we are the owners and holders of the above described property, and that we have caused the same to be surveyed and plotted as shown on the plat of the Von Feldt Industrial Addition, T. 27 S., R. 1 W., and for the use of the public.

A. H. Realty Inc., a corporation by and under the laws of the State of Kansas, do hereby certify that we are the owners and holders of the above described property, and that we have caused the same to be surveyed and plotted as shown on the plat of the Von Feldt Industrial Addition, T. 27 S., R. 1 W., and for the use of the public.

State of Kansas, s.s. I, as it remembered that on this 1st day of May, 1957, before me a Notary Public in and for Sequoyia County, and State of Kansas, Alfred H. Baird, Vice President and D. A. Von Feldt, Secretary, and Edward L. Smith, and Claude C. St. Peters, Secretary of A. H. Realty Inc., to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

*Alfred H. Baird, Notary Public*  
My Commission Expires: May 4, 1958

TUV 8 12

State of Kansas, s.s. This is to certify that this plat of the Von Feldt Industrial Addition, T. 27 S., R. 1 W., and is duly recorded.

*Alfred E. Deering, Register of Deeds*  
#4 30081

We, First Federal Savings and Loan Ass'n, holders of a mortgage on the above described property, do hereby consent to this plat of "VON FELDT INDUSTRIAL ADDITION" to Wichita, Kansas.

First Federal Savings and Loan Ass'n  
*E. P. Deering, Secretary*

State of Kansas, s.s. As it remembered that on this 1st day of May, 1957, before me a Notary Public in and for Sequoyia County, and State of Kansas, S. R. Haines, President and Paul L. Truitt, Secretary of First Federal Savings and Loan Ass'n, to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

*Alfred E. Deering, Notary Public*  
My Commission Expires: July 25, 1957

Prot. Reg. R. M. 408 P. 103