

**GENERAL NOTES:**

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 Multimedia Cablevision 262-0661  
 K.P.L. Gas Service Company 383-8650  
 Kansas Gas & Electric Company 383-8600  
 Peoples Gas Company 942-8350  
 Southwestern Bell Telephone Company 1-571-2611  
 City of Wichita Water Dept. 268-4908  
 City of Wichita Traffic Engineering 269-4446
- Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- ~~Contractor shall grade the sanitary sewer alignment to the proposed elevations shown on the easement grading plans. All costs for grading shall be paid as lump sum for easement grading.~~
- All areas disturbed by construction operations shall be seeded with rye grass at a rate of 300 lbs/acre immediately following construction in that area. Prior to seeding, area shall be prepared per City specs.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractor's proposed method for maintaining sewage flow shall be approved by the Engineer. Cost of maintaining flow of sewage through construction will not be paid for directly and this cost shall be considered as subsidiary to the other pay items of work.

**SANITARY SEWER IMPROVEMENTS TO SERVE  
BRUSH CREEK 3RD ADDITION  
PHASE 1 - LOTS 1 & 8**

Private Project Number  
**828 PPS (607861)**

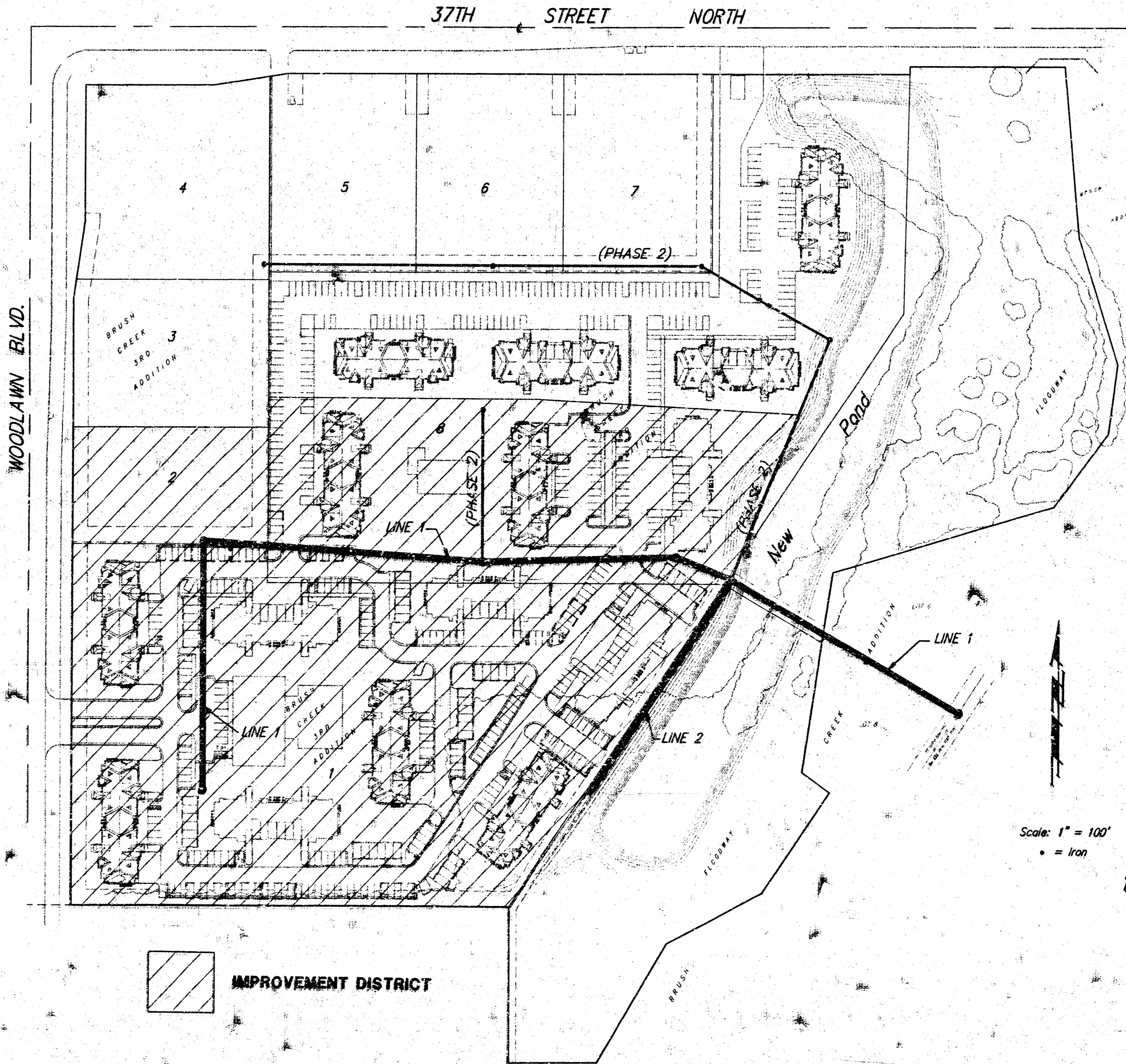
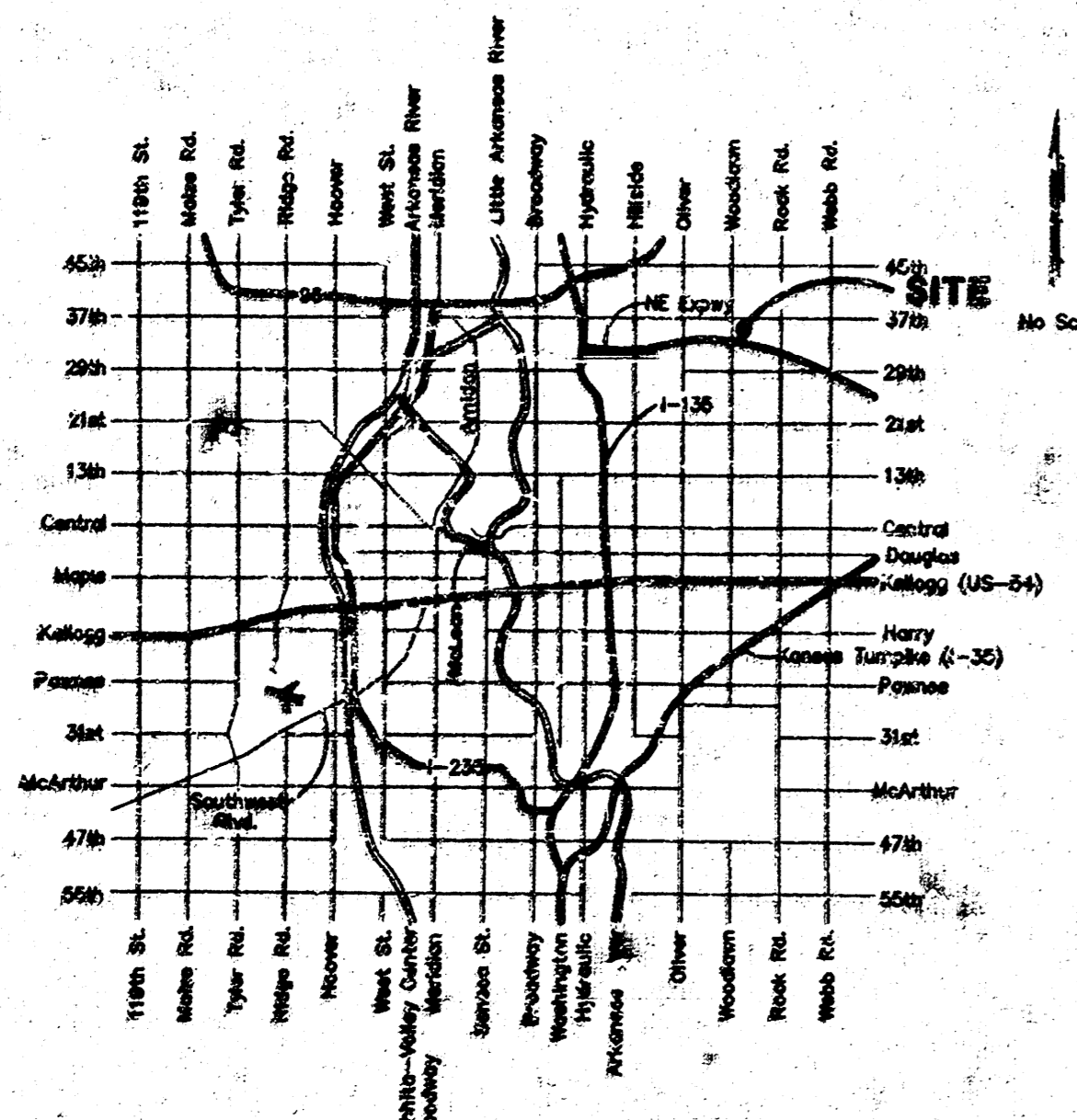
**CITY OF WICHITA, KANSAS**  
Michael E. Lindebak, P.E. City Engineer

**BENCHMARK:**

CITY OF WICHITA BENCHMARK DISC - WOODLAWN AND 37TH ST. NO. SE. COR. OF INTERSECTION 25.7' E. & 36.3' S. OF E. BORN ELEVATION = 183.04 (CITY DATUM)

**INDEX:**

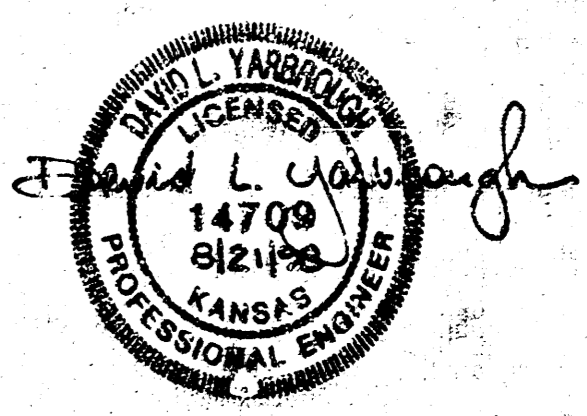
- Title Sheet
- Line 1
- Line 1 & 2
- Standard Type 'P' Manhole Detail
- Std. Frame and Cover Detail
- Copy of Plat



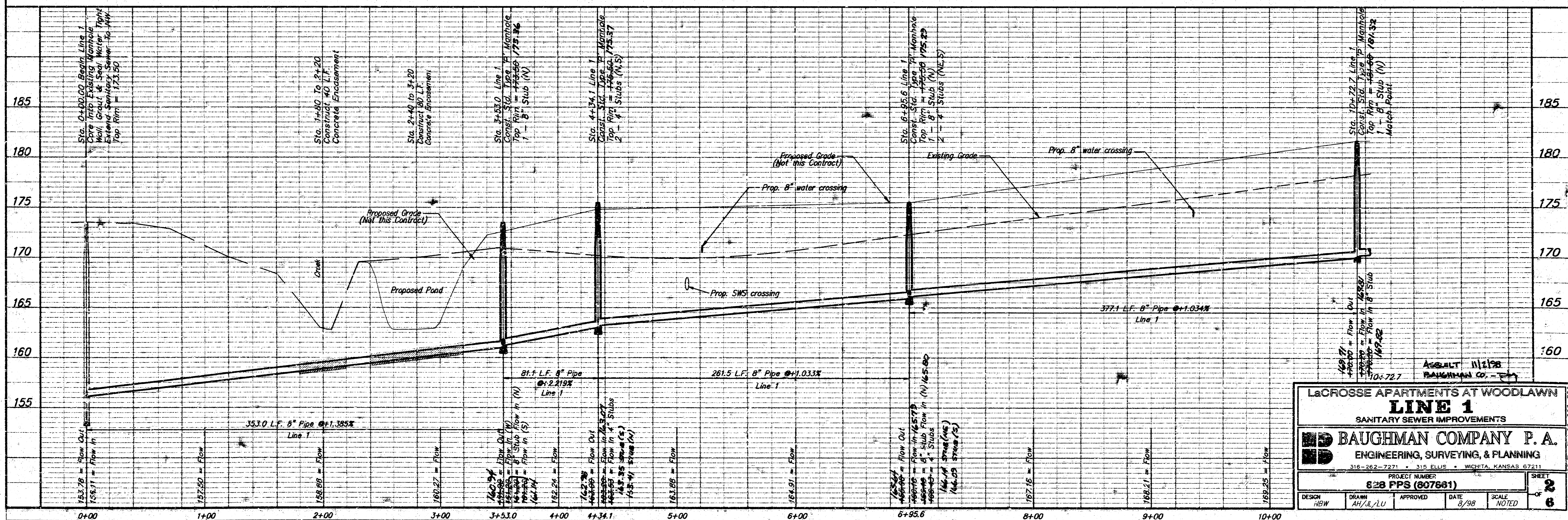
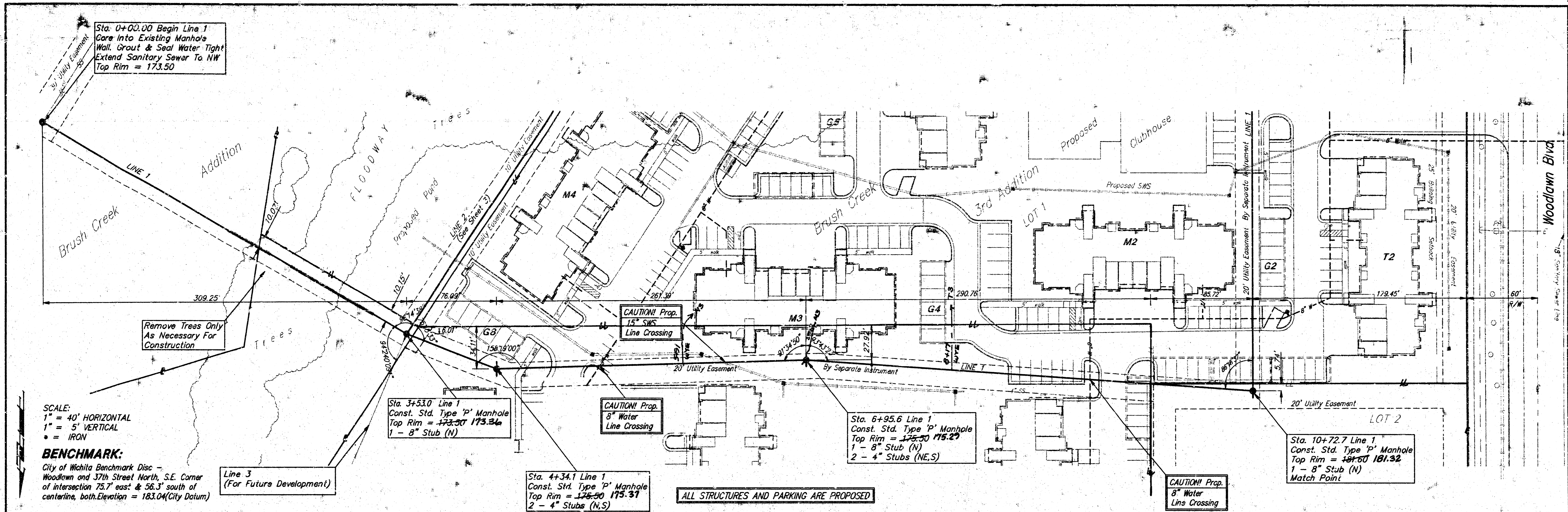
APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA  
Sanitary Sewers VRH 8/21/98

**NOTE TO CONTRACTORS**  
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. Work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

Booked  
P-73  
4-29-99  
R.D.L.



BAUGHMAN COMPANY P. A.  
ENGINEERING, SURVEYING, & PLANNING  
316-262-7271 • 316 ELLIS • WICHITA, KANSAS 67211



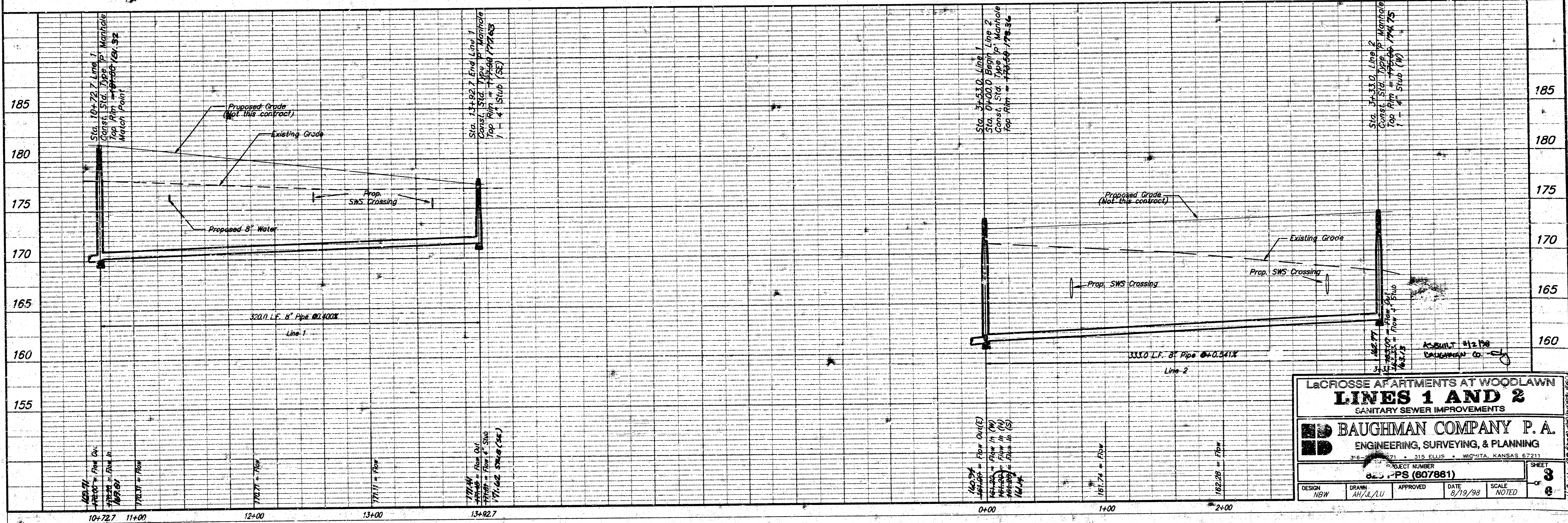
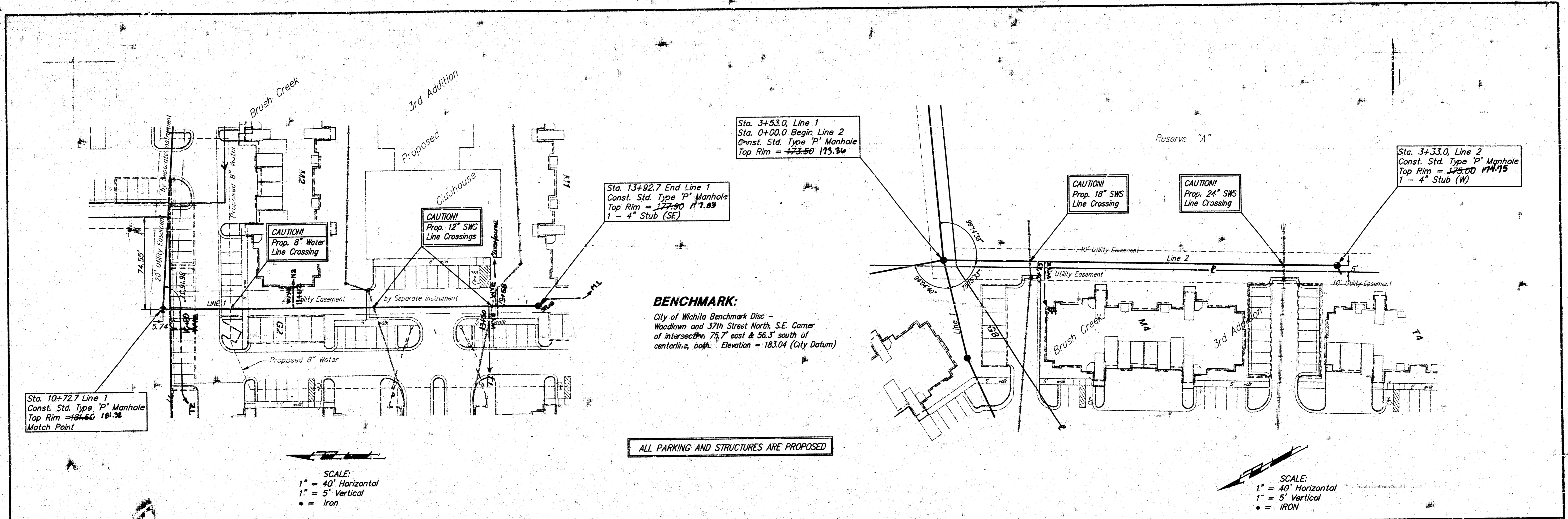
**LaCROSSE APARTMENTS AT WOODLAWN**  
**LINE 1**  
 SANITARY SEWER IMPROVEMENTS

**BAUGHMAN COMPANY P.A.**  
 ENGINEERING, SURVEYING, & PLANNING  
 316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: **628 FPS (807681)**

DESIGN: HWB  
 DRAWN: AH/R/LU  
 APPROVED: [Signature]  
 DATE: 8/98  
 SCALE: NOTED

SHEET **2** OF **6**

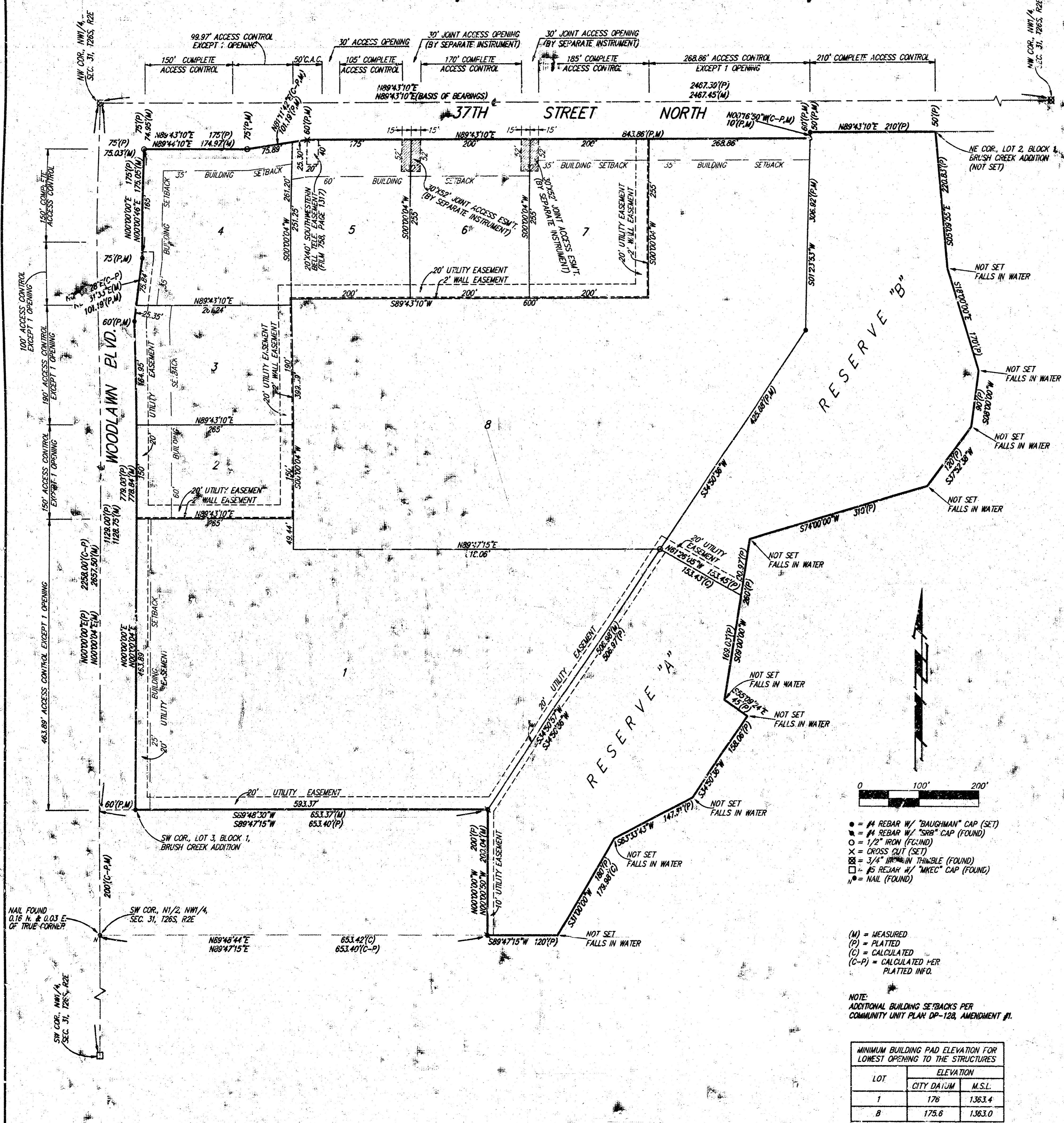


**LaCROSSE APARTMENTS AT WOODLAWN**  
**LINES 1 AND 2**  
 SANITARY SEWER IMPROVEMENTS  
**BAUGHMAN COMPANY P. A.**  
 ENGINEERING, SURVEYING, & PLANNING  
 315 E. 10th St. • 315 ELLIS • WICHITA, KANSAS 67211  
 PROJECT NUMBER: 823-PS (607881)  
 DESIGN: NEW DRAWN: AH/A/LU APPROVED: DATE: 8/19/98 SCALE: NOTED SHEET: 3 OF 8





# BRUSH CREEK 3RD ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "SHE" CAP (FOUND)
- = 1/2" IRON (FOUND)
- × = CROSS CUT (SET)
- = 3/4" IRON W/ TRIMBLE (FOUND)
- = #6 REBAR W/ "MKEC" CAP (FOUND)
- = NAIL (FOUND)

(M) = MEASURED  
(P) = PLATTED  
(C) = CALCULATED  
(C-P) = CALCULATED PER PLATTED INFO.

NOTE: ADDITIONAL BUILDING SETBACKS PER COMMUNITY UNIT PLAN UP-128, AMENDMENT #1.

LOT	ELEVATION	
	CITY DATUM	M.S.L.
1	176	1363.4
8	175.6	1363.0

BENCHMARK: CITY OF WICHITA BENCHMARK DISC - WOODLAWN AND 37TH ST. NO. SE. COR. OF INTERSECTION, 75.7' E. & 56.3' S. OF B.M. ELEVATION = 183.04 (CITY DATUM)

State of Kansas) SS We, Baughman Company, P.A., Surveyors in Sedgwick County) do hereby certify that we have surveyed and platted "BRUSH CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows: A part of Lots 1, 2, and 3, Block 1, Brush Creek Addition, Wichita, Kansas.

All being situated in the NW1/4 of Sec. 31, Twp. 26-S, R-2-E of the 6th P.M., Sedgwick County, Kansas.

Existing public easements and dedications being vacated by virtue of K.S.A. 12-512(b).

Baughman Co., P.A.  
Michael G. Conroy, Surveyor

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into Lots and Reserves to be known as "BRUSH CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The wall easements are hereby granted as indicated for the construction and maintenance of a private wall and utility main lines and service lines shall be allowed to cross these easements. Reserves "A" and "B" are hereby reserved for floodway, drainage purposes, lakes, open space, landscaping, sidewalks, and utilities as confined to easements. Reserve "A" shall be owned and maintained by the owner of Lot 1. Reserve "B" shall be owned and maintained by the owner of Lot 8. The floodway shall be the responsibility of the corresponding owners of said Reserves "A" and "B" until such time as the governing body exercising jurisdiction elects to assume the responsibility for maintenance and improvement of the drainage, provided further that no building shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel, or any other work be carried on without the permission of the appropriate governing body. All abutters rights of access shall be as indicated on the face of the plat and are hereby granted to the City of Wichita, Kansas. The location of all access openings shall be determined by the City Engineer of the City of Wichita, Kansas. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Brushcreek Community Joint Venture  
Earl L. Steward III, William L. Korber  
W. B. Carter Construction Co., Inc.  
Jack K. Stamp, Vice-President

State of Missouri) SS The foregoing instrument acknowledged before me, this day of 1998, by Earl L. Steward III, a Joint Venturer of Brushcreek Community, Joint Venture, personally known to me to be the same person who executed the within instrument of writing and such person duly acknowledged the execution of the same.

In testimony whereof, I have hereunto set my hand and affixed my official seal the day and year above written.

Notary Public  
My App'l. Exp. \_\_\_\_\_

State of Kansas) SS The foregoing instrument acknowledged before me, this day of 1998, by William L. Korber, a Joint Venturer of Brushcreek Community, Joint Venture, personally known to me to be the same person who executed the within instrument of writing and such person duly acknowledged the execution of the same.

In testimony whereof, I have hereunto set my hand and affixed my official seal the day and year above written.

Notary Public  
My App'l. Exp. \_\_\_\_\_

This plat of "BRUSH CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita, Sedgwick County, Metropolitan Area Planning Commission, Wichita, Kansas. Dated this day of 1998. Wichita-Sedgwick County Metropolitan Area Planning Commission

Richard Lopez, Chairman  
Marvin S. Krout, Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas this day of 1998.

Bob Knight, Mayor  
Pat Burnett, City Clerk

Entered on transfer record this day of 1998.

James Alford, County Clerk

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this day of 1998, at o'clock M. and is duly recorded.

Bill Black, Registered Deeds  
Linda Kizzire, Deputy

State of Kansas) SS The foregoing instrument acknowledged before me, this day of 1998, by Jack K. Stamp, Vice-President of W.B. Carter Construction Co., Inc., a Joint Venturer of Brushcreek Community, Joint Venture, personally known to me to be the same person who executed the within instrument of writing and such person duly acknowledged the execution of the same.

In testimony whereof, I have hereunto set my hand and affixed my official seal the day and year above written.

Notary Public  
My App'l. Exp. \_\_\_\_\_

**BAUGHMAN COMPANY P.A.**  
ENGINEERING, SURVEYING, & PLANNING  
318-262-2271 • 318 E. 10th St. • WICHITA, KANSAS 67202