

SURVEYOR'S CERTIFICATE

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED

First American Title Insurance Company of Kansas Warren R. Rensner Westlake, LLC, a Kansas Limited Liability Company

LEGAL DESCRIPTION:

A portion of Lot 2, Block A, Thunderbird Office Park, an Addition to Wichita, Sedgwick County, Kansas described as beginning at the NW corner of said Lot 2; thence S60°00'00"E, 97.26 feet to the P.C. of a curve to the right; thence southeasterly along said curve to the right, an arc length of 74.18 feet, said curve having a radius of 85.00 feet, a chord length of 71.84 feet, and a chord bearing of S35°00'00"E, 51.03 feet; thence S80°00'00"W, 56.71 feet; thence S50°00'00"W, 91.70 feet; thence N40°00'00"W, 159.69 feet, to a point on the west line of said Lot 2, thence N42°11'11"E along the west line of said Lot 2, 140.63 feet to the point of beginning.

State of Kansas)) County of Sedgwick))

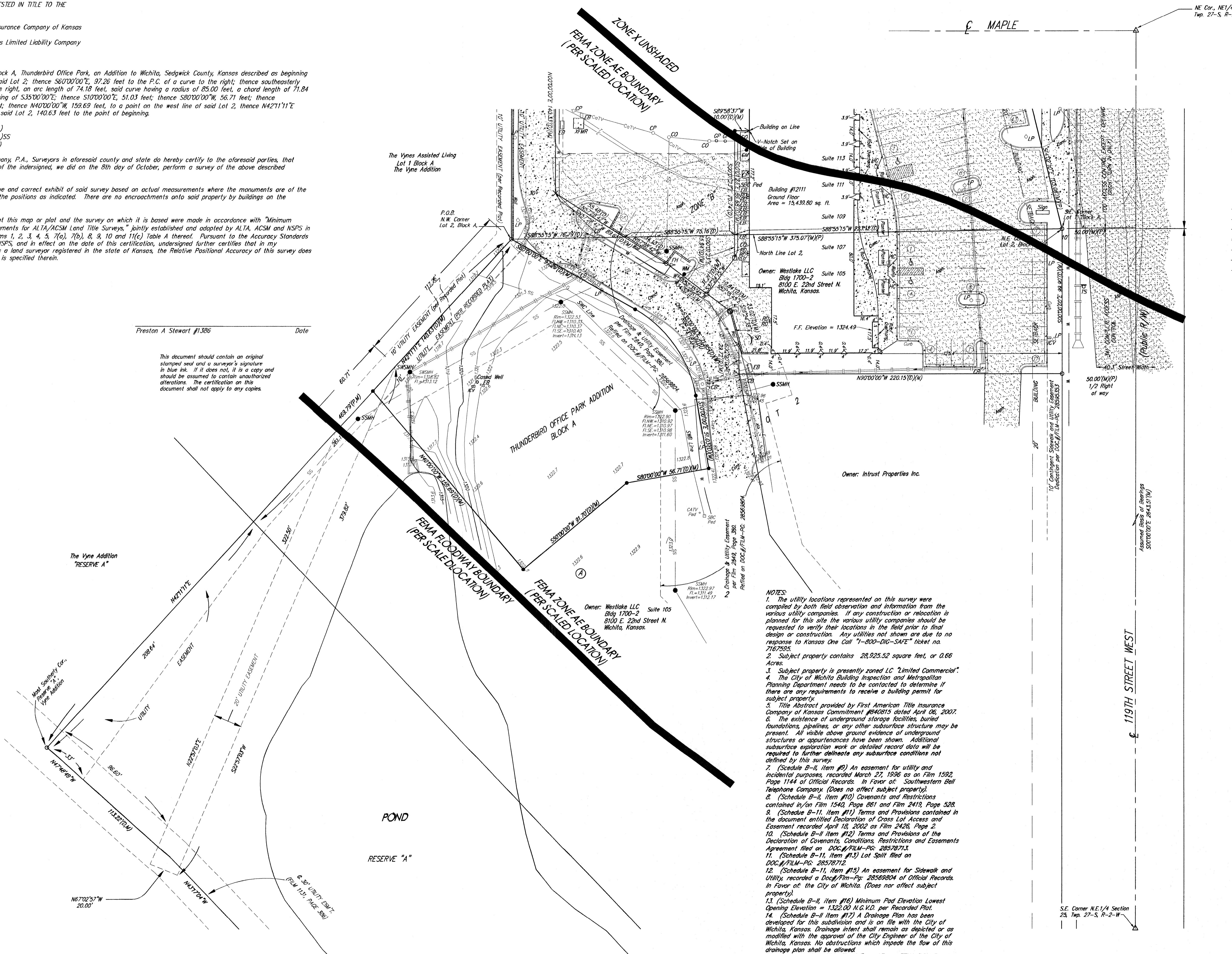
We, Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify to the aforesaid parties, that under the supervision of the undersigned, we did on the 8th day of October, perform a survey of the above described property.

This drawing is a true and correct exhibit of said survey based on actual measurements where the monuments are of the character and occupy the positions as indicated. There are no encroachments onto said property by buildings on the adjacent parcels.

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes items 1, 2, 3, 4, 5, 7(a), 7(b), 8, 9, 10 and 11(c) Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the state of Kansas, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

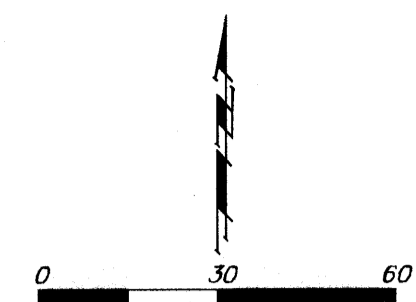
Preston A Stewart #1386 Date

This document should contain an original stamped seal and a surveyor's signature in blue ink. If it does not, it is a copy and should be assumed to contain unauthorized alterations. The certification on this document shall not apply to any copies.



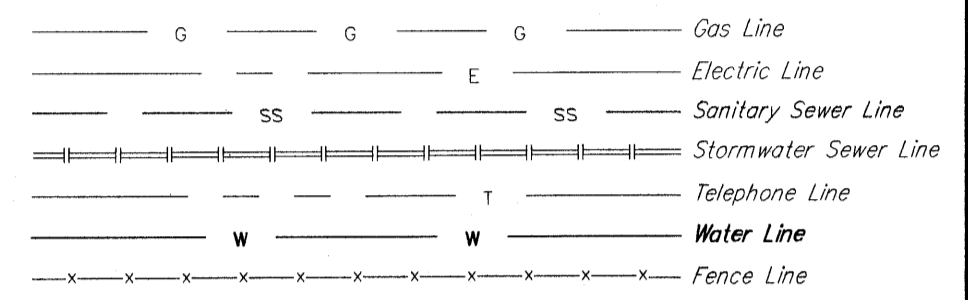
NE Cor. NE 1/4, Sec. 25, Twp. 27-S, R-2-W

MAPLE



- Legend for symbols: #4 Baughman Rebar (Set), #4 Baughman Rebar (Found), 1/2" Iron Pipe (Found), Chiseled Cross (Found), Chiseled V-Notch (Found), Rail Road Spike (Found)

- Legend for letters: (M) = Measured, (P) = Plotted, (D) = Described, (C) = Calculated



UTILITY OPERATING AUTHORITIES

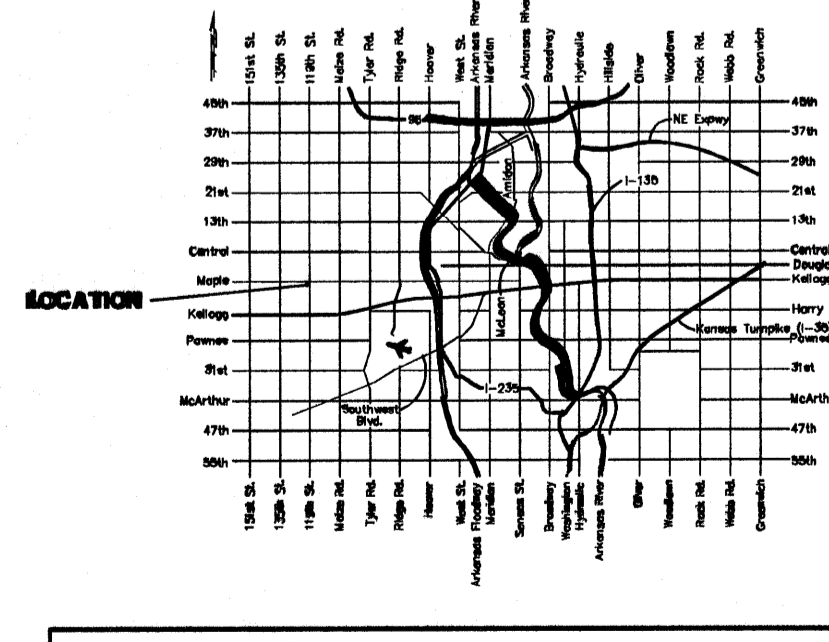
- Storm Water Sewer - Scott Lindbeck, City of Wichita, City Hall - 455 N. Main, Wichita, KS. 67202, 316-268-4308
- Water & Sanitary Sewer - Bill Perkins, Wichita Water & Sewer Department, City Hall - 455 N. Main, Wichita, KS. 67202, 316-268-4555
- Aquila Gas Company - Calvin Briggs, 1811 South Hoover, Wichita, KS. 67209, 316-941-1608
- Kansas Gas Service - Jim Coe, 1021 East 26th Street North, Wichita, KS. 67219, 316-832-3101
- Wester Energy - Shane Price, 201 N. Market, Wichita, KS. 67202, 316-261-6824
- SBC - Jim Toben, 154 North Broadway, Room 210, Wichita, KS. 67202, 316-268-2245

Benchmarks:

- #1 Top of 1/2" iron in 6"x6" Box Located At the NE Cor., NE 1/4 Sec. 25, Twp. 27-S, R-2-W, ELEV. = 141.03 CITY DATUM
- #2 RR Spike in Gypsole Located 8.29' E & 92.92' S of the SE Cor. of Reserve "A", ELEV. = 128.92 CITY DATUM

- Legend for utility symbols: CB = Catch Basin, DI = Drop Inlet, LP = Light Pole, HC = Handicap Sign, SD = Satellite Dish, TS = Traffic Sign, ICV = Irrigation Control Valve - Valve Box, TMH = Traffic Manhole, SigP = Signal Pole, FH = Fire Hydrant, MW = Water Valve, WM = Water Meter, CD = Cleanout, SSMH = Sanitary Sewer Manhole, DS = Drive Up Order Sign, RD = Roof Drain, GV = Gas Valve, EB = Electric Box, XFMR = Transformer, SDC Ped = SDC Pedestal, CP = Cable TV Pedestal, GM = Gas Meter, WWT = Water Vault, GP = Grease Pit Lid

- NOTES: 1. The utility locations represented on this survey were compiled by both field observation and information from the various utility companies. If any construction or relocation is planned for this site the various utility companies should be requested to verify their locations in the field prior to final design or construction. Any utilities not shown are due to no response to Kansas One Call "1-800-ONE-CALL" ticket no. 7167255. 2. Subject property contains 28,925.52 square feet, or 0.66 Acres. 3. Subject property is presently zoned LC "Limited Commercial". 4. The City of Wichita Building Inspection and Metropolitan Planning Department needs to be contacted to determine if there are any requirements to receive a building permit for subject property. 5. Title Abstract provided by First American Title Insurance Company of Kansas Commitment #840815 dated March 06, 2007. 6. The existence of underground storage facilities, buried foundations, pipelines, or any other subsurface structure may be present. All visible above ground evidence of underground structures or appurtenances have been shown. Additional subsurface exploration work or detailed record data will be required to further delineate any subsurface conditions not defined by this survey. 7. (Schedule B-II, item #2) An easement for utility and incidental purposes, recorded March 27, 1996 as on Film 1592, Page 1144 of Official Records. In Favor of: Southwestern Bell Telephone Company (Does not affect subject property). 8. (Schedule B-II, item #10) Covenants and Restrictions contained in/on Film 1540, Page 861 and Film 2419, Page 528. 9. (Schedule B-II, item #11) Terms and Provisions contained in the document entitled Declaration of Cross Lot Access and Easement recorded April 15, 2002 as Film 2426, Page 2. 10. (Schedule B-II, item #12) Terms and Provisions of the Declaration of Covenants, Conditions, Restrictions and Easements Agreement filed on DOC.#FILM-PG: 28578713. 11. (Schedule B-II, item #13) Lot Split filed on DOC.#FILM-PG: 28578712. 12. (Schedule B-II, item #15) An easement for Sidewalk and Utility, recorded a Doc#/Film-Pg: 28569804 of Official Records. In Favor of: the City of Wichita. (Does not affect subject property). 13. (Schedule B-II, item #16) Minimum Pad Elevation Lowest Opening Elevation = 1322.00 N.G.V.D. per Recorded Plat. 14. (Schedule B-II item #17) A Drainage Plan has been developed for this subdivision and is on file with the City of Wichita, Kansas. Drainage intent shall remain as depicted or as modified with the approval of the City Engineer of the City of Wichita, Kansas. No obstructions which impede the flow of this drainage plan shall be allowed. 15. Property Lies within Flood Zone AE per FEMA FIRM Panel 340 of 700 Sedgwick County, Kansas Effective 2/2/2007.



ALTA/ACSM Land Title Survey Part of Lot 2, Block A, Thunderbird Office Park. Baughman Engineering | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE. Includes revision table and date October 15, 2007.