

# DRAINAGE IMPROVEMENTS TO SERVE COMOTARA SUBDIVISION CITY OF WICHITA, KANSAS

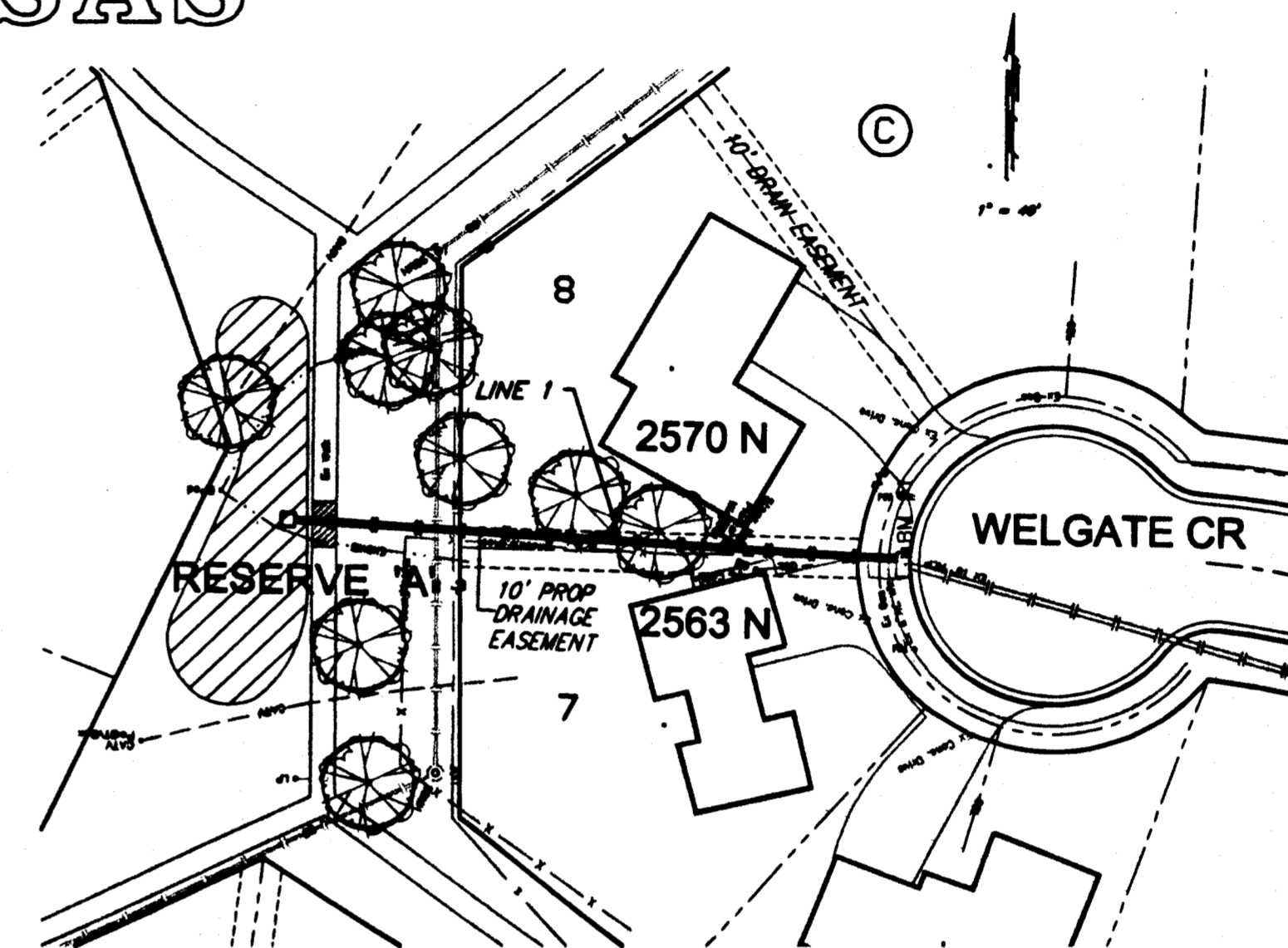
## General Notes

1. Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 Cox Communications 262-4270  
 Kansas Gas Service Company 1-888-482-4950  
 Westar Energy (Electric) 383-8650  
 SBC Telephone Company 1-800-286-8313  
 City of Wichita Water Department 262-6000  
 City of Wichita Sewer Maint. (San. Sewer) 262-6000  
 City of Wichita Storm Sewer Maint. 268-4090  
 City of Wichita Traffic Maint. 268-4034
2. Replace with sod in kind all disturbed areas per City of Wichita Specifications in the shortest possible time.
3. Prior to bidding the project, each bidder shall visit the site and satisfy himself of surface & subsurface conditions. Each bidder shall also fully inform himself as to the extent of the scope of work to be performed.
4. Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
5. Properties within the project limits may have underground sprinkler systems which may conflict with new construction. Contractor will be required to remove such improvements should they not be removed by their owner at the time of construction of the project. The Contractor will be required to replace/re-install all sprinkler heads and/or valves such that the sprinkler system is in operational order. Portions of underground sprinkler systems not in conflict with new construction shall be protected from damage and shall remain in place. All work in connection with underground sprinkler systems shall be considered as SUBSIDIARY to the contract pay items of work.
6. Cuts made to paved surfaces on public property will be repaired by the City's contractor and charged against the owner/applicant. Unit repair prices are available from the City at 268-4418. A surcharge may be applicable; call 268-4418 for details. Repair costs to be paid prior to release of sewer service if sewer service is affected. Contractor shall obtain permit prior to construction.
7. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
8. Contractor to remove concrete sidewalk to the nearest construction joint if within 3' of joint. Saw cut if over 3' from joint. Removal and replacement of pavement shall not be paid for directly, but shall be considered SUBSIDIARY to other items in the project.
9. The Contractor shall give all property owners/tenants of developed property directly abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

**PROJECT NO. 468-84057**

May 2005

**OCA NO. 660506**



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## Bench Mark:

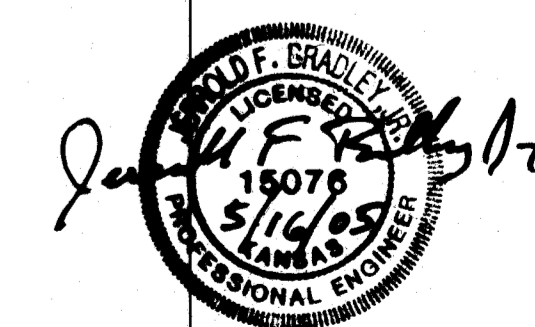
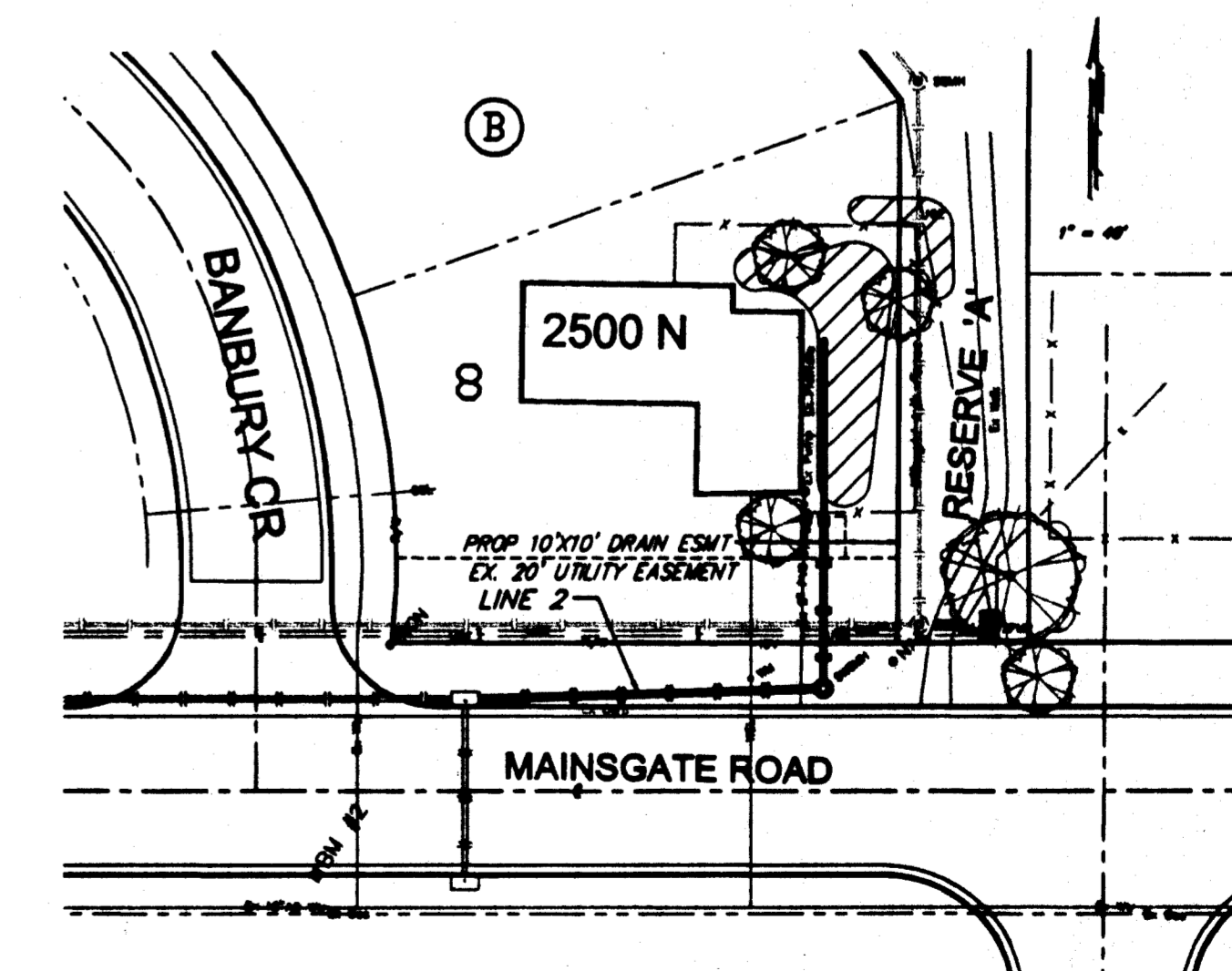
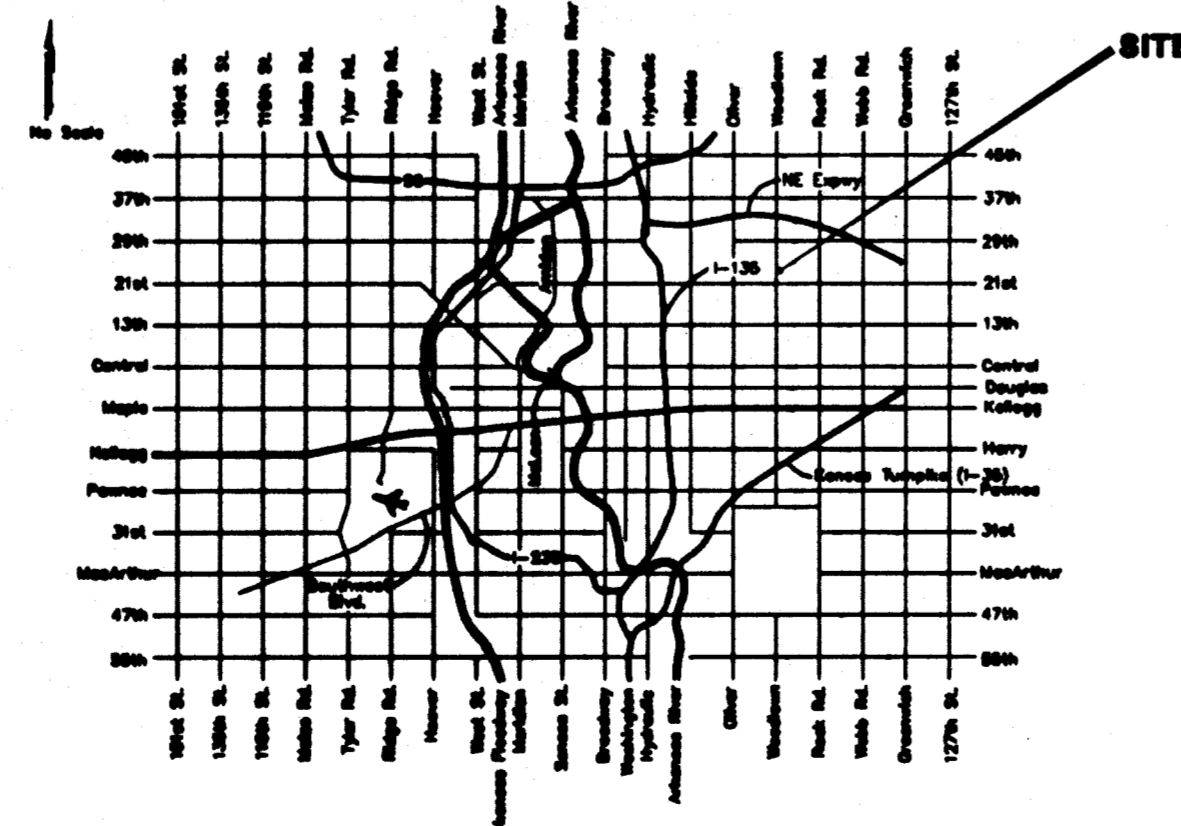
BM #1 "□" CUT ON NE CORNER OF CB AT THE WEST END OF WELGATE CIRCLE BETWEEN LOT 7 & 8, BLK. C OF COMOTARA 1ST ADD.  
Elevation = 193.13 (City Datum)

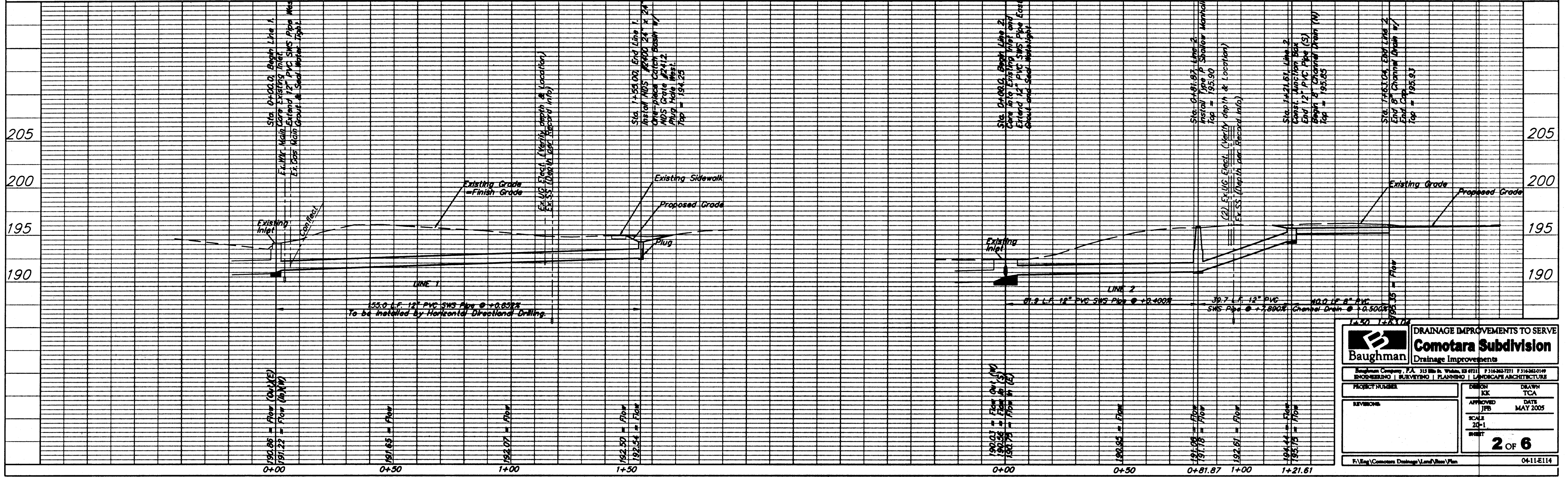
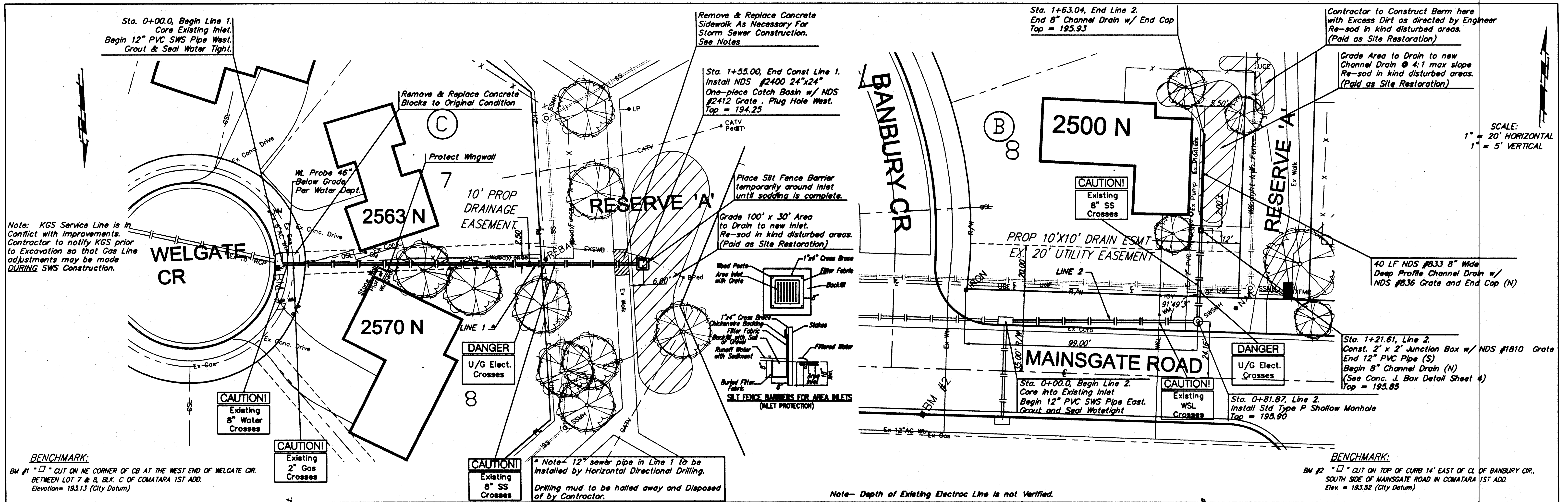
BM #2 "□" CUT ON TOP OF CURB 14' EAST OF CL OF BANBURY CR., SOUTH SIDE OF MAINSGATE ROAD IN COMOTARA 1ST ADD.  
Elev. = 193.52 (City Datum)

## Legal Description

Lot 8, Block B and Lot 7 and 8 Block C, Comotara 1st an Addition to Wichita, Sedgewick County, Kansas

## Location Map





**1+50 1+81.87**

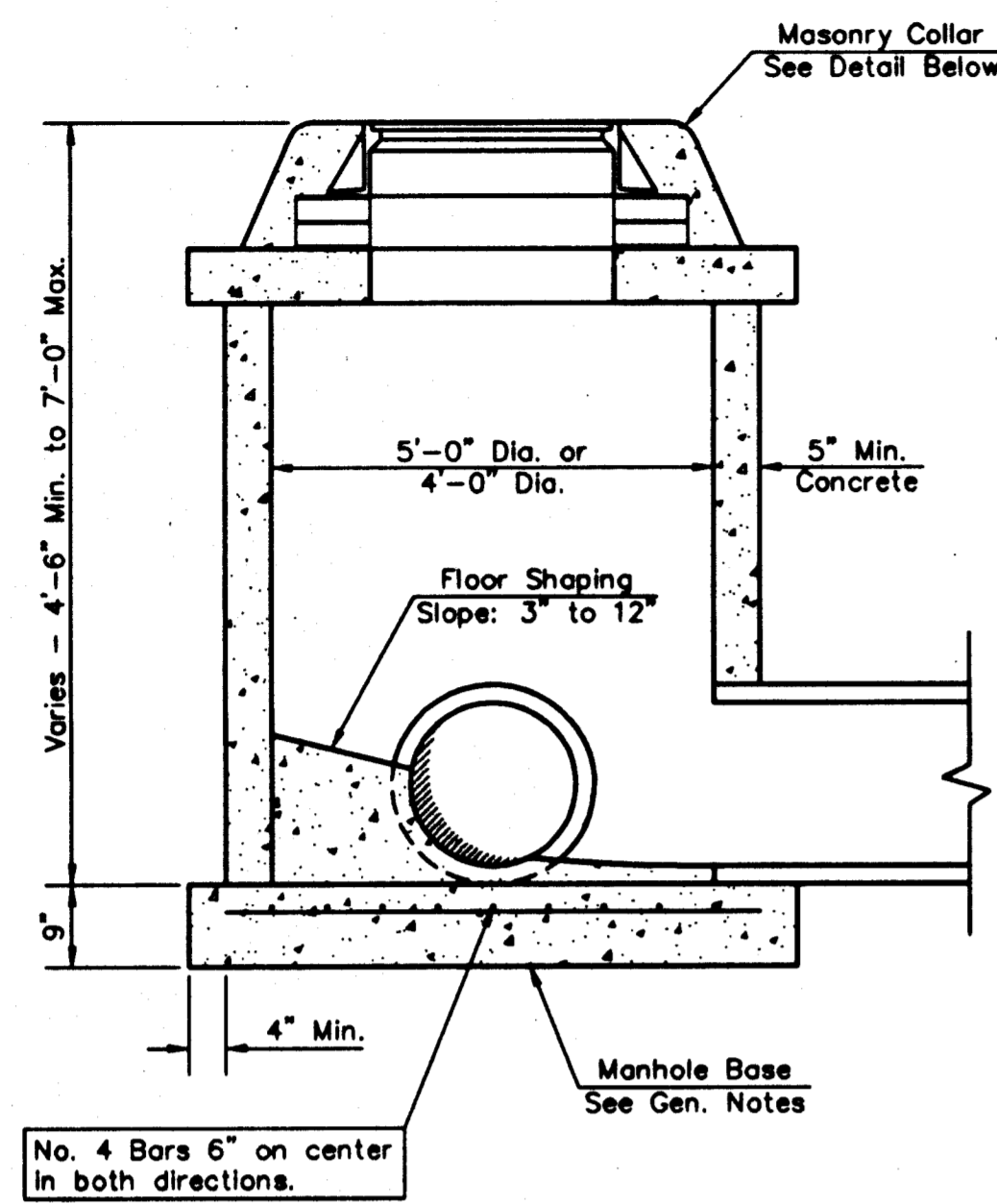
**Baughman Comotara Subdivision**  
Drainage Improvements

Engineering Company, P.A. 313 8th St. W., Wadena, MN 56481 P: 314-943-7271 F: 314-943-0149  
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

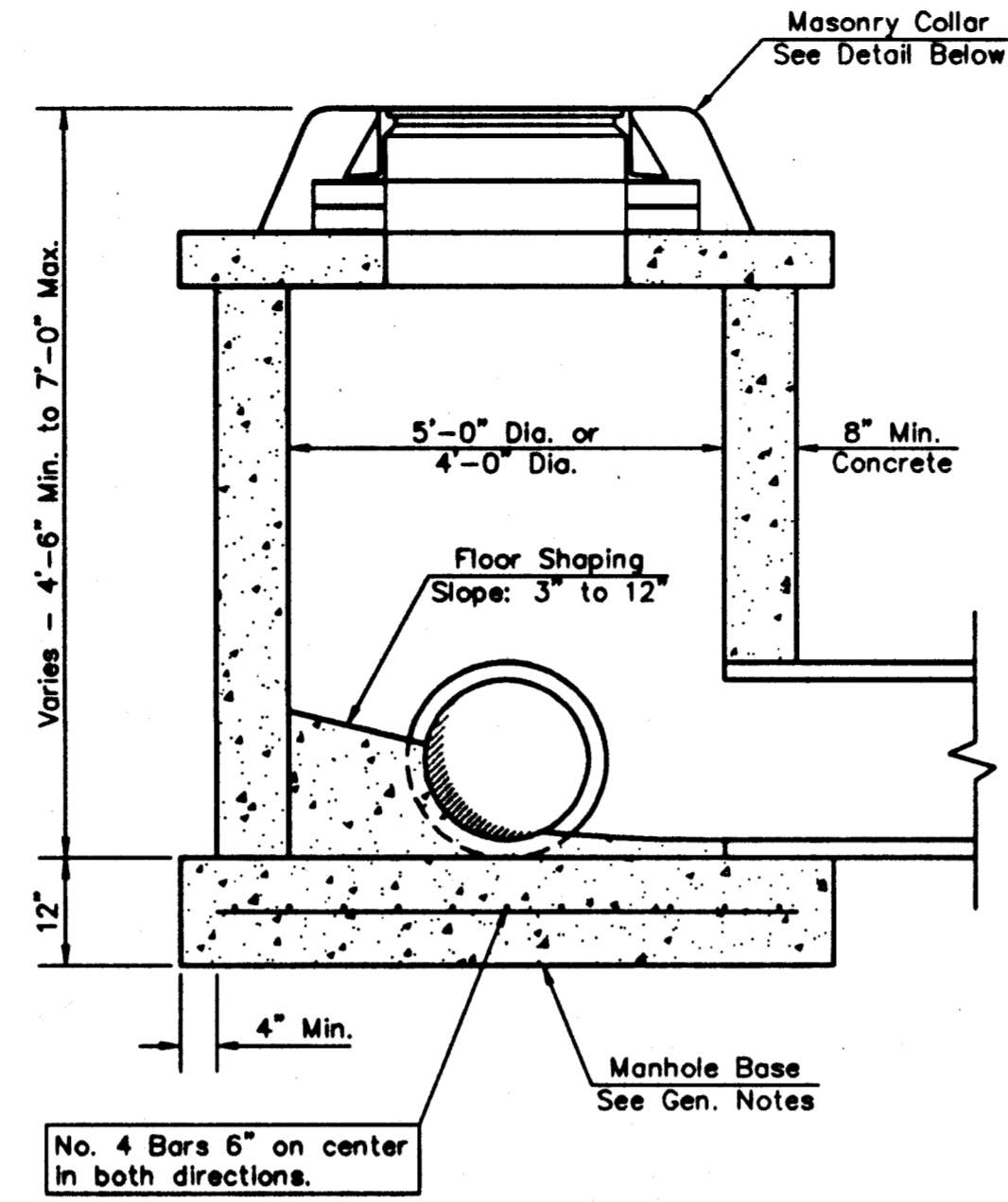
PROJECT NUMBER	DRAWN
REVISIONS	DATE
	SCALE
	SHEET

**2 OF 6**

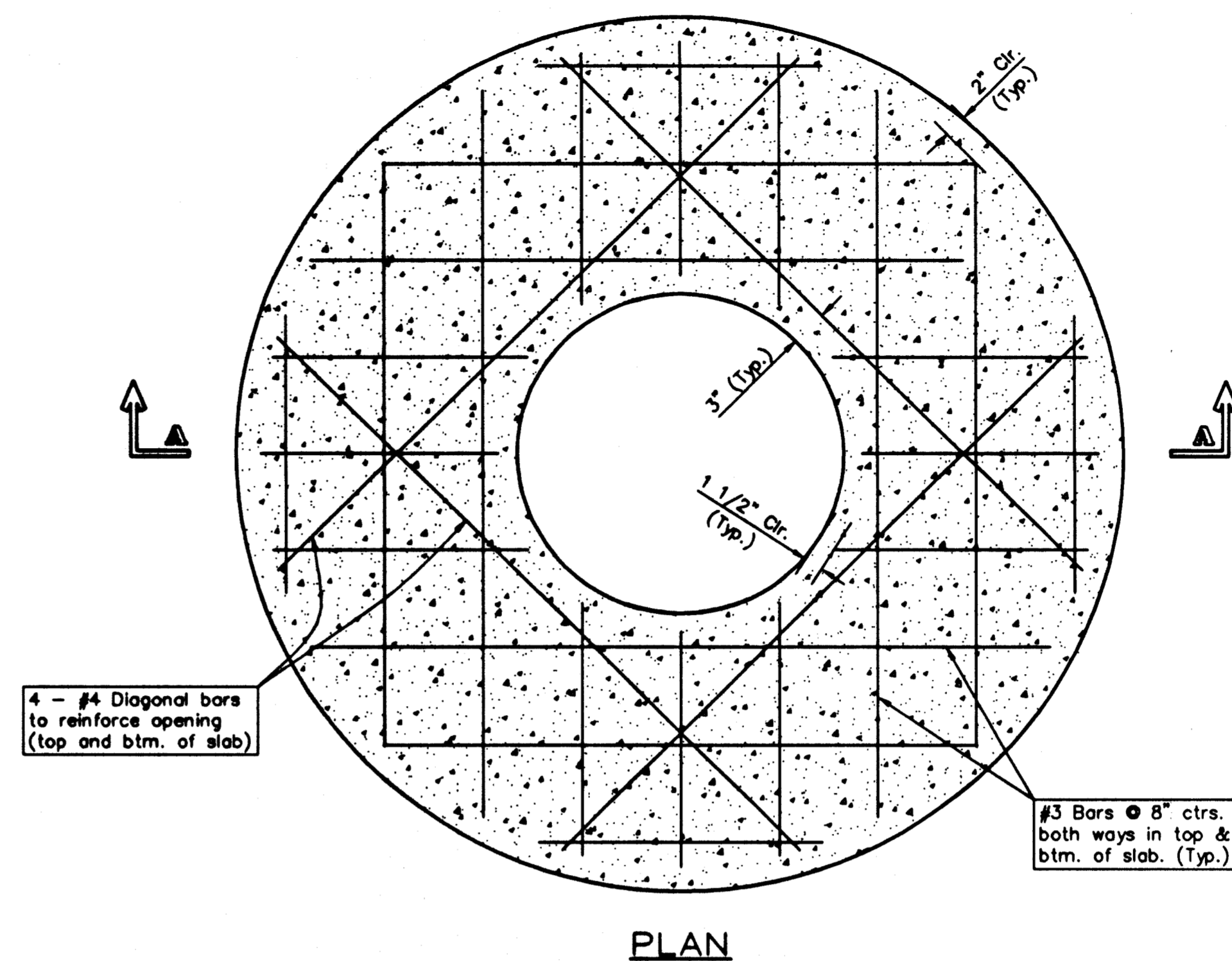
F:\Eng\Comotara Drainage\Land\Sheet\Plan 04-11-E114



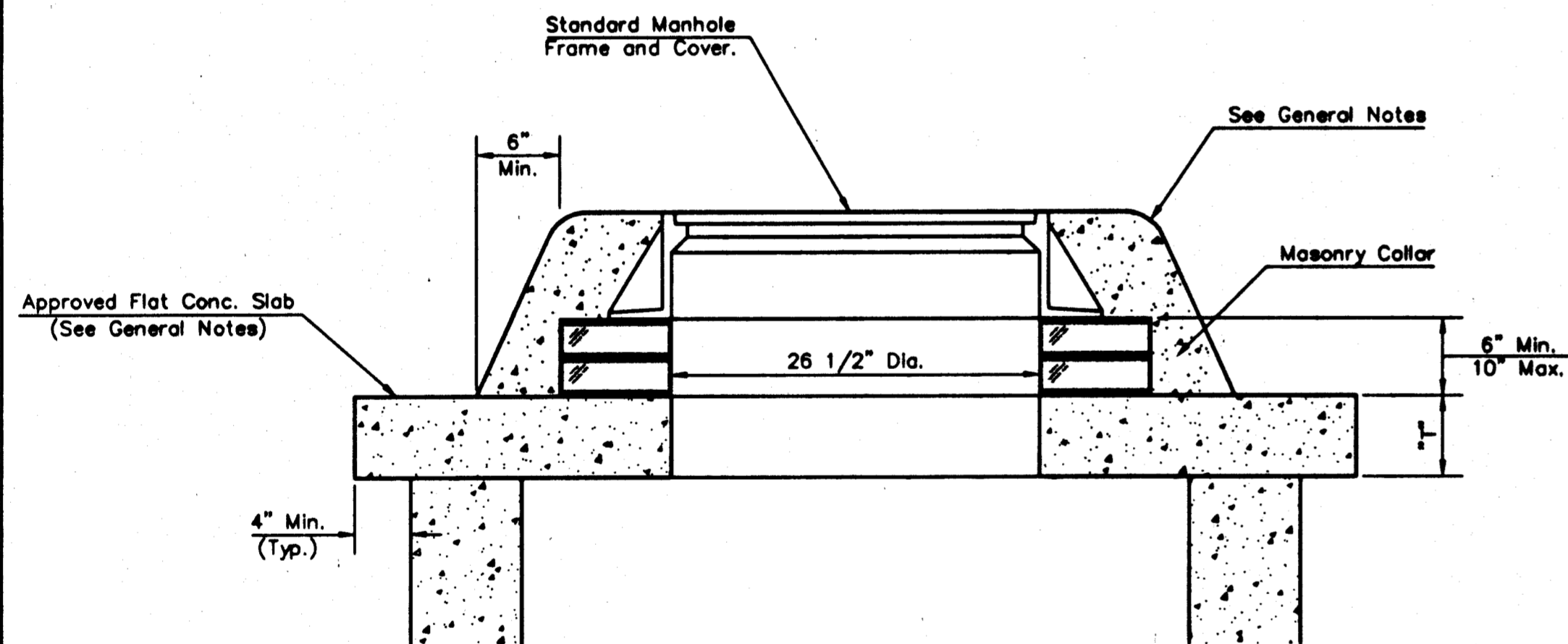
**SHALLOW TYPE "P" MANHOLE**



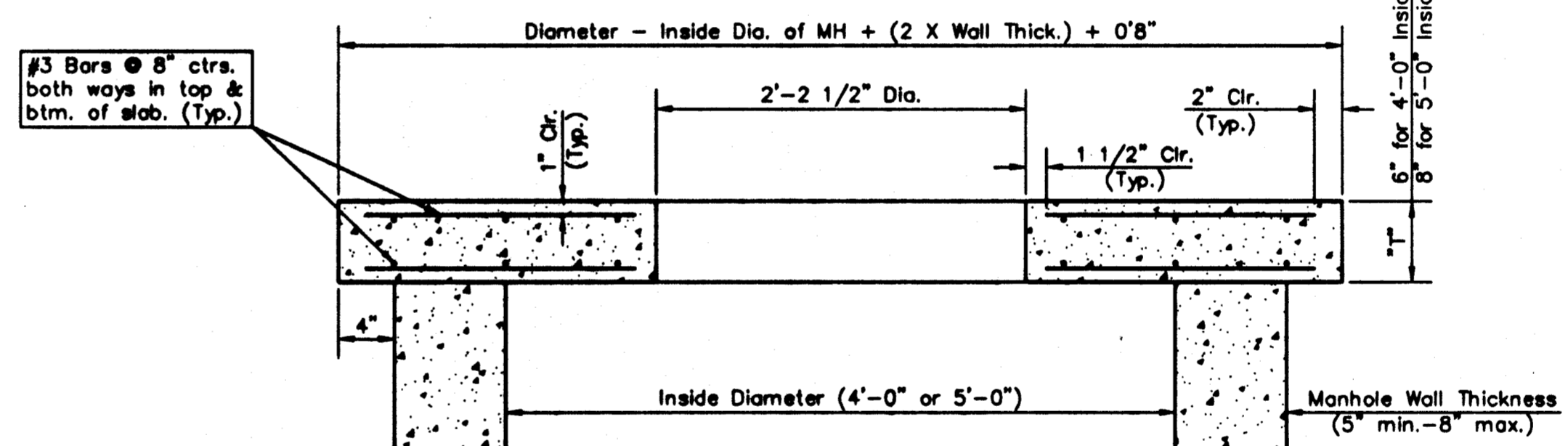
**SHALLOW TYPE "C" MANHOLE**



**PLAN**

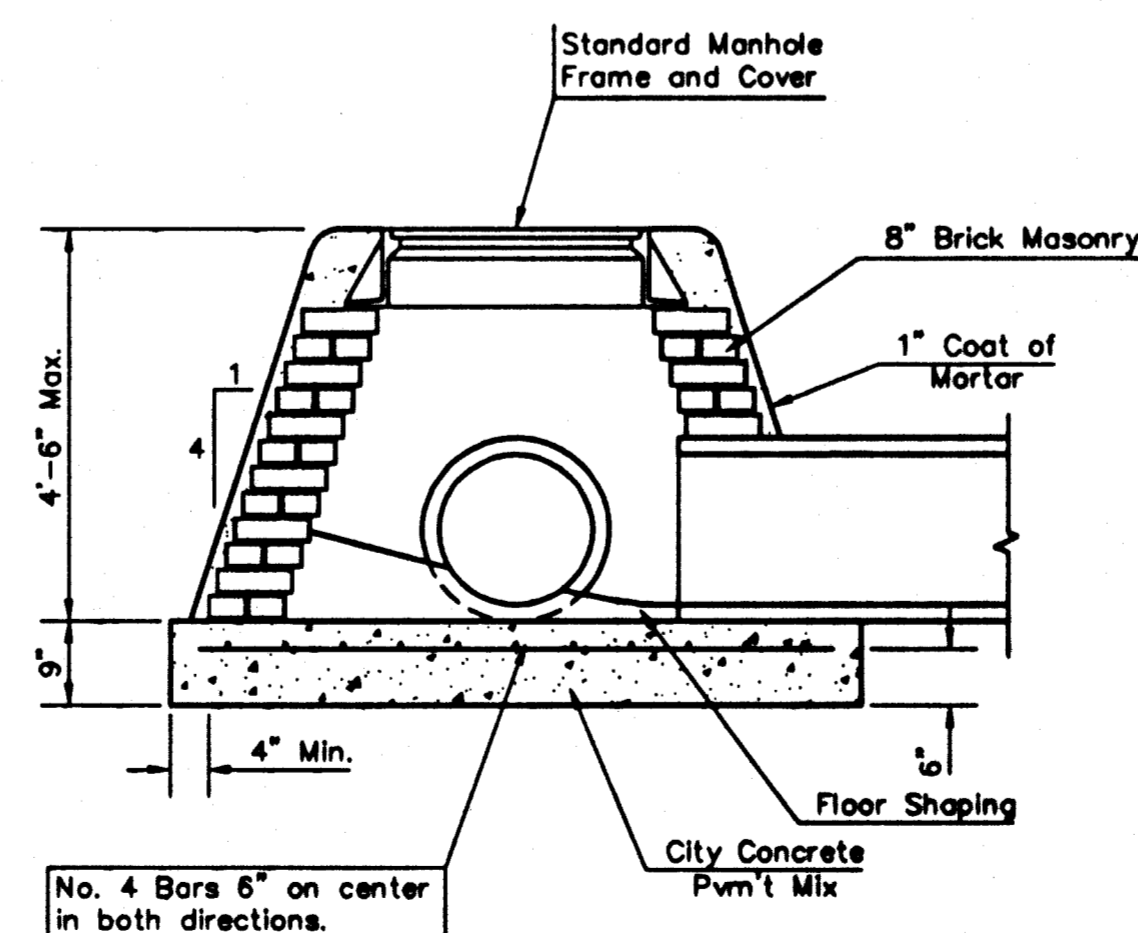


**MASONRY COLLAR DETAIL**

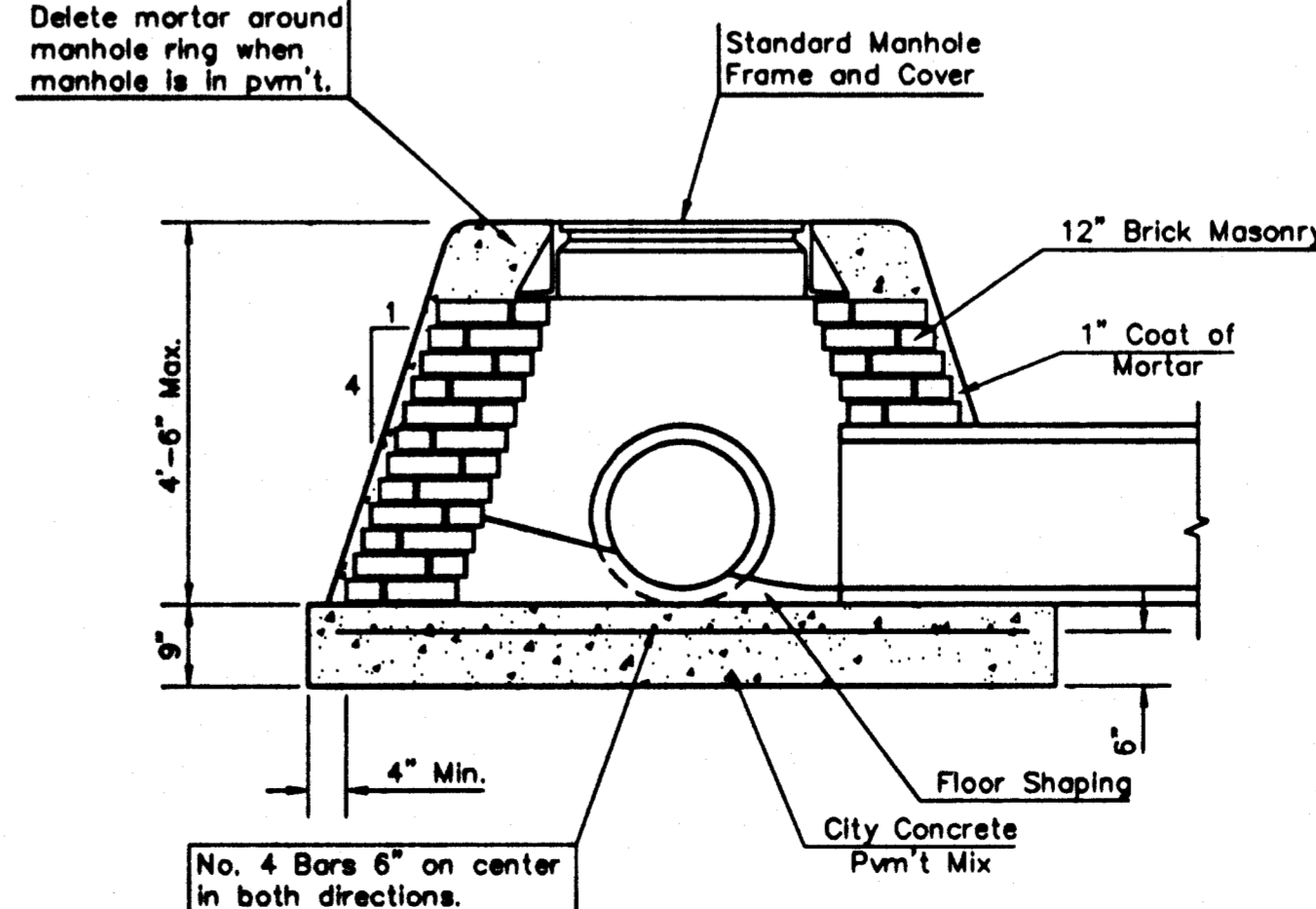


**SECTION A-A  
FLAT CONCRETE SLAB DETAILS**

- GENERAL NOTES**
- Mortar used in masonry construction shall contain 8 sacks of cement per cubic yard. Concrete used in manhole bases shall conform to the requirements of concrete for concrete pavement construction as specified in the city standard paving specifications using city concrete cement mix without air entraining admixture. Mortar shall be placed around the manhole ring as shown on the drawings when manholes are constructed in unpaved areas. Manholes constructed where pipe sizes are smaller than 24" shall have an inside diameter of 4". Manholes constructed where pipe sizes are 24" or larger shall have an inside diameter of 5". Completed manhole shall be without leaks and water tight.
  - Reinforcing steel shall be installed in the manhole bases and shall consist of no. 4 bars placed on 6" centers in both directions. The manhole base reinforcement shall be placed 6" above the bottom of the manhole base. All costs for furnishing and installing reinforcing steel shall be included in the unit price bid for the manhole.
  - The floors of all manholes shall be shaped with flow channels such that the manholes will be self cleaning and free of areas where solids could be deposited as sewage flows through the manhole from all inlet pipes to the outlet pipe. Flow channels shall be formed to match the bottom halves of the inflowing pipes and the outflowing pipe as shown by the drawings. Manhole floors shall have slopes of 3 inches per foot in the areas outside of the flow channels sloped toward the flow channels. Pipes laid through manholes shall have the top half removed to neat lines for the full inside diameter of the manhole. Manhole floors shall then be shaped around the bottom half of the pipe which forms the flow channel.
  - Pipes installed within the excavation made for the manhole shall be cradled with concrete to the limits of the manhole excavation. When clay pipe is used, the cradle shall extend to the first joint outside the manhole. The cradle shall be terminated at the clay pipe joint in a manner which will maintain the flexibility of the joint. Cost of cradle within manhole excavation or to clay pipe joints adjacent to manhole shall be included in the unit price bid for the manhole.
  - Manhole cover castings and manhole frame castings shall conform to the requirements as indicated in the standard specifications and as shown in the standard detail drawings.
  - The crowns of inflowing pipes shall never be set lower than the crown of the outflowing pipe.
  - Standard shallow manholes type "P" and "C" shall be paid for at the unit price bid per each for the type and diameter indicated. All standard shallow manhole diameters will be 4' unless indicated otherwise.
  - All brick used in manhole construction shall meet Grade SW of ASTM C652 or C62-87.

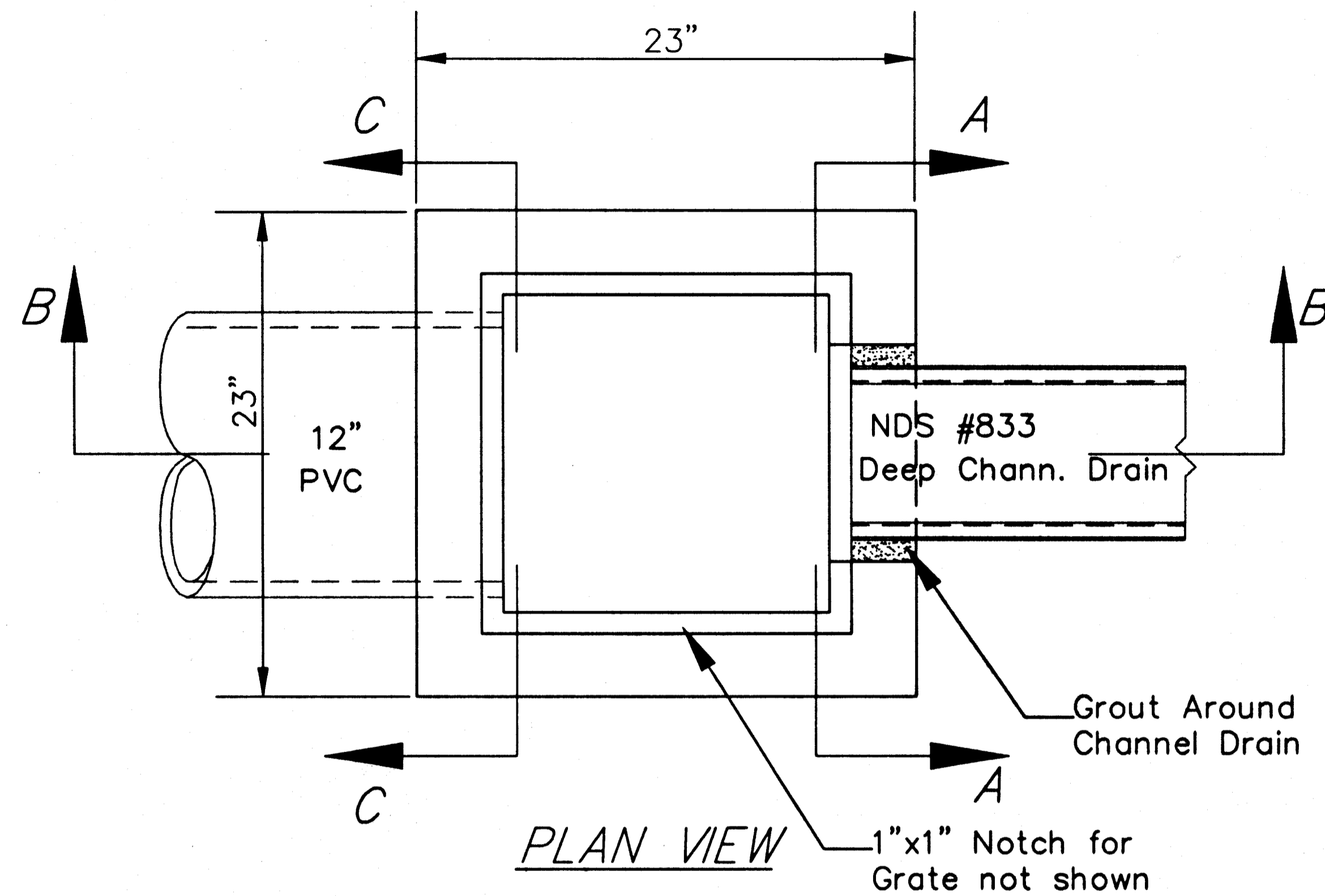


**SPECIAL SHALLOW TYPE "A" MANHOLE**



**SPECIAL SHALLOW TYPE "B" MANHOLE**

<b>Baughman</b>		<b>Std. Shallow Manholes</b>	
Type "P" and Type "C"			
Engineering   Surveying   Planning   Landscape Architecture			
PROJECT NUMBER 47200000	DESIGN C.O.W.	DRAWN Staff	
REVISIONS	APPROVED	DATE	
	None	MAY 2005	
			<b>3 OF 6</b>
F:\Eng\Concrete Drainage\Draw\StdShallow.dwg 04-11-11 14			

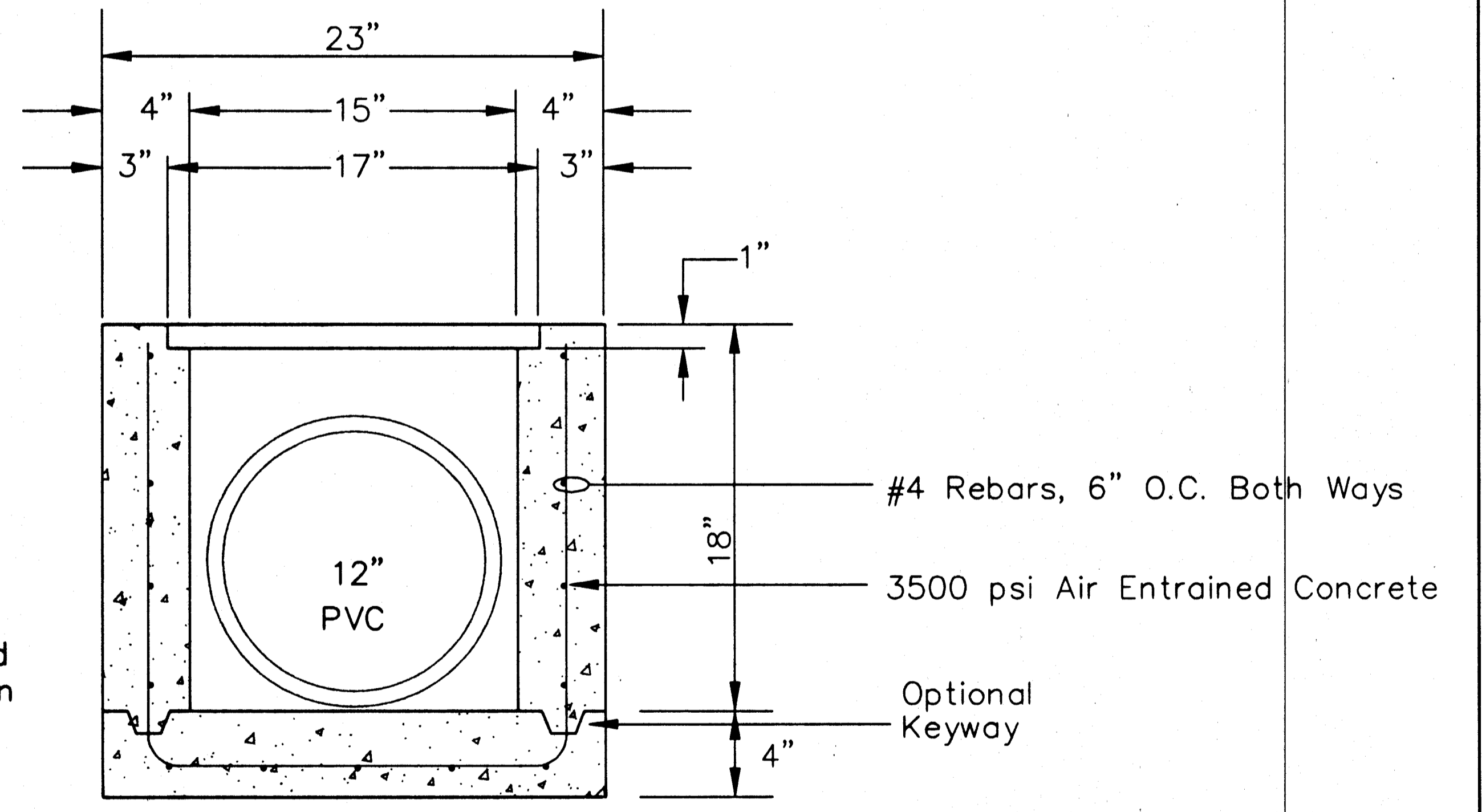
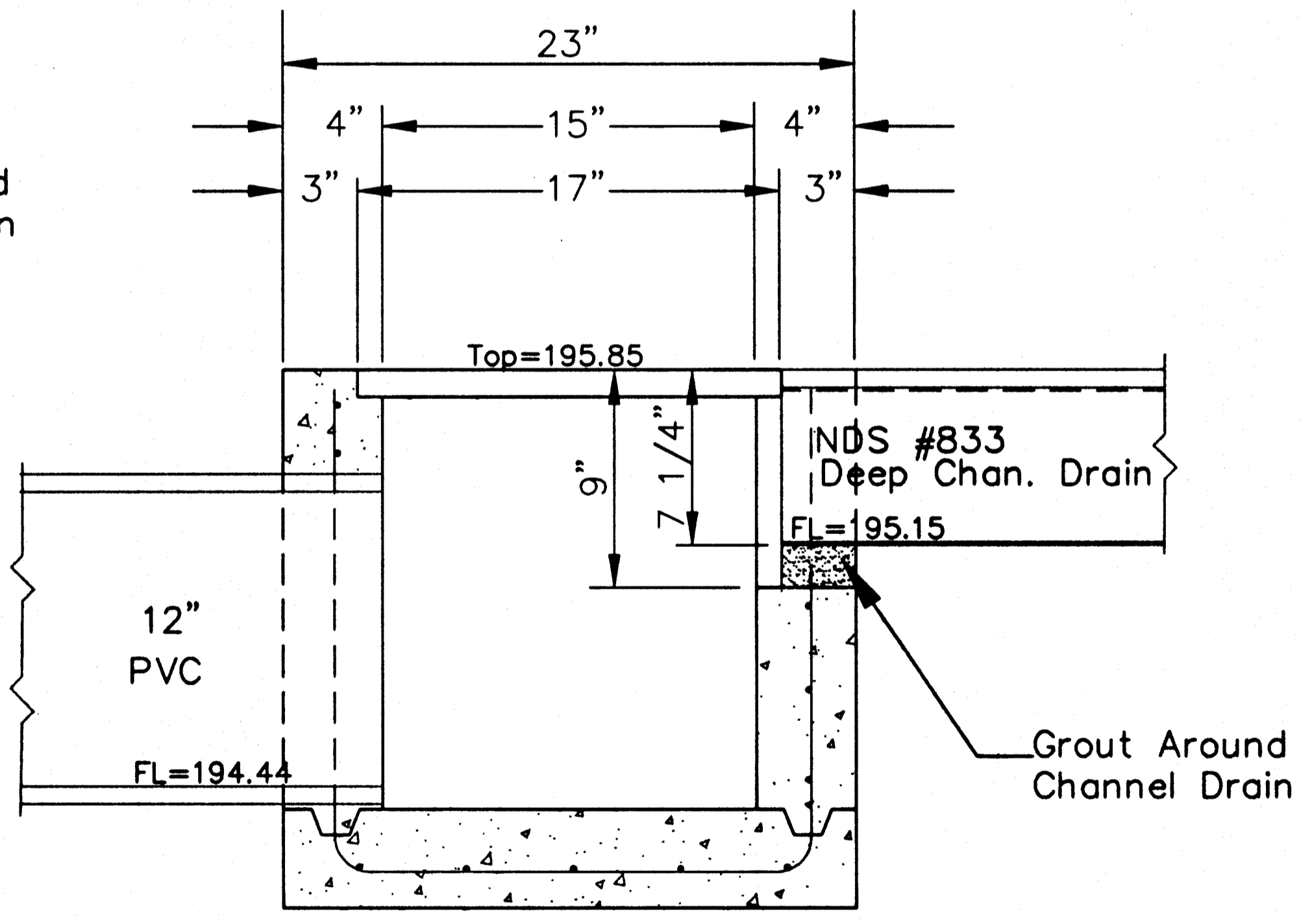
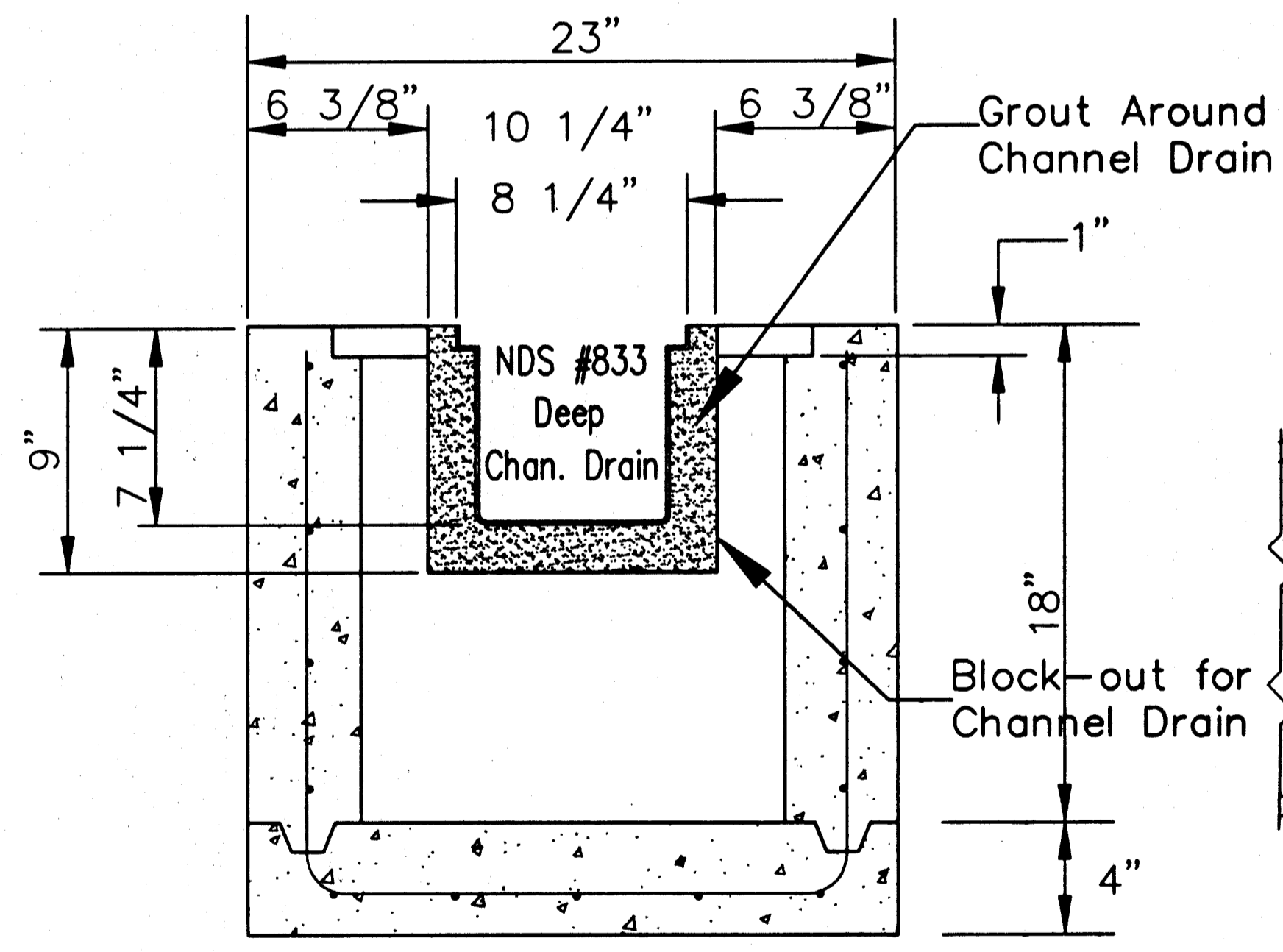


**GENERAL NOTE**

Use Class A Concrete throughout. All exposed edges shall be finished with an edging tool.

All bars are #4 @ 6" spacing and shall have a minimum clearance of 1 1/2" unless otherwise noted on the plans. Cut or bend bars around wall openings.

Grates Not shown:  
 For Junction Box - NDS #1810 Grate (16 7/8"x16 7/8"x1")  
 For Drainage Channel - NDS #836



**CONCRETE JUNCTION BOX DETAILS**

		<b>Concrete Junction Box</b>	
Baughman		Area Drainage (Channel Drain to PVC Pipe)	
<small>Engineering   Surveying   Planning   Landscape Architecture</small>			
PROJECT NUMBER 472-0000X	DRAWN KK	DATE MAY 2005	DRAWN TCA
REVISIONS:	APPROVED JFB	DATE MAY 2005	SCALE 5=1
			SHEET <b>4 OF 6</b>
<small>F:\Mtg\Concrete Drainage\Detail\VB.dwg</small>			<small>04-11-E114</small>



I, L. M. Van Doren, a Civil Engineer in Kansas do hereby certify that I have been in responsible charge of surveying and platting of "Comotara First Addition" to Wichita, Sedgwick County, Kansas, into blocks, lots, streets, floodway and reserves, the same being accurately set forth in the accompanying plat and described as follows: The Southwest quarter of Section 6, Township 27 South, Range 2 East of the 6th P.M.

I hereby certify that the details on this plat are correct to the best of my knowledge and belief this 13 day of Nov., 1972.

L. M. Van Doren, Partner  
Van Doren-Hazard-Stallings-Schnacke  
Engineers - Architects  
280 North Rock Road  
Wichita, Kansas

Know all men by these presents that we the undersigned, property owners of the land as above set forth in the Civil Engineer's Certificate, have caused the same to be surveyed and platted into blocks, lots, streets, floodway and reserves, the same to be known as "COMOTARA FIRST ADDITION" to Wichita, Sedgwick County, Kansas. The drives, roads and circles are hereby dedicated to and for the use of the public reserves "A", "D", "E", "F", "G", and "H" are platted for the use of sidewalks, utilities, drainage, recreation, buffer zones and open spaces. Reserve "B" and "C" is platted for the use of sidewalks, utilities, drainage, recreation, buffer zones, open spaces and/or public use. Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat, are hereby granted. The floodway shall be the responsibility of the owners of the property in the subdivision until such time as the governing body exercising jurisdiction elects to assume the responsibility for maintenance and improvement of the drainage, provided further that no building shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the Wichita - Sedgwick County Flood Control Office or their successors of office. All abutters rights of access to or from 21st Street North over and across the south lines of Reserve "H", Lot "A", Reserve "G" and Block "K", and to or from Woodlawn Avenue over and across the west lines of Reserve "H", Lot "B" and Reserve "A", and are hereby granted to the City of Wichita. Provided however that Lot "A" or Reserve "H" except the west 40 feet thereof, shall have access to 21st Street North at one location and Lot "B" shall have access to Woodlawn Avenue at two locations, said locations to be determined by the City Engineer of the City of Wichita, Kansas. No building pad will be permitted below Elevation 190.0.

Jack P. DeBoer Associates, Inc.  
Jack P. DeBoer  
Joyce A. Hartman

We, the First National City Bank, New York City, New York, mortgagees on the above described property, do hereby consent to the plat of "COMOTARA FIRST ADDITION".

The First National City Bank, New York City, New York  
Walter C. Klein, Jr.  
Attest: Ron E. Finck

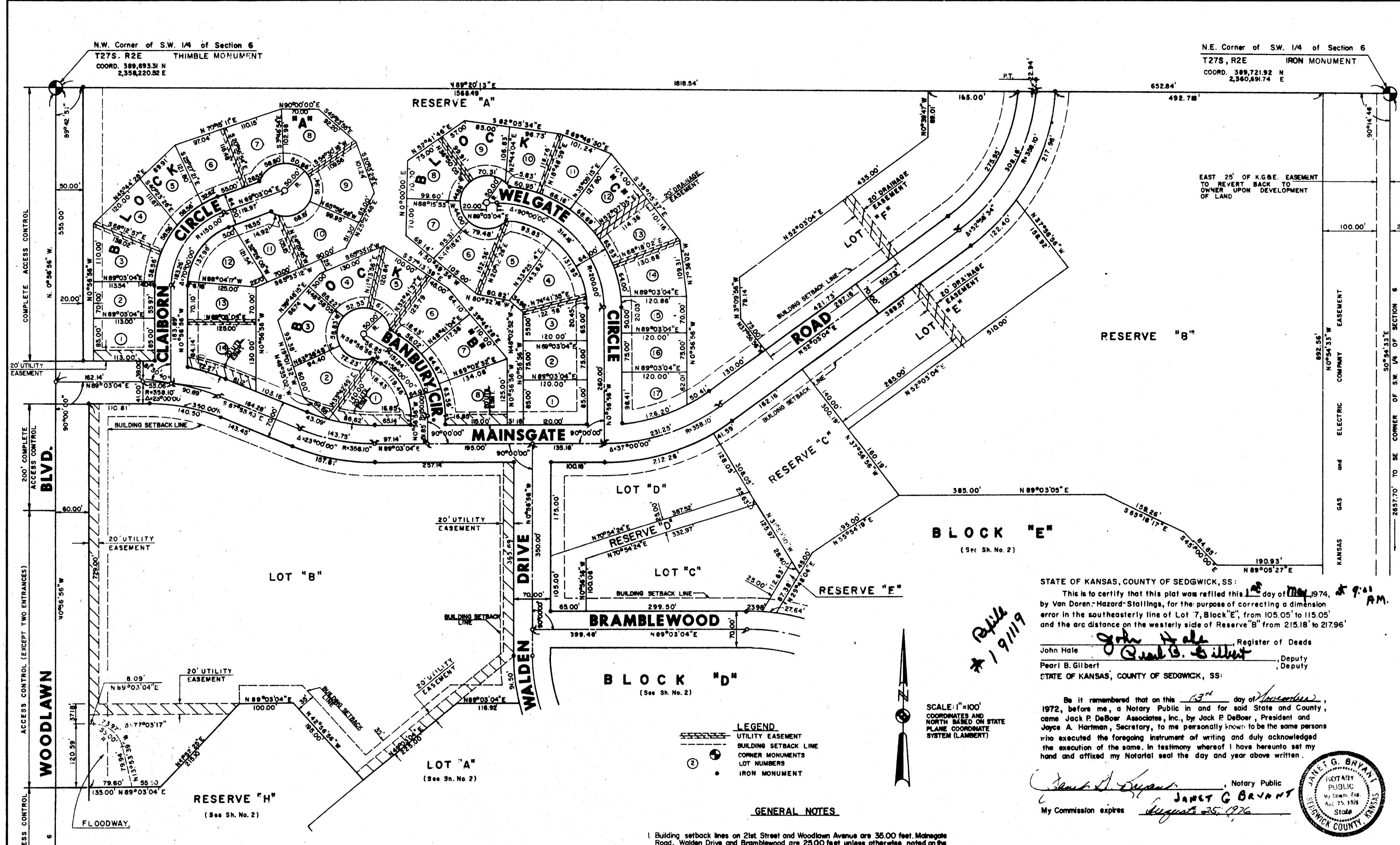
STATE OF NEW YORK, COUNTY OF NEW YORK, SS:

Be it remembered that on this 10th day of NOVEMBER, 1972, before me, a Notary Public in and for said State and County, came The First National City Bank, New York City, New York, by WALTER C. KLEIN, JR. and RON E. FINCK to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my Notarial seal the day and year above written.

Joseph F. Rourke, Notary Public  
My Commission expires August 25, 1976

This plat of "COMOTARA FIRST ADDITION" has been submitted to and approved by the Wichita - Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 9th day of November, 1972  
Wichita-Sedgwick County Metropolitan Area Planning Commission  
Alvin J. Hennessy, Chairman  
Robert A. Lakin, Secretary



# FINAL PLAT OF COMOTARA FIRST ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS  
NOVEMBER 1972  
DEVELOPER: JACK P. DEBOER ASSOCIATES, INC  
ENGINEER: VAN DOREN-HAZARD-STALLINGS-SCHNACKE

### GENERAL NOTES

- 1. Building setback lines on 21st Street and Woodlawn Avenue are 36.00 feet. Main Gate Road, Walden Drive and Bramblewood are 28.00 feet unless otherwise noted on the plat. Brambridge Road and all circles are 20.00 feet.
- 2. Utility Easements are 10.00 feet wide centered on lot lines unless otherwise noted on the plat.
- 3. Minimum Building Pad elevation will be Elevation 190.0.

Entered on Transfer Record this 27 day of February, 1972  
Marie Warden, County Clerk  
Marie Warden

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:  
This is to certify that this instrument was filed for record in the Register of Deeds Office at 3:00 PM on the 27th day of Feb., 1972  
John Hale, Register of Deeds  
Pearl B. Gilbert, Deputy

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:  
This is to certify that this plat was refilled this 13 day of Nov., 1972, by Van Doren-Hazard-Stallings, for the purpose of correcting a dimension error in the southeasterly line of Lot 7, Block "E", from 105.05' to 115.05' and the arc distance on the westerly side of Reserve "B" from 215.18' to 217.96'

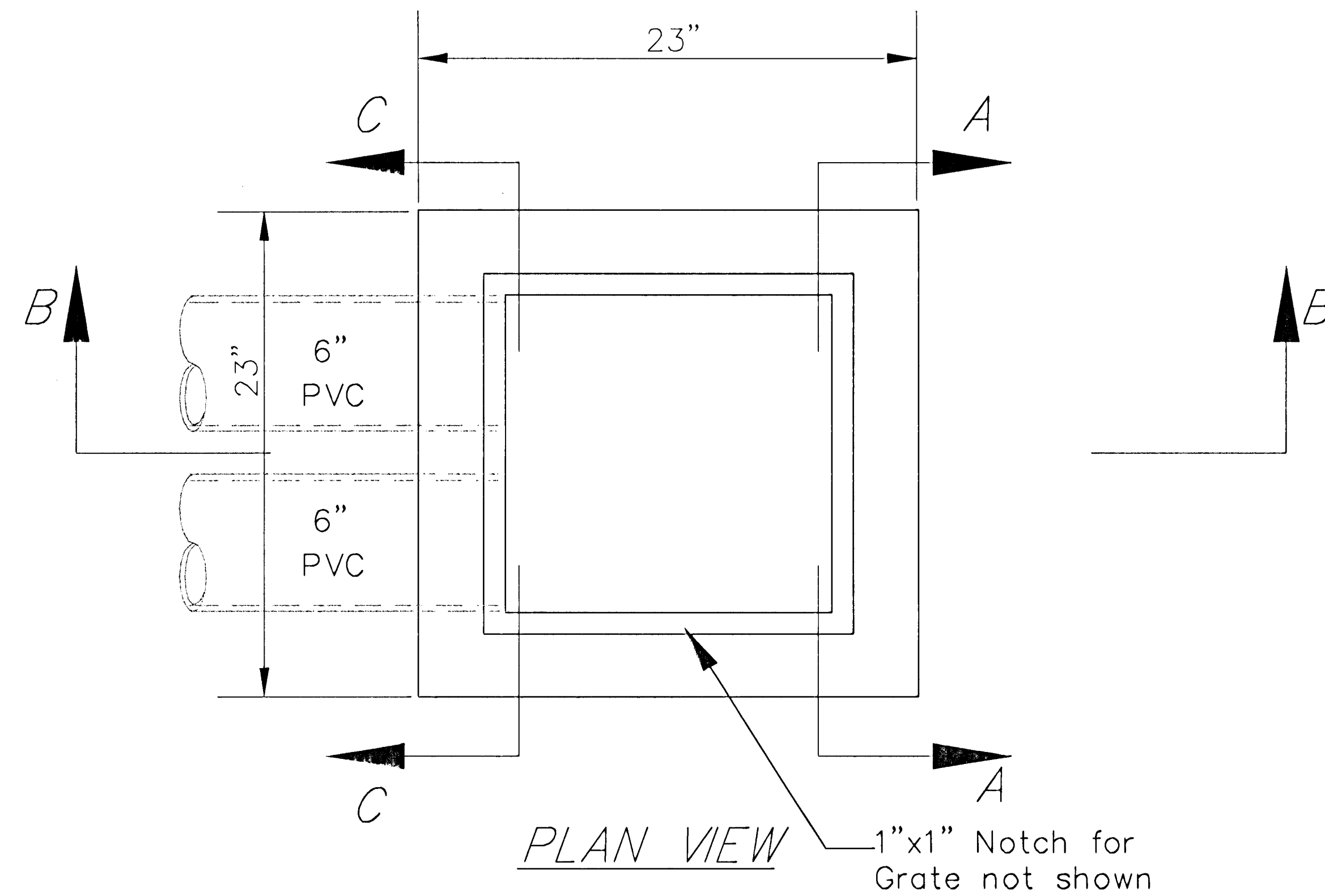
John Hale, Register of Deeds  
Pearl B. Gilbert, Deputy  
STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

Be it remembered that on this 13th day of November, 1972, before me, a Notary Public in and for said State and County, came Jack P. DeBoer Associates, Inc., by Jack P. DeBoer, President and Joyce A. Hartman, Secretary, to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my Notarial seal the day and year above written.

Janet C. Bryant, Notary Public  
My Commission expires August 25, 1976

This plat approved and all dedications shown hereon, if any, accepted by the City Commission of the City of Wichita, Kansas, this 28th day of November, 1972.  
Glenn J. Shanahan, Mayor  
Ralph C. Eberly, City Clerk

This plat approved and all dedications shown hereon, if any, accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 27th day of Feb., 1972.  
Earl E. Krosky, Chairman  
Elmer S. Bowers, Commissioner  
Tom Scott, Commissioner  
Marie Warden, County Clerk



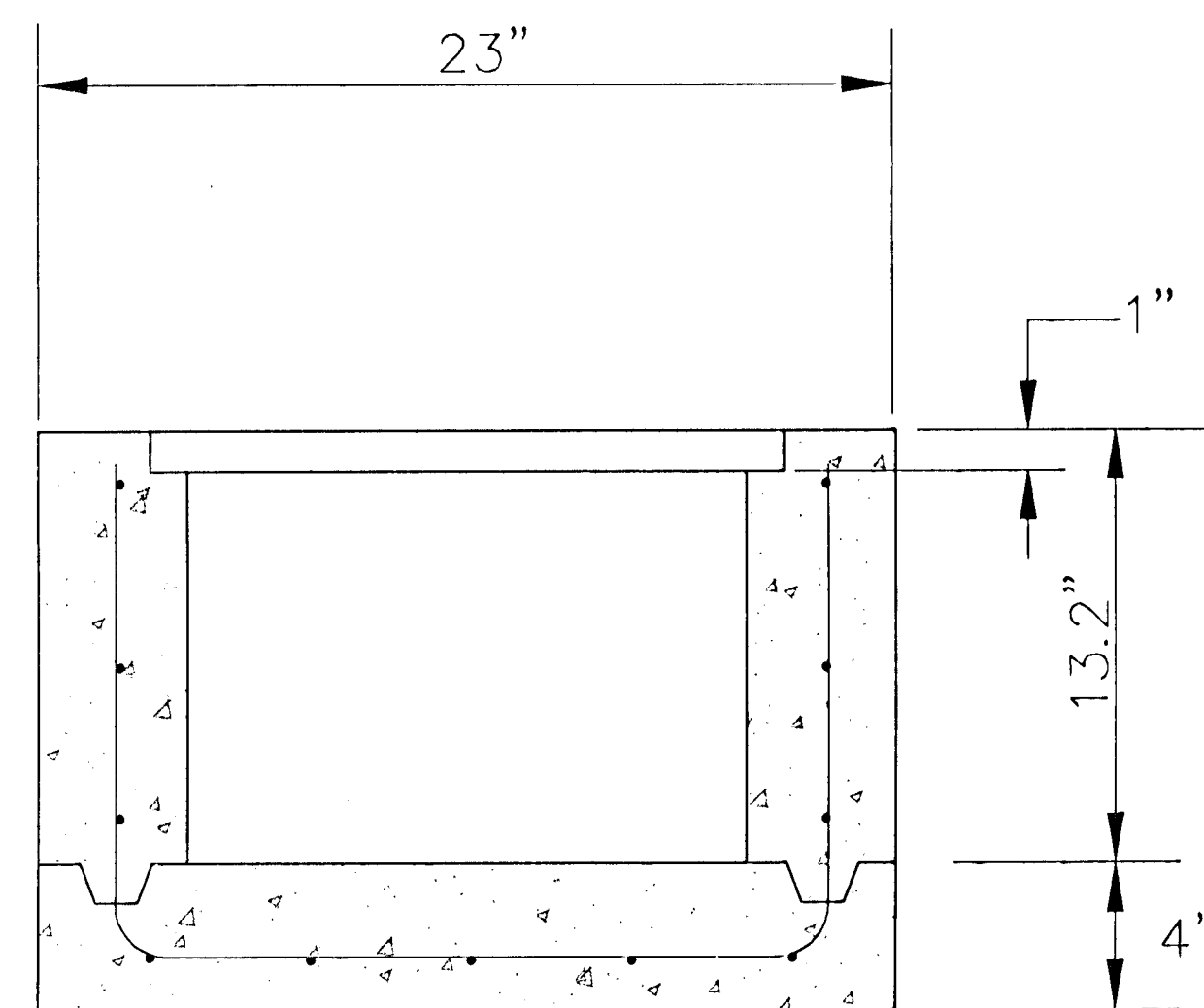
**GENERAL NOTE**

Use Class A Concrete throughout. All exposed edges shall be finished with an edging tool.

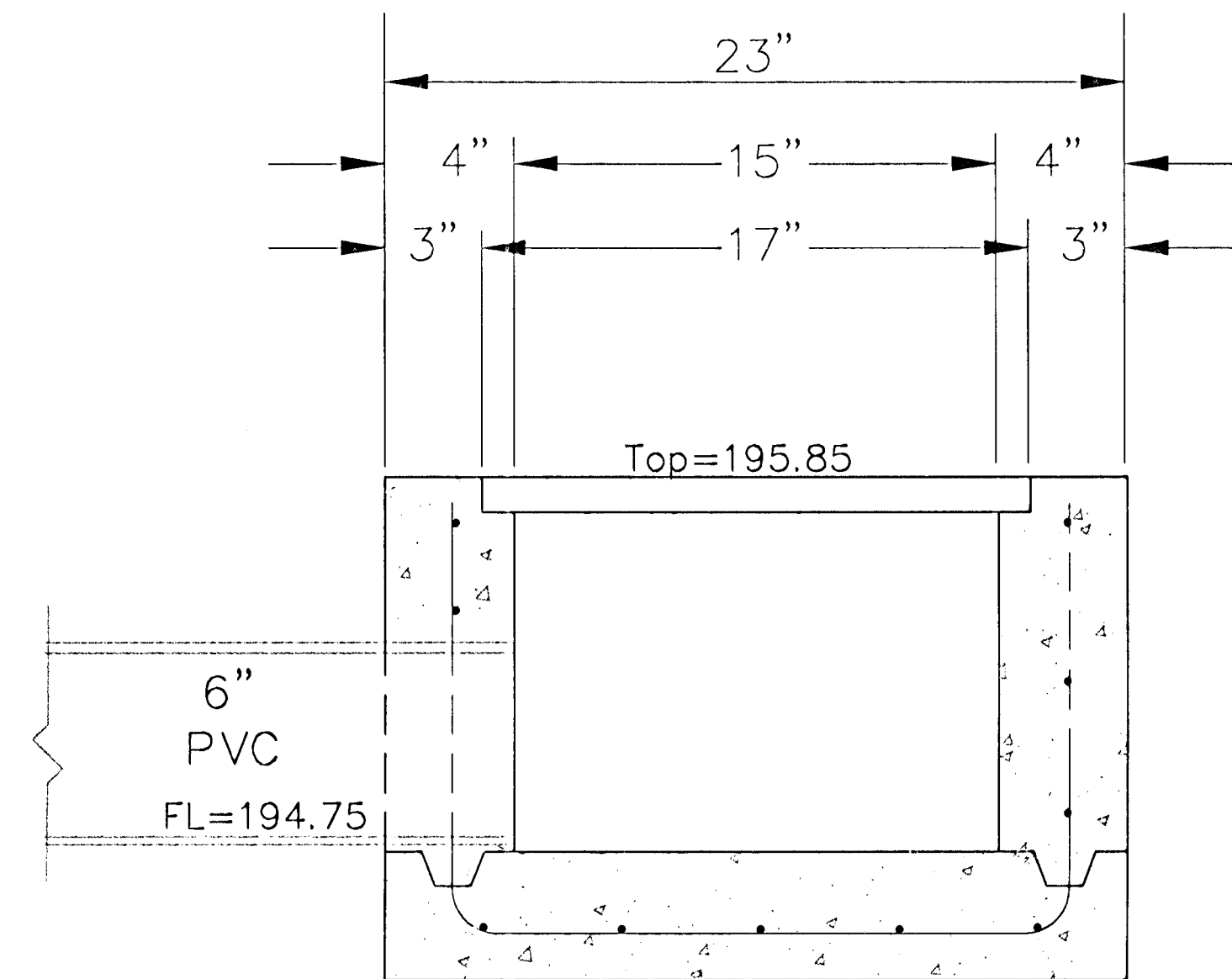
All bars are #4 @ 6" spacing and shall have a minimum clearance of 1 1/2" unless otherwise noted on the plans. Cut or bend bars around wall openings.

Grates Not shown:

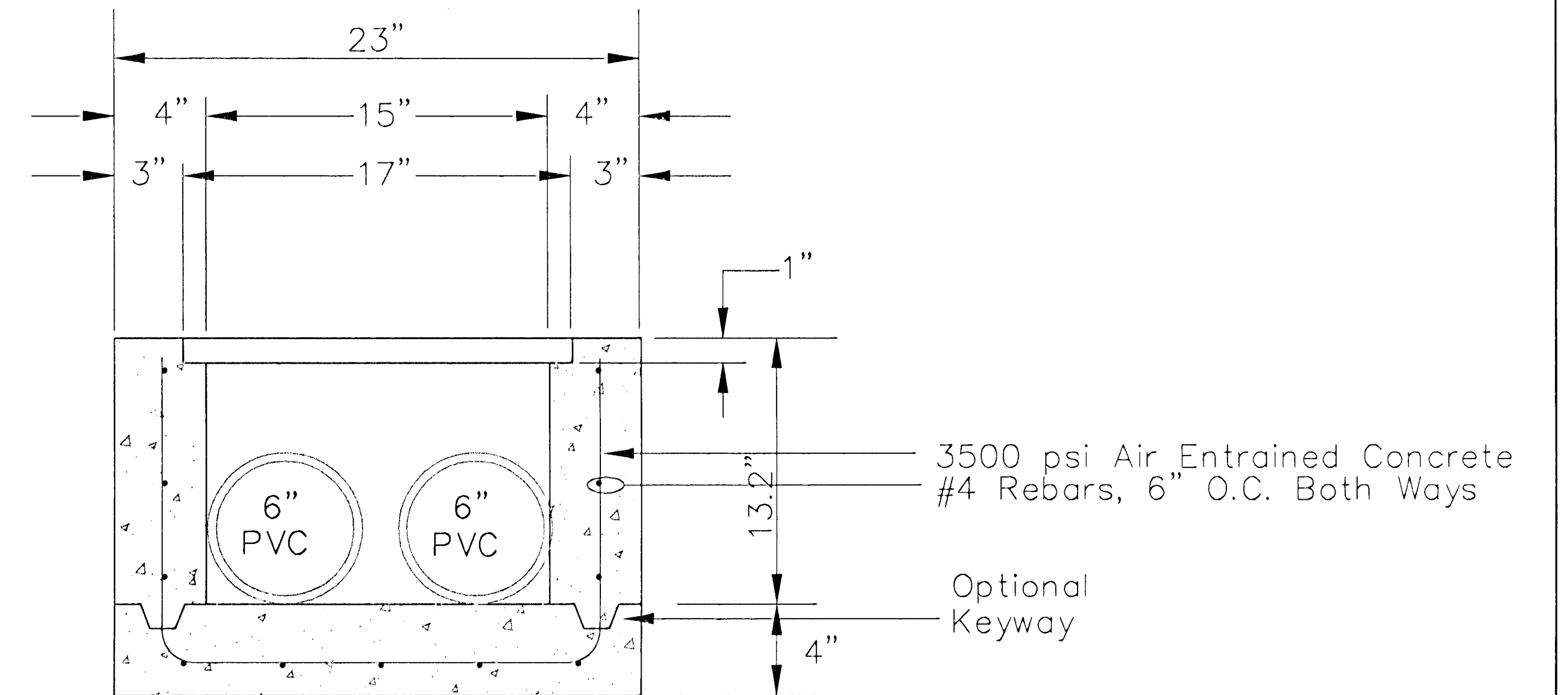
For Junction Box - NDS #1810 Grate (16 7/8"x16 7/8"x1")



SECTION A-A



SECTION B-B



SECTION C-C

**CONCRETE JUNCTION BOX DETAILS**

		<b>Concrete Junction Box</b>	
		Area Drainage (Drain to PVC Pipe)	
Baughman Company, P.A. 315 Elm St. Waltham, MA 02151 P 3162423211 F 3162420149			
ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 472-XXXXX	DESIGN KK	DRAWN TCA	
REVISIONS:	APPROVED JFB	DATE MAY 2005	
	SCALE 5-1	SHEET <b>3 OF 4</b>	
F:\Eng\Comotara Drainage\Detail\JB.dwg		04-11-E114	

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I hereby certify that the details on this plat are correct to the best of my knowledge and belief this 13 day of May, 1972.

L. M. Van Doren, Partner  
Van Doren-Hazard-Stallings-Schnacke  
Engineers - Architects  
260 North Rock Road  
Wichita, Kansas

Know all men by these presents that we the undersigned, property owners of the land as above set forth in the Civil Engineer's Certificate, have caused the same to be surveyed and platted into blocks, lots, streets, floodway and reserves, the same to be known as "COMOTARA FIRST ADDITION" to Wichita, Sedgwick County, Kansas. The drives, roads and circles are hereby dedicated to and for the use of the public reserves "A", "D", "E", "F", "G", and "H" are platted for the use of sidewalks, utilities, drainage, recreation, buffer zones and open spaces. Reserve "B" and "C" is platted for the use of sidewalks, utilities, drainage, recreation, buffer zones, open spaces and/or public use. Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat, are hereby granted. The floodway shall be the responsibility of the owners of the property in the subdivision until such time as the governing body exercising jurisdiction elects to assume the responsibility for maintenance and improvement of the drainage, provided further that no building shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the Wichita - Sedgwick County Flood Control Office or their successors of office. All abutters rights of access to or from 21st Street North over and across the south lines of Reserve "H", Lot "A", Reserve "G" and Block "K", and to or from Woodlawn Avenue over and across the west lines of Reserve "H", Lot "B" and Reserve "A", and are hereby granted to the City of Wichita. Provided however that Lot "A" or Reserve "H" except the west 40 feet thereof, shall have access to 21st Street North at one location and Lot "B" shall have access to Woodlawn Avenue at two locations, said locations to be determined by the City Engineer of the City of Wichita, Kansas. No building pad will be permitted below Elevation 190.0.

Jack P. DeBoer Associates, Inc.

Jack P. DeBoer, President  
Joyce A. Hartman, Secretary

We, the First National City Bank, New York City, New York, mortgages on the above described property, do hereby consent to the plat of "COMOTARA FIRST ADDITION".

Walter C. Klein Jr., Walter C. Klein Jr.  
Ron E. Finck, Ron E. Finck

STATE OF NEW YORK, COUNTY OF NEW YORK, SS:

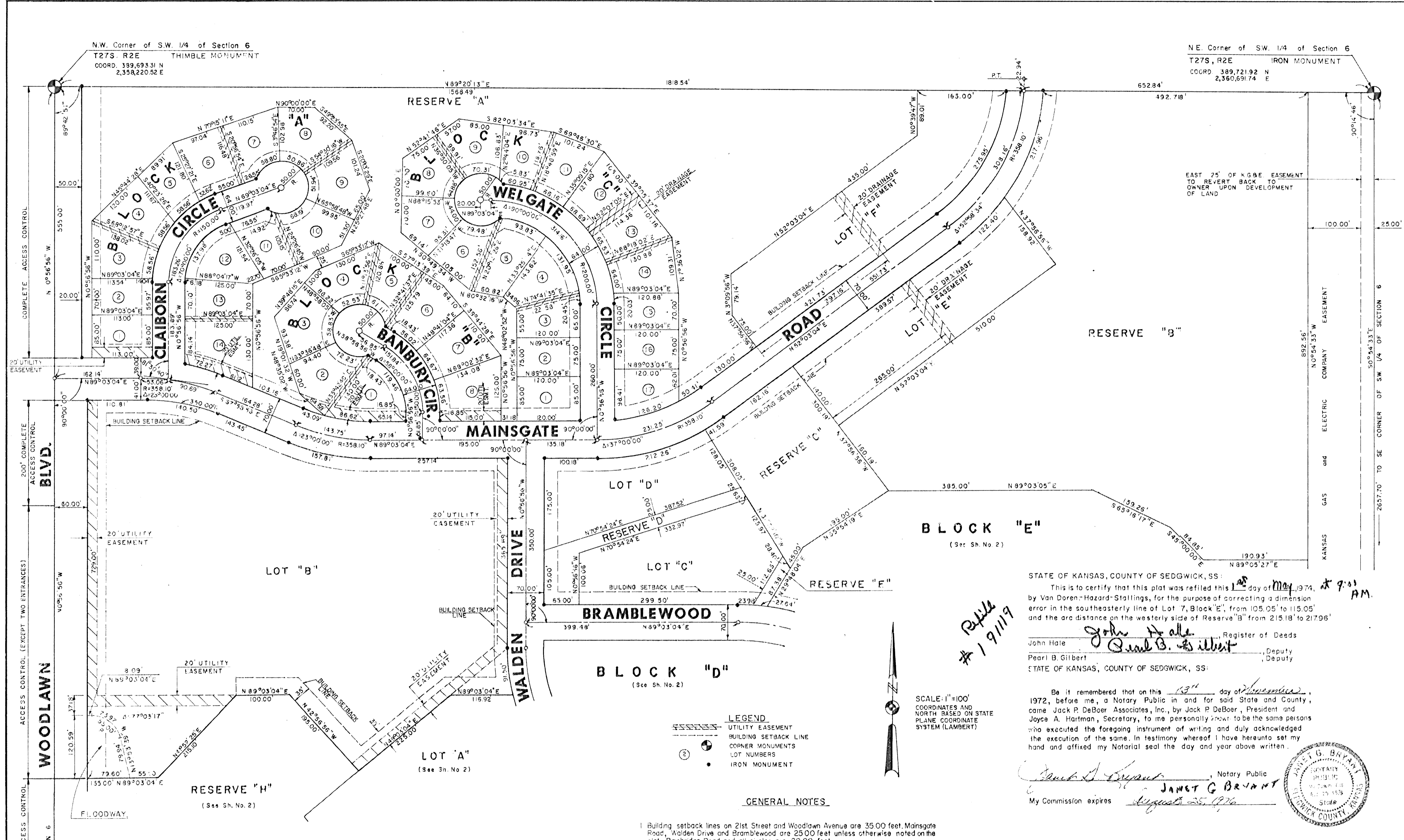
Be it remembered that on this 10th day of November, 1972, before me, a Notary Public in and for said State and County, came The First National City Bank, New York City, New York, by Walter C. Klein Jr. and Ron E. Finck to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my Notarial seal the day and year above written.

My Commission expires \_\_\_\_\_

This plat of "COMOTARA FIRST ADDITION" has been submitted to and approved by the Wichita - Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 9th day of November, 1972

Alvin J. Hennessy, Chairman  
Robert A. Lakin, Secretary



STATE OF KANSAS, COUNTY OF SEDGWICK, SS:  
This is to certify that this plat was refilled this 13th day of May, 1972, at 9:00 AM, by Van Doren-Hazard-Stallings, for the purpose of correcting a dimension error in the southeasterly line of Lot 7, Block "E", from 105.05' to 115.05' and the arc distance on the westerly side of Reserve "B" from 215.18' to 217.96'

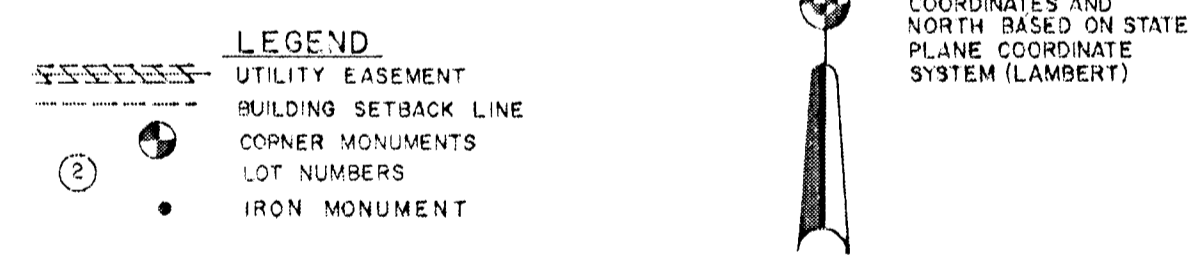
John Hale, Register of Deeds  
Pearl B. Gilbert, Deputy

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Janet G. Bryant, Notary Public  
My Commission expires August 25, 1976

Glenn J. Shanahan, Mayor  
Ralph C. Eberly, City Clerk

Earl E. Rush, Chairman  
Elmer S. Bates, Commissioner  
Tom Scott, Commissioner  
Attest: Marie Warden, County Clerk



- GENERAL NOTES: 1. Building setback lines on 21st Street and Woodlawn Avenue are 35.00 feet. Mainsgate Road, Walden Drive and Bramblewood are 25.00 feet unless otherwise noted on the plat. Banbridge Road and all circles are 20.00 feet. 2. Utility Easements are 10.00 feet wide centered on lot lines unless otherwise noted on the plat. 3. Minimum Building Pad elevation will be Elevation 190.0

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NOVEMBER 1972  
DEVELOPER: JACK P. DEBOER ASSOCIATES, INC.  
ENGINEER: VAN DOREN-HAZARD-STALLINGS-SCHNACKE

Entered on Transfer Record this 27 day of February, 1972  
Marie Warden, County Clerk  
STATE OF KANSAS, COUNTY OF SEDGWICK, SS:  
This is to certify that this instrument was filed for record in the Register of Deeds Office at 3:00 PM on the 27th day of Feb, 1972  
John Hale, Register of Deeds  
Pearl B. Gilbert, Deputy

Res. CDV. F 150 pg 1304  
Amended to Corrected, Easements, Change of Grade F 390 pg 124