

SHOAL CREEK 3RD ADDITION

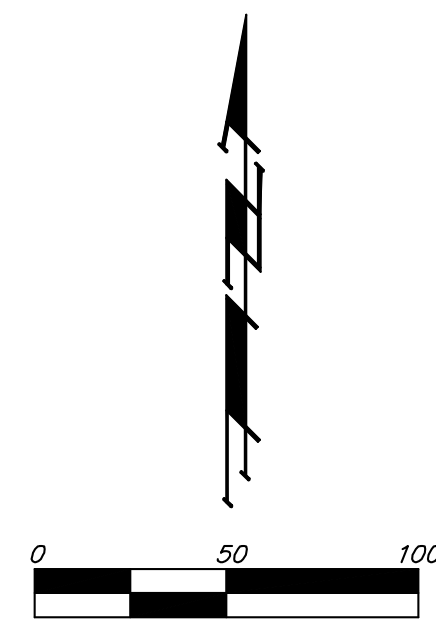
WICHITA, SEDGWICK COUNTY, KANSAS

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOTS	BLOCK	ELEVATION
1,2,3,4	A	141.6
		1329.0

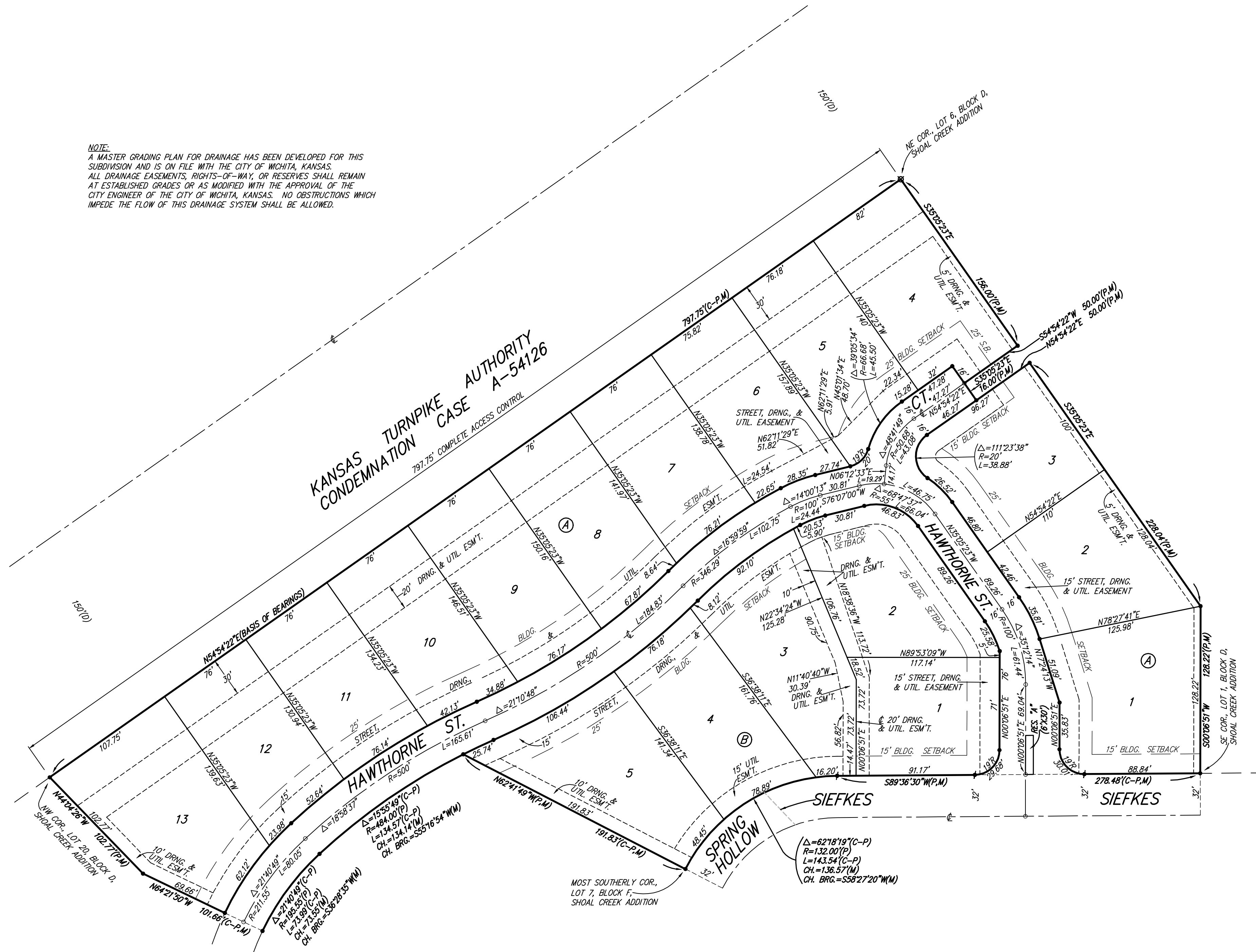
- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- ⊠ = #4 REBAR W/ "PEC" CAP (FOUND)

BENCHMARK:
 "□" CUT ON TOP OF CURB, NORTH SIDE SIEFKES,
 NW OF CENTER LINE OF SIEFKES CT., SHADYBROOK
 MEADOW ADDITION.
 ELEV.= 135.19 CITY DATUM
 (1322.59 NGVD)

(M) = MEASURED
 (P) = PLATTED
 (C-P) = CALCULATED PER
 PLATTED INFO.



NOTE:
 A MASTER GRADING PLAN FOR DRAINAGE HAS BEEN DEVELOPED FOR THIS
 SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS.
 ALL DRAINAGE EASEMENTS, RIGHTS-OF-WAY, OR RESERVES SHALL REMAIN
 AT ESTABLISHED GRADES OR AS MODIFIED WITH THE APPROVAL OF THE
 CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH
 IMPEDE THE FLOW OF THIS DRAINAGE SYSTEM SHALL BE ALLOWED.



State of Kansas) SS We, Baughman Company, P.A., Surveyors in
 Sedgwick County) aforesaid county and state do hereby certify that we have surveyed and
 platted "SHOAL CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas
 and that the accompanying plat is a true and correct exhibit of the
 property surveyed, described as and being a replat of all of Lots 1, 2, 3,
 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, and 20, Block D,
 Shoal Creek Addition, Wichita, Sedgwick County, Kansas, together with all
 of Lots 6, 7, 8, 9, 10, 11, and 12, Block F, in said Shoal Creek Addition,
 together with both Hawthorne Cts. as dedicated in said Shoal Creek
 Addition, and together with that part of Hawthorne St. as dedicated in
 said Shoal Creek Addition lying northeast of the following described line:
 Beginning at the most southerly corner of Lot 20 in said Block D; thence
 S64°21'50"E along the southeasterly extension of the southwest line of
 said Lot 20, 32.00 feet to a point on the west line of Lot 5 in said
 Block F, and there ending, and lying north of the following described line:
 Beginning at the most southerly SE corner of Lot 12 in said Block F;
 thence N89°36'30"E, 84.00 feet to the most southerly SW corner of Lot 1
 in said Block D, and there ending.

Existing public easements and dedications
 being vacated by virtue of K.S.A. 12-512(b).

All being situated in the NE1/4 of Sec. 23, Twp. 27-S,
 R-2-E of the 6th P.M., Sedgwick County, Kansas.

Baughman Company, P.A.

Michael G. Conrey, Surveyor

This plat of "SHOAL CREEK 3RD ADDITION",
 Wichita, Sedgwick County, Kansas has been submitted to and approved by
 the Wichita-Sedgwick County Metropolitan Area Planning Commission,
 Wichita, Kansas.

Dated this _____ day of _____, 2004.
 Wichita-Sedgwick County Metropolitan Area Planning Commission

_____, Chair
 Ronald L. Marnell

_____, Secretary
 John L. Schlegel

This plat approved and all dedications
 shown hereon accepted by the City Council of the City of Wichita,
 Kansas, this _____ day of _____, 2004.

_____, Mayor
 Carlos Mayans

_____, City Clerk
 Karen Sublett

Reviewed in accordance with K.S.A. 58-2005
 on this _____ day of _____, 2004.

Tricia L. Robello, L.S. #1246
 Deputy County Surveyor
 Sedgwick County, Kansas

Entered on transfer record this _____ day
 of _____, 2004.

_____, County Clerk
 Don Brace

Know all men by these presents that we,
 the undersigned, have caused the land in the surveyors certificate to be
 platted into Lots, Blocks, a Reserve, and Streets, to be known as "SHOAL
 CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas. The utility
 easements are hereby granted as indicated for the construction and
 maintenance of all public utilities. The drainage and utility easements are
 hereby granted as indicated for drainage purposes and for the construction
 and maintenance of all public utilities. The street, drainage,
 and utility easements are hereby granted as indicated for street related
 purposes, for drainage purposes, and for the construction
 and maintenance of all public utilities. The streets are hereby dedicated to
 and for the use of the public. Reserve "A" is hereby reserved for entry
 monuments, landscaping, streets, open space, and utilities. Reserve "A"
 shall be owned and maintained by the homeowners association for the
 addition. Access controls shall be as depicted on the face of the plat
 and are hereby granted to the City of Wichita, Kansas. The Minimum
 Building Pad Elevations for the lowest opening to the structures shall be
 as indicated on the face of the plat.

Scott Land, L.L.C.

_____, Member
 Jay W. Russell

State of Kansas) SS This is to certify that this plat has been
 Sedgwick County) filed for record in the office of the Register of Deeds, this _____ day
 of _____, 2004 at _____ o'clock _____ M.; and is duly recorded.

_____, Register of Deeds
 Bill Meek

_____, Deputy
 Linda Kizzire

We, the undersigned holders of mortgages on the
 above described property, do hereby consent to this plat of "SHOAL
 CREEK 3RD ADDITION", Wichita, Sedgwick County, Kansas.

Kanza Bank, f/k/a State Bank of Kingman

State of Kansas) SS The foregoing instrument acknowledged before
 County) me, this _____ day of _____, 2004, by _____
 of Kanza Bank, f/k/a State Bank of Kingman, on
 behalf of the bank.

_____, Notary Public

My App't. Exp. _____

State of Kansas) SS The foregoing instrument acknowledged before
 Sedgwick County) me, this _____ day of _____, 2004, by Jay W. Russell, Member
 of Scott Land, L.L.C., on behalf of the limited liability company.

_____, Notary Public

My App't. Exp. _____