

**AS BUILT PLANS**

Contractor: Utilities Plus  
 Inspector: Don Eddingfield, Baughman Co.  
 pdf's by: KEK, 10/22/12

**SANITARY SEWER TO SERVE**

**Fox Pointe**

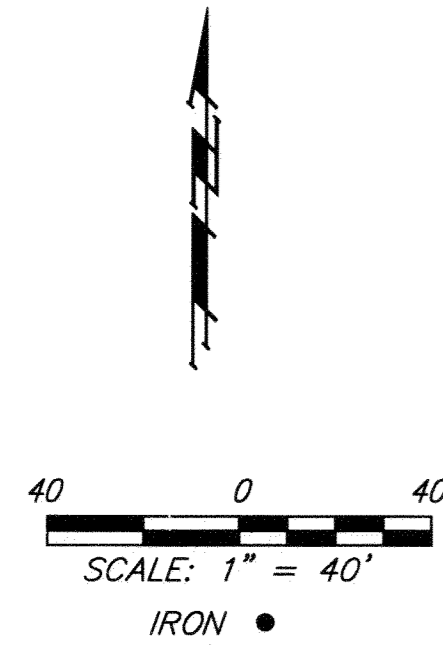
Lot 23, Block 1

**Private Project: 2116 PPS (607861)**

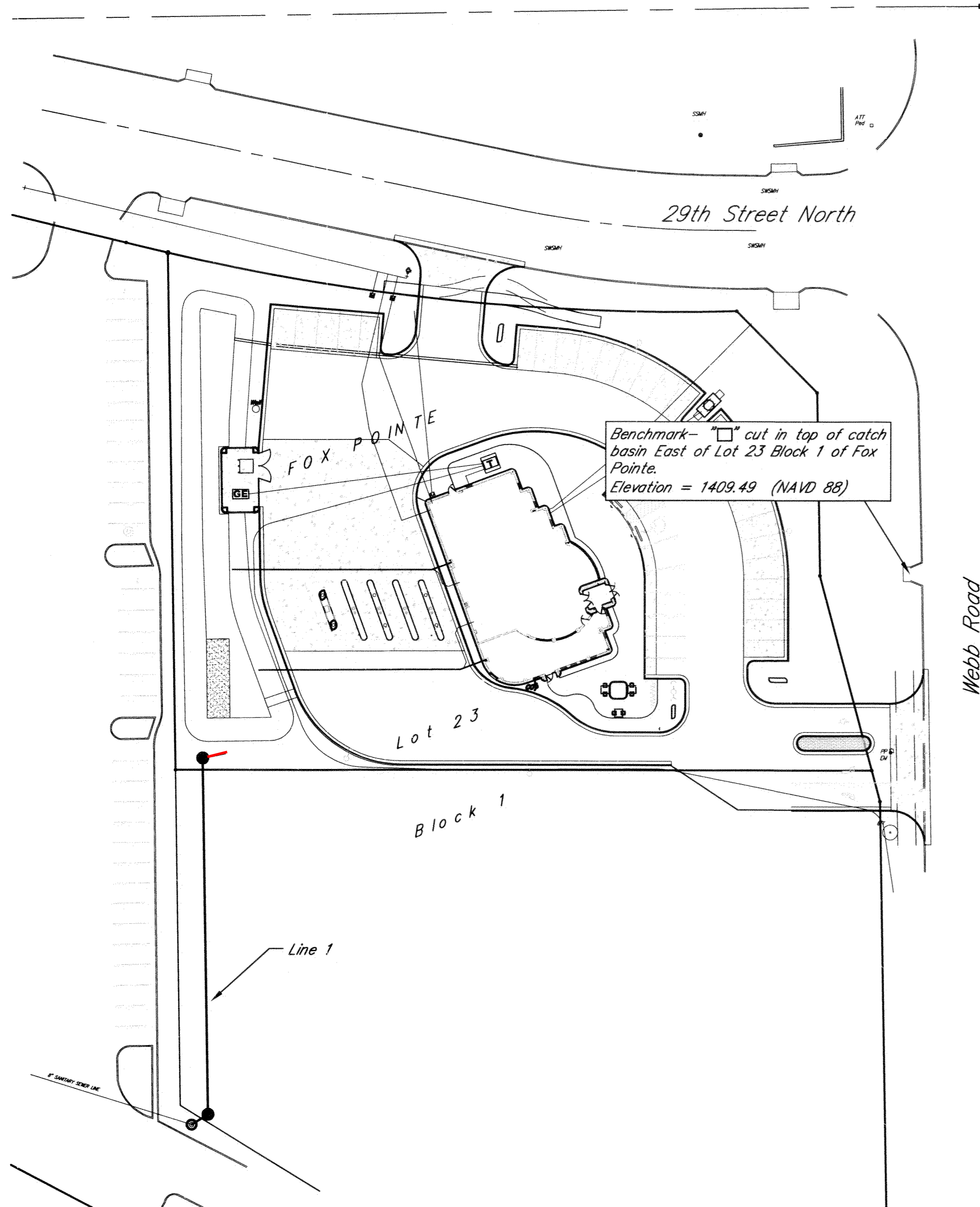
**CITY OF WICHITA, KANSAS**

James Armour, P.E. City Engineer

January 2012



T. Mason - City of Wichita, Field Inspector  
 Stub  
 Release Date: 11/9/2012  
 :APRosas 11/13/2012



**Benchmark**

Benchmark - "□" cut in top of catch basin East of Lot 23 Block 1 of Fox Pointe.  
 Elevation = 1409.49 (NAVD 88)

**Index**

Title Sheet	1
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Manhole & Ring & Cover Details	Available On Request
BMP Erosion Details	Available On Request

**Legal Description**

Lot 23, Block 1, Fox Pointe, An Addition To Wichita, Sedgwick County, Kansas

**General Notes**

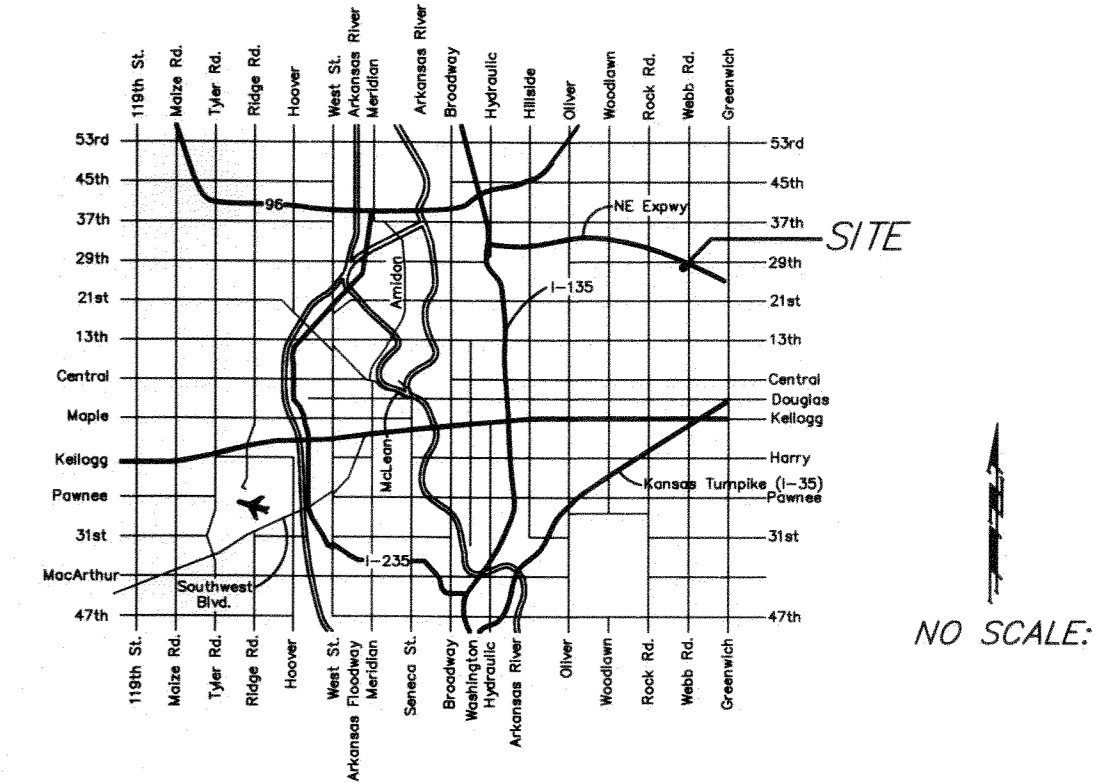
- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 Cox Communications  
 Kansas Gas Service Company 262-4270  
 Westar Energy (Electric) 1-888-482-4950  
 Black Hills Energy (Gas) 383-8650  
 Southwestern Bell Telephone Co. 1-800-303-0357  
 City of Wichita Water Dept. (Water) 1-800-286-8313  
 City of Wichita Sewer Maint. (SS) 262-6000  
 City of Wichita Storm Sewer Maint. 262-6000  
 City of Wichita Traffic Maint. 268-4090  
 268-4034
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance Any work done without inspection will be required to be uncovered for inspection.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.

APPROVED AS NOTED  
 BY CITY ENGINEER OF WICHITA

Sanitary Sewers *Julianne Kallman 1-10-12*

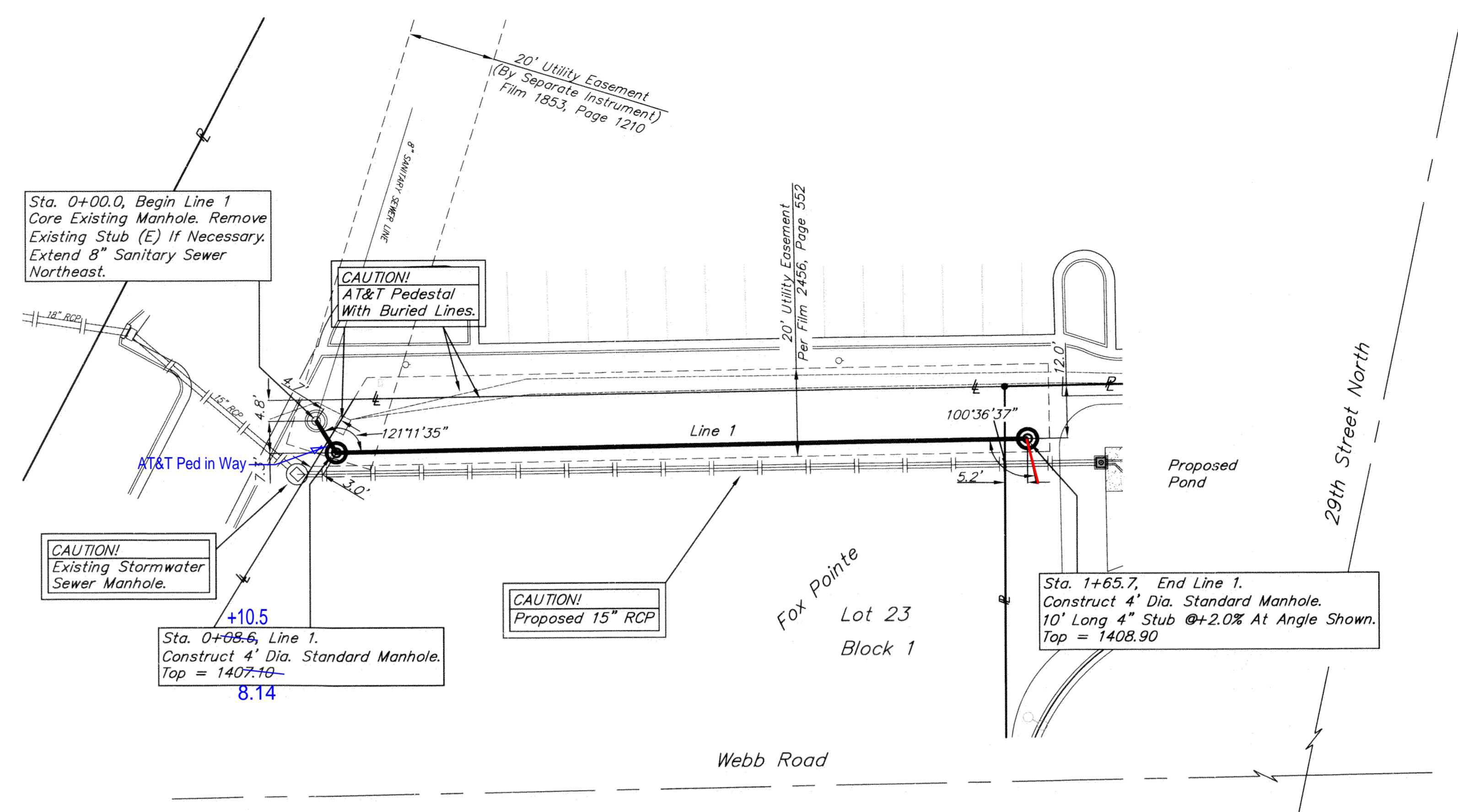
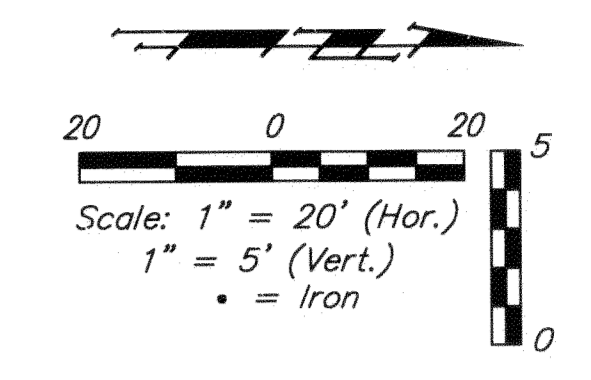
NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



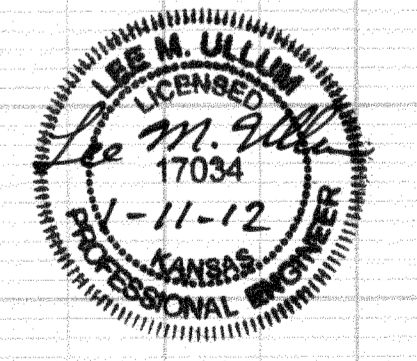
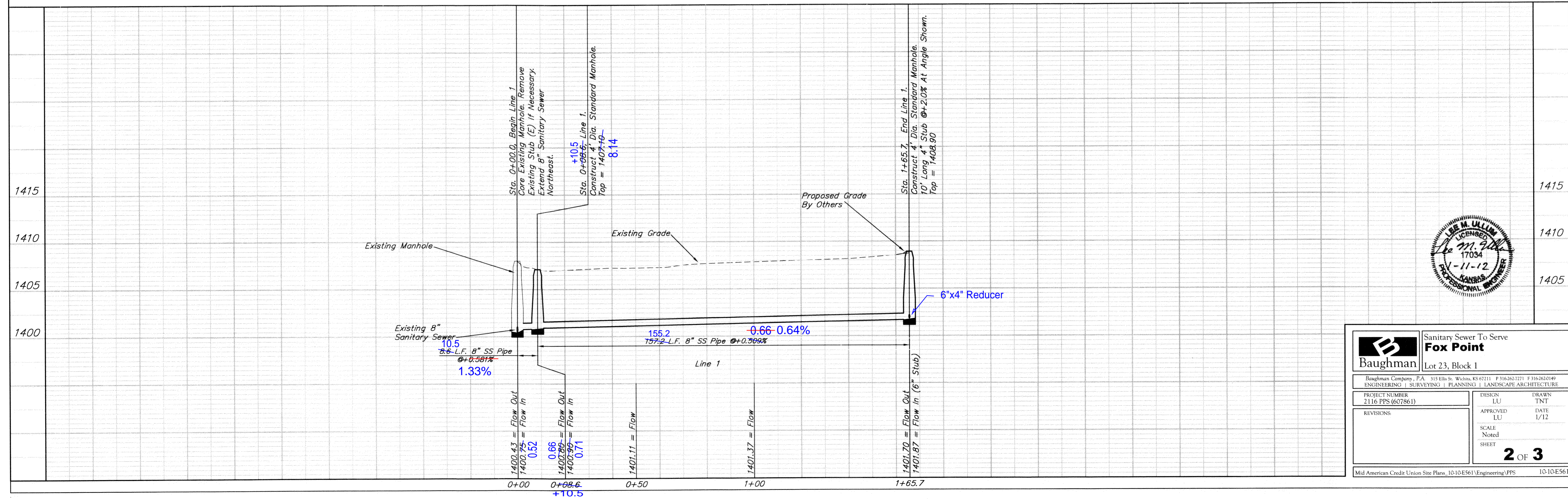
**Benchmark**

Benchmark - "□" cut in top of catch basin East of Lot 23 Block 1 of Fox Pointe.  
Elevation = 1409.49 (NAVD 88)



Contractor To Use Extreme Caution When Excavating Near Utility Lines. Contractor To Hand Dig To Expose All Utility Lines Prior To Construction. Verify Depth To Determine Conflict If Any.

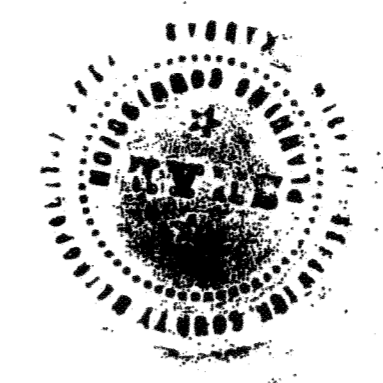
Contractor Shall Follow All Applicable Best Management Practices (BMP) For Erosion Control.



<b>Baughman</b>		Sanitary Sewer To Serve <b>Fox Point</b> Lot 23, Block 1	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 F 316.2627271 F 316.2620149 ENGINEERING   SURVEYING   PLANNING   LANDSCAPE ARCHITECTURE			
PROJECT NUMBER 2116 PPS (607861)	DESIGN LU	DRAWN TNT	
REVISIONS:	APPROVED LU	DATE 1/12	
	SCALE Noted	SHEET <b>2 OF 3</b>	
Mid American Credit Union Site Plans_10-10-E561\Engineering\PPS			10-10-E561

# FINAL PLAT OF FOX POINTE

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



By: Juanita E. Hattrup  
JUANITA E. HATTRUP

STATE OF KANSAS )  
SS: SEDGWICK COUNTY

Be it remembered that on this 29 day of August, 1988, before me a Notary Public in and for said State and County, came Juanita E. Hattrup, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Mary Ann Tate Notary Public  
Mary Ann Tate  
My Appointment Expires: 8-9-92

We, the Mid Kansas Federal Savings & Loan Association, Mortgagees on the above described property, do hereby consent to the plat of "FOX POINTE."

MID KANSAS FEDERAL SAVINGS & LOAN ASSOCIATION

By: Max L. Herzet  
Max L. Herzet, Senior Vice-President

STATE OF KANSAS )  
SS: SEDGWICK COUNTY

Be it remembered that on this 30 day of August, 1988, before me a Notary Public in and for said State and County, came the Mid Kansas Federal Savings & Loan Association, Wichita, Kansas, by Max L. Herzet, Senior Vice-President to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Karen L. Meyer Notary Public  
Karen L. Meyer  
My Appointment Expires: 9/8/90

This plat of "FOX POINTE" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 18 day of August, 1988.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION:

Elton Parsons Chairman  
Martin S. Krout Secretary

This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 27 day of SEPT, 1988.

Sheldon Kamen Mayor  
Dale E. Rea Deputy City Clerk  
Date E. Rea

Entered on transfer record this 6 day of October, 1988.  
Don Wright County Clerk

STATE OF KANSAS )  
SS: SEDGWICK COUNTY

This is to certify that this instrument was filed for record in the Register of Deeds office this 6TH day of OCTOBER, 1988, at 2:30 P.M.

Pat Kettler Register of Deeds  
Ed Rea Deputy

I, Kenneth H. Bengtson, a Civil Engineer and Registered Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "FOX POINTE" an addition to Wichita, Sedgwick County, Kansas, into Lots, Block, Streets, and Reserves the same being accurately set forth in the accompanying plat and described herein:

A tract of land lying in Government Lot 1, Section 5, Township 27 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Beginning at the Northeast corner of Lot 1, University Congregational Church Addition, an addition to Wichita, Sedgwick County, Kansas; thence N 89° 06' 38" E, 366.66 feet, parallel and 50' South of the North line of said Government Lot 1; thence S 76° 23' 22" E, 196.71 feet to a point on a curve to the left; thence along said curve 272.11 feet, said curve having a central angle of 14° 29' 58", a radius of 1075.24 feet and a long chord of 271.38 feet, bearing S 83° 38' 21" E; thence S 45° 00' 22" E, 50.38 feet; to a point lying 75.00 feet West of the East line of said Government Lot 1; thence S 00° 56' 49" E, 80.33 feet, parallel with the East line of said Government Lot 1; thence S 14° 58' 59" E, 103.08 feet to a point lying 50.00' West of the East line of said Government Lot 1; thence S 00° 56' 49" E, 1009.97 feet to the North line of Deer Run Addition, an addition to Wichita, Sedgwick County, Kansas; thence S 89° 05' 06" W, 1277.30 feet along the North line of said Deer Run Addition, to the East line of Wilderness 2nd Addition, an addition to Wichita, Sedgwick County, Kansas; thence N 00° 54' 07" W, 910.52 feet along the East line of said Wilderness 2nd Addition to the South line of said University Congregational Church Addition; thence N 89° 06' 38" E, 390.00 feet along the said South line of University Congregational Church Addition to the East line of said University Congregational Church Addition; thence N 00° 54' 07" W, 400.00 feet along said East line of University Congregational Church Addition to the point of beginning.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 30 day of August, 1988.

Kenneth H. Bengtson  
Kenneth H. Bengtson, P.E., R.L.S. #922  
Mid-Kansas Engineering Consultants, P.A.  
3500 N. Rock Road, Building #800  
Wichita, Kansas 67226



Scale: 1" = 100'

Lot	Block	Min. Pad Elev. (City Datum)	Min. Pad Elev. (USGS Datum)
16-20	1	217.0	1404.4
21-23	1	219.2	1406.6
24	1	218.0	1406.4

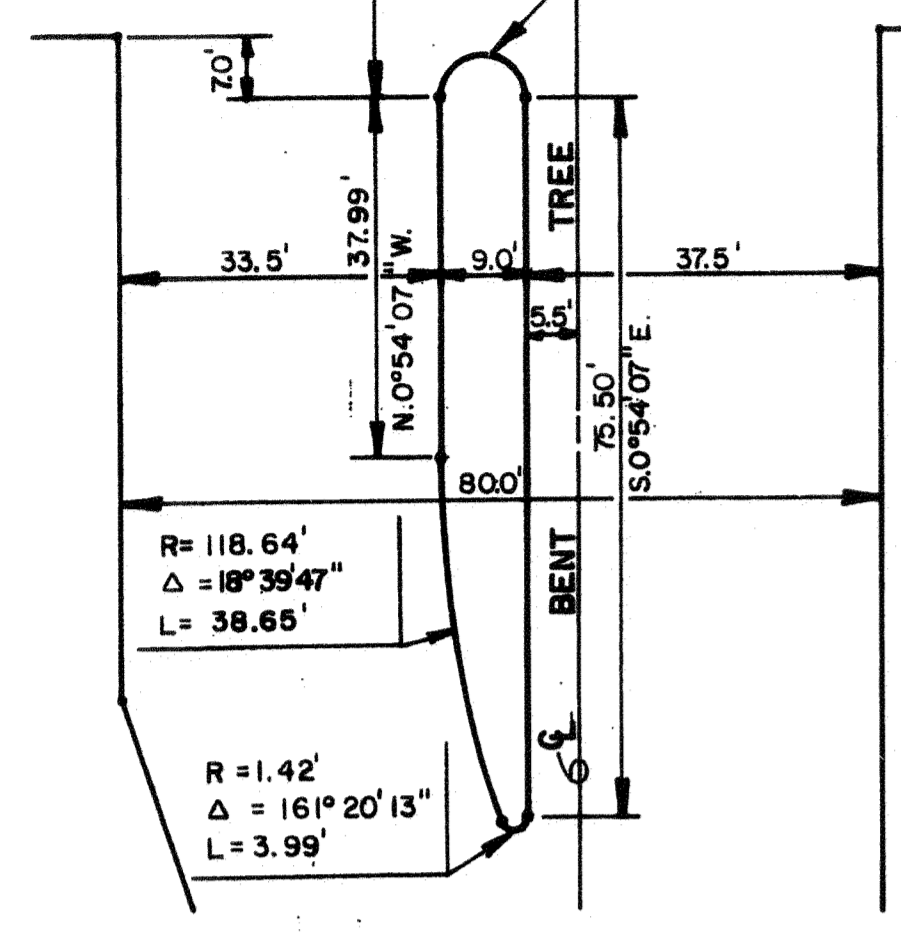
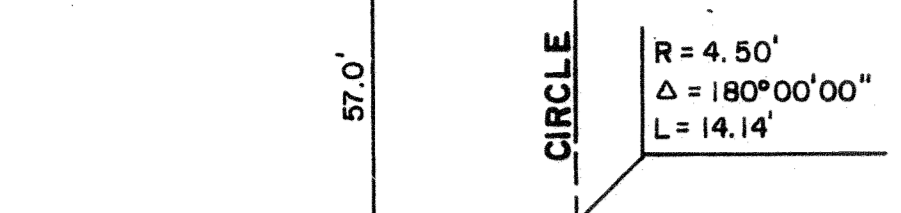
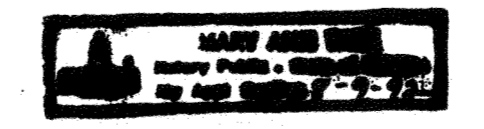
Know all men by these presents that we the undersigned property owners of the land as above set forth in the Land Surveyor's and Civil Engineers Certificates, have caused the same to be surveyed and platted into Lots, a Block, streets and reserves the same to be known as "FOX POINTE" an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. The Reserves shall be owned and maintained by the Homeowners Association. Reserve A is platted for landscaping and entry monuments. Reserve B is platted for drainage and related structures, floodway, walks, gazebos, landscaping, recreation facilities and picnic shelters. Easements for the construction and maintenance of public utilities and drainage as indicated on the accompanying plat are hereby granted. The floodway shall be the responsibility of the owners until such time as the governing body exercising jurisdiction elects to assume the responsibility for the maintenance and improvement of the drainage, provided further, that no structure shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the City Engineer. All abutters right of access to or from 29th Street North over and across the North lines of Lots 1, 2 and 23, Block 1, are hereby granted to the City of Wichita, provided, however, Lot 23, Block 1 shall have access to 29th Street North at two (2) locations, all locations to be determined by the City Engineer. All abutters right of access to or from Webb Road over and across the East lines of Lots 23 and 24; Block 1, are hereby granted to the City of Wichita, provided, however that Lot 23, Block 1 shall have access to Webb Road at two (2) locations and Lot 24, Block 1 shall have access to Webb Road at three (3) locations, all locations to be determined by the City Engineer. Minimum pad elevations shall be as indicated on the face of the plat.

By: Richard J. Hattrup #973717  
Richard J. Hattrup

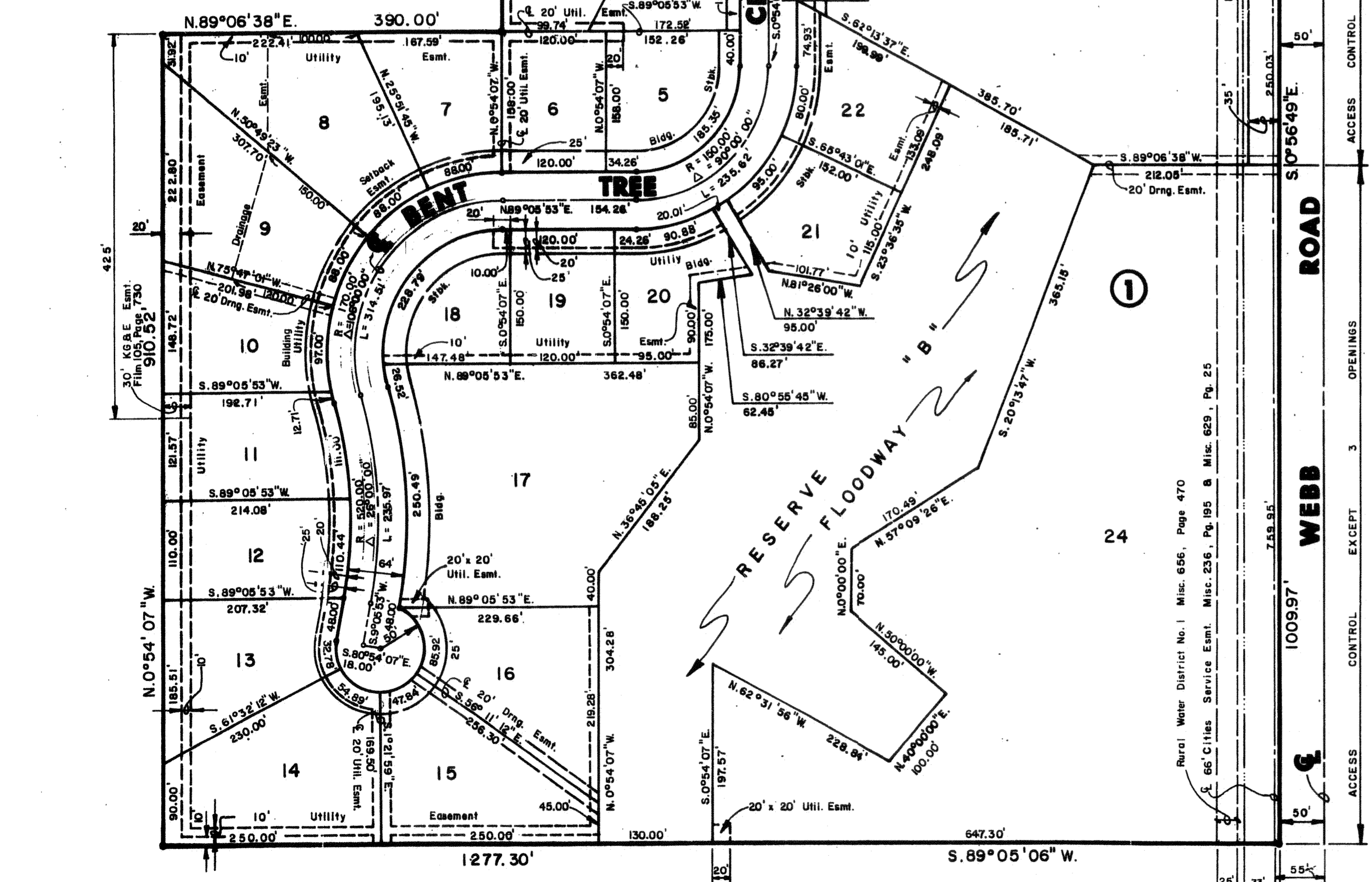
STATE OF KANSAS )  
SS: SEDGWICK COUNTY

Be it remembered that on this 29 day of August, 1988, before me a Notary Public in and for said State and County, came Richard J. Hattrup, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Mary Ann Tate Notary Public  
Mary Ann Tate  
My Appointment Expires: 8-9-92



RESERVE "A" DETAIL



B.M. 1 Top Of Steel Fence Post 4.5' West Of The S.E. Corner Of Lot 24 Block 1.  
Elev. = 222.33

B.M. 2 " " Cut On Top Of South Curb Of 29th Street No. At The C. Of Cypress (N.W. Cor. Of University Congregational Church Add.  
Elev. = 222.94

2000d

affidavit Filed 10/3/88

affidavit 1427-1719