

Storm Sewer & Drainage Improvements

Lot 1, Excluding the North 390'

CASCO ADDITION, WICHITA, KANSAS

Private Project Drainage: 0129 PPD (607861)

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. Interim City Engineer
October 2012

LEGEND

Existing Utilities	
---	Electric Underground
---	Electric Overhead
---	Water Line
---	Gas Line
---	Petroleum Pipeline
---	Storm Water Sewer Pipe
---	Sanitary Sewer Line
---	Telecommunication (AT&T)
---	Telecommunication (Cox)
---	Limits of Construction
---	Temporary Erosion Control Mat.

Benchmarks

Benchmark-1
"□" Chiseled on top of concrete approx. 300' west of east property line, 494' north of south property line.
Elev. = 1296.39 (NGVD 29)

Sheet Index

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Legal Description

Lot 1, Casco Addition, Wichita, Kansas.

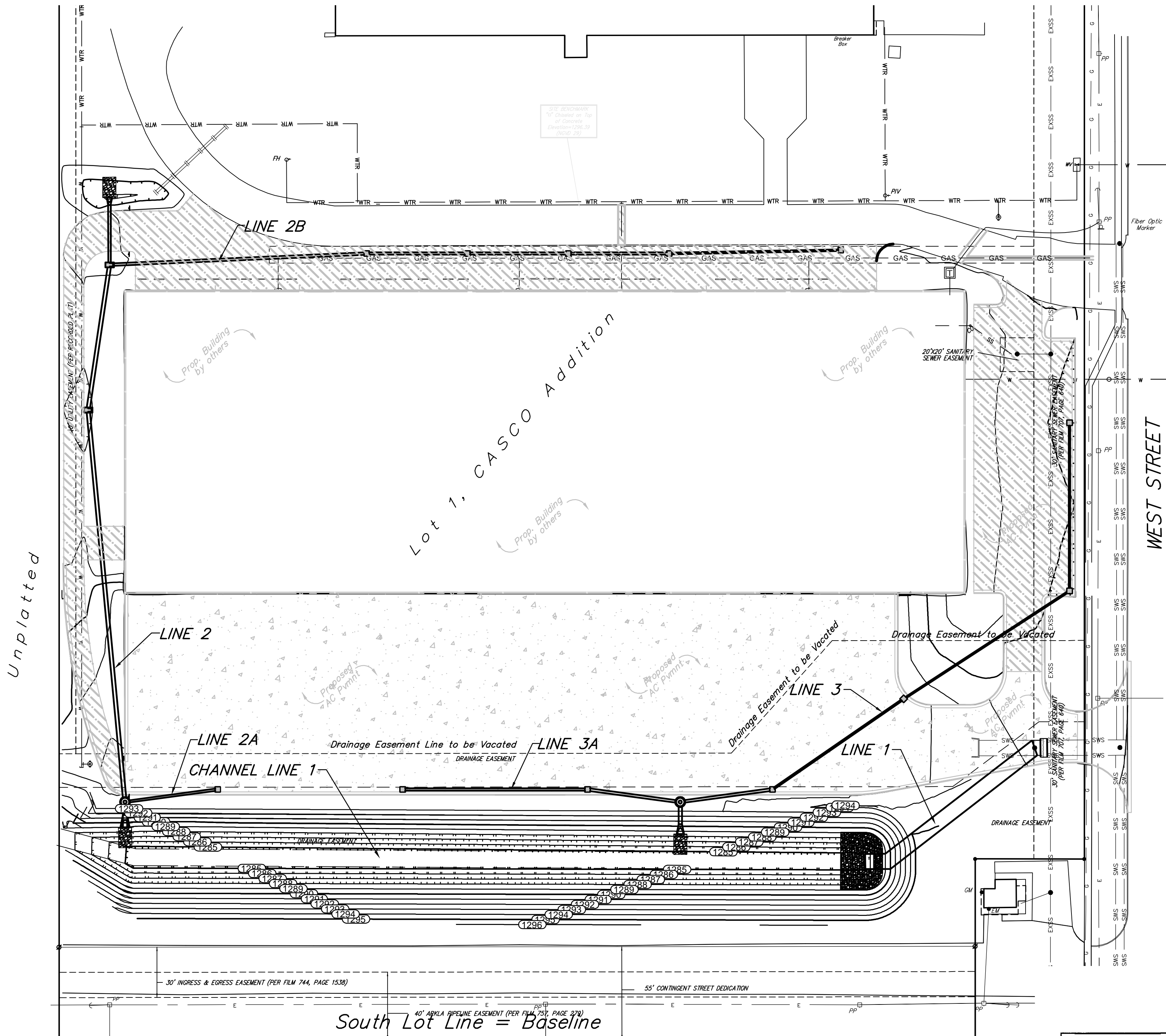
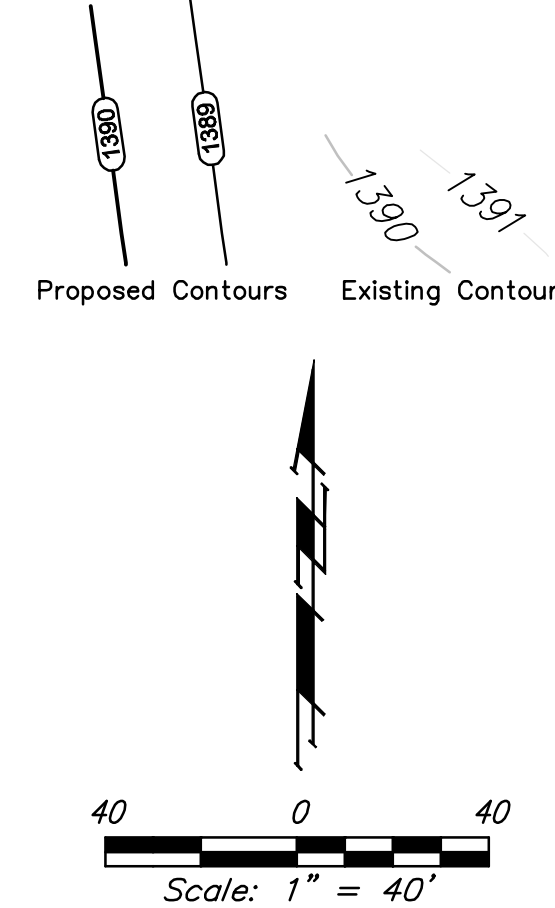
GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

Cox Communications 262-4270
Kansas Gas Service 1-888-482-4950
Westar Energy 383-8650
Black Hills Energy (Gas) 1-800-303-0357
ATT 268-2245
City of Wichita Water Dept. 268-4563
City of Wichita Sewer Maint. 268-4024
City of Wichita Storm Sewer Maint. 268-4090
City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed R/W areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. Mulch shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Contractor shall furnish the inspector with a copy of the manufacturer's certification for any pipe used on this project after completion of pipe installation. The engineer will not certify the project to the city until pipe certification has been received.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All sewer lines and appurtenances shall be installed in accordance with the most recent edition of City of Wichita, Kansas Standard Specifications for the Construction of City Projects.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Contractor shall not start on the project until all necessary bonds and permits have been obtained. Bonds may include but are not limited to Statutory, Performance & Maintenance. Any work done without inspection will be required to be uncovered for inspection.
- The Baseline for this project is the south lot line of Casco Addition, with the SW corner = Station 5+00.
- All areas disturbed during construction shall be seeded at 300 lbs./acre with Rye Grass immediately following construction in that area. Contractor shall prepare ground per City Specifications.



APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Engineering: *[Signature]* 10-9-12
Stormwater: *[Signature]* 10-9-12

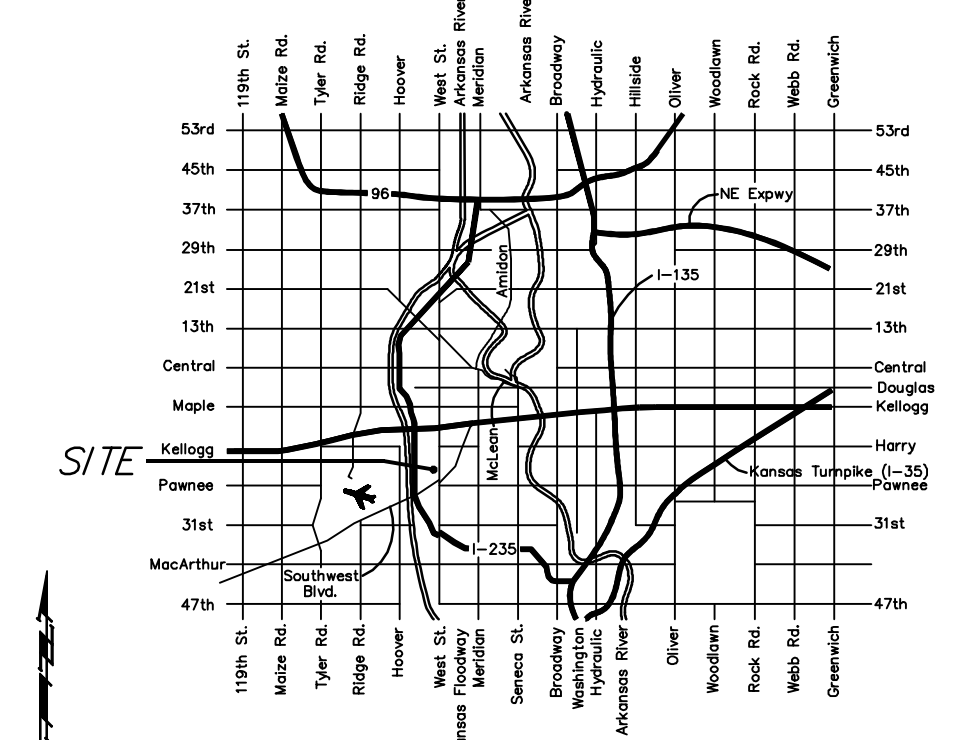
NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).

AS BUILT PLANS	
CONTRACTOR:	McCullough Excavation
INSPECTOR:	Ryan McCullough P.E., McCullough Excavation
PDF BY:	RDM 8-08-2013

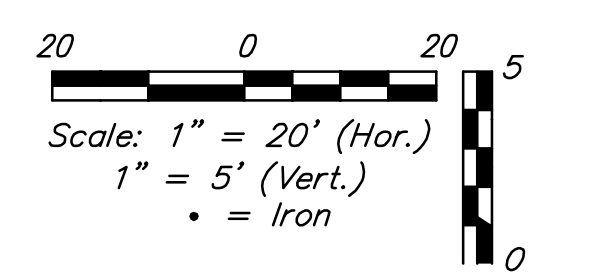
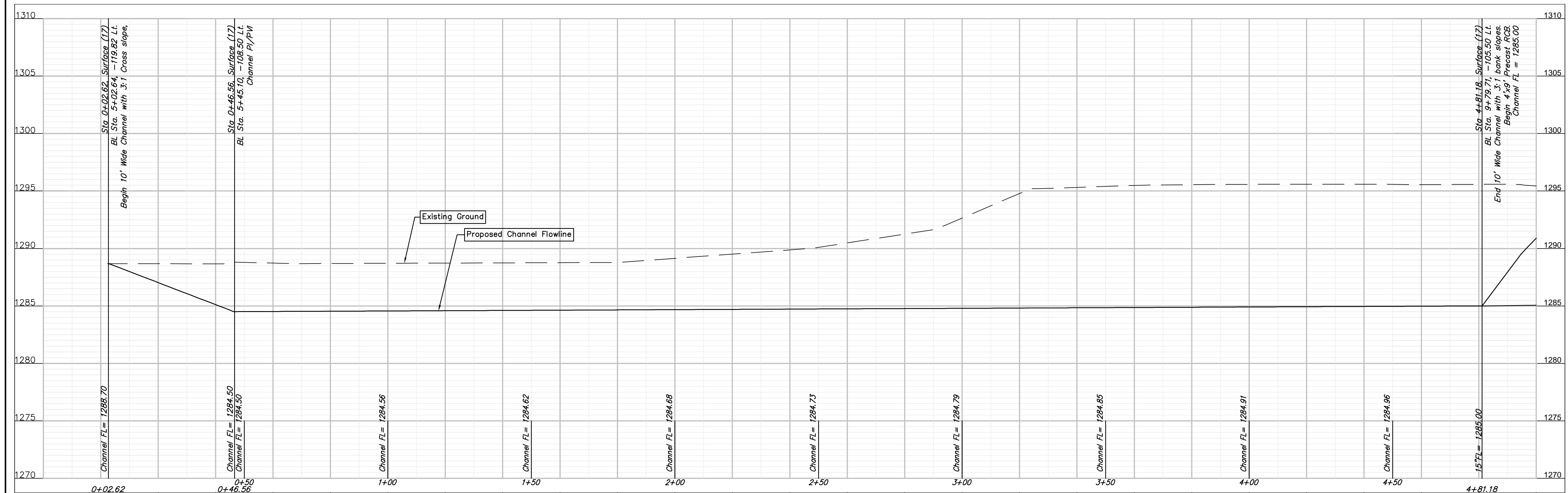
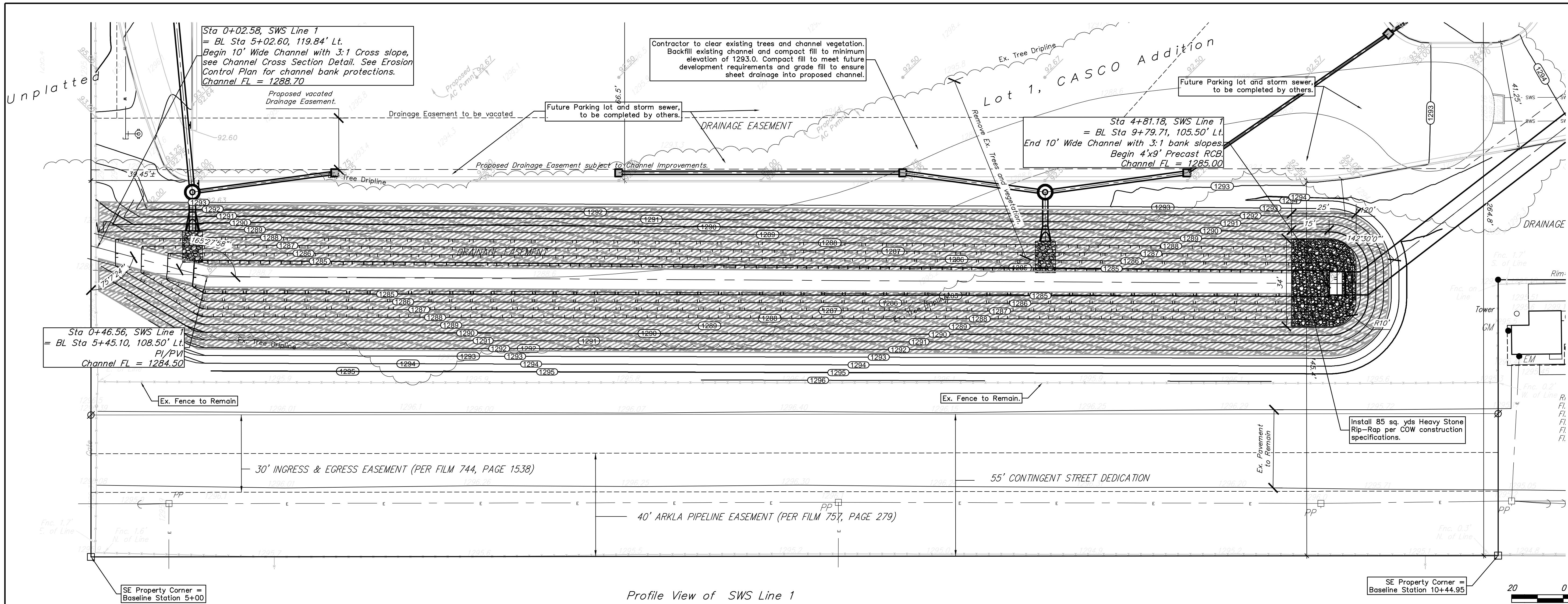


Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



VICINITY MAP

Unplatted



Benchmarks

Benchmark-1
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LEGEND

Existing Utilities

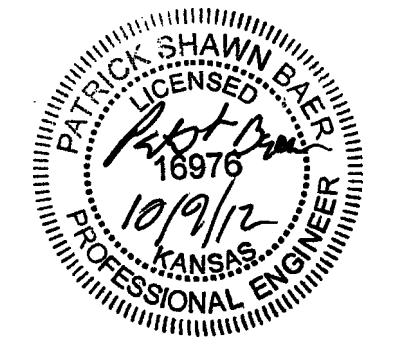
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- Storm Water Sewer Pipe
- Sanitary Sewer Line
- Telecommunication (AT&T)
- Telecommunication (Cox)
- Limits of Construction

Proposed Contours

Existing Contours

Temporary Erosion Control Mat.

Backfilled Existing Channel.

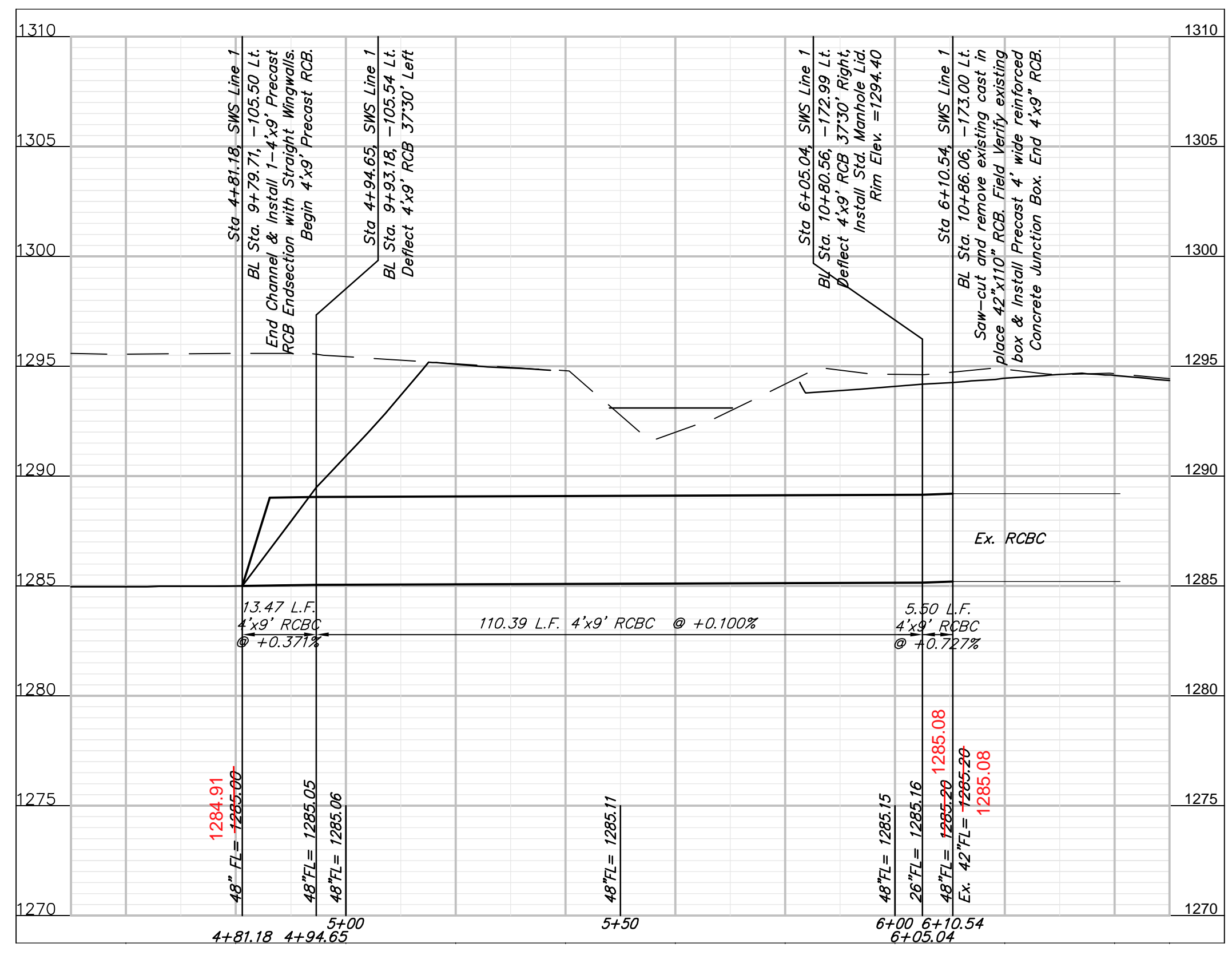
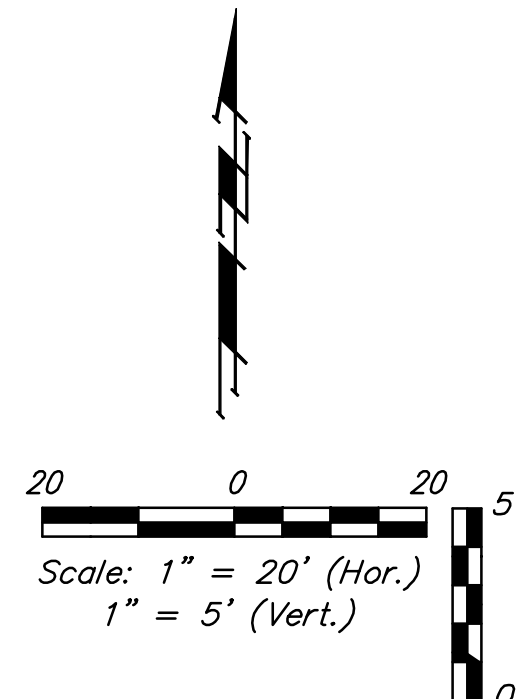
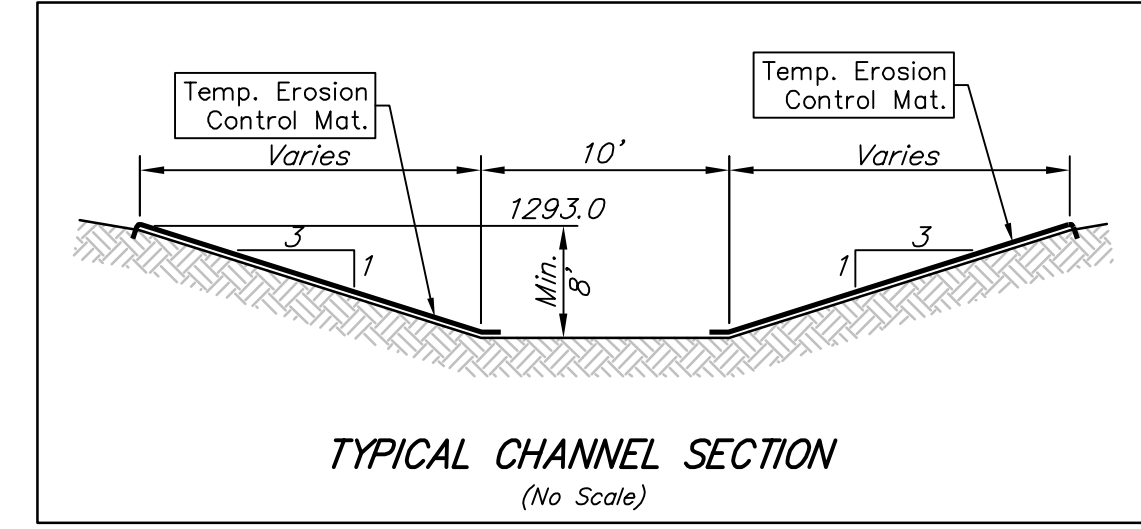
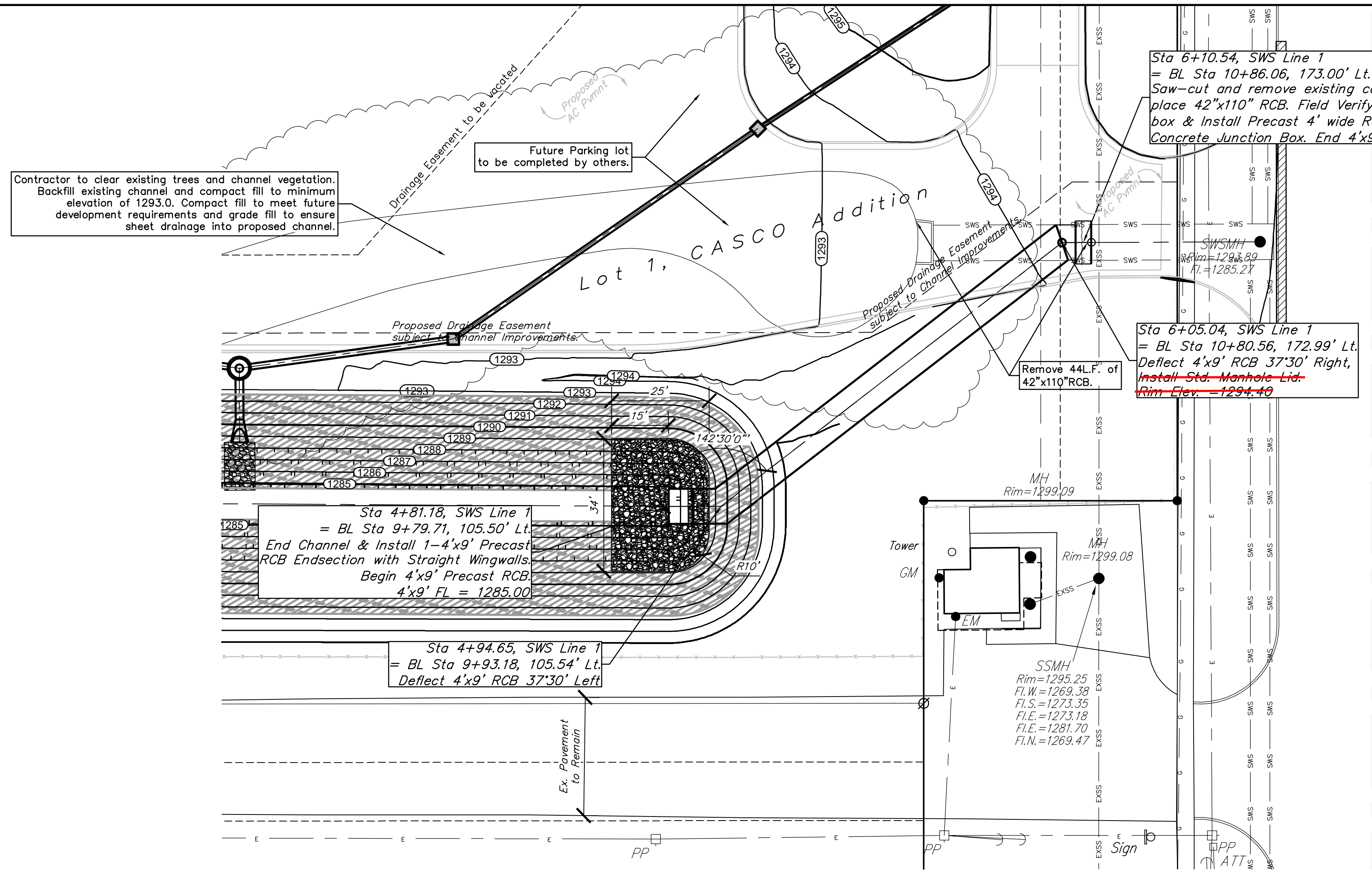


Baughman Company, P.A.
 3150 W. 103rd St., Suite 200, Overland Park, KS 66204
 ENGINEERING | PLANNING | SURVEYING | LANDSCAPE ARCHITECTURE
 Patricia Shawley, P.E.
 License No. 16976
 State of Kansas
 Approved Job: 10/9/12
 Drawn by: [Signature]
 Title: [Title]

Casco Addition
LINE 1
 Drainage Improvements

REVISIONS:

SHEET
 OF
2
12



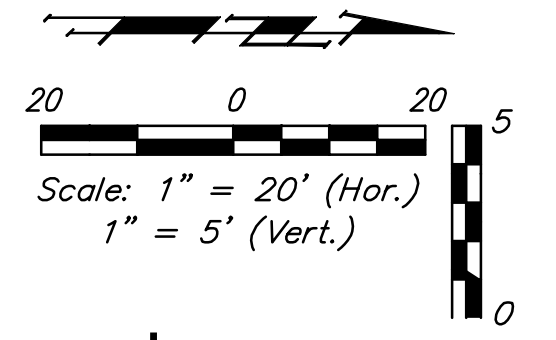
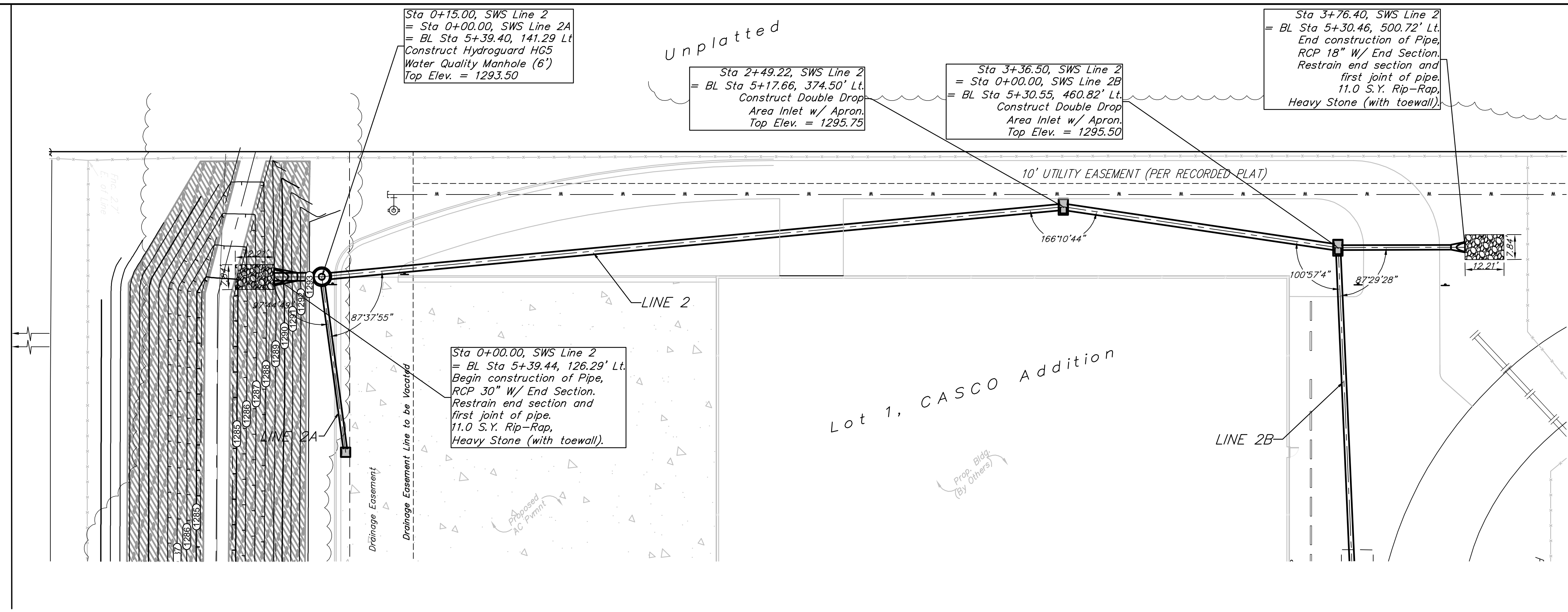
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- Construction Details**
- [Hatched Box] Temporary Erosion Control Mat.
 - [Hatched Box] Backfilled Existing Channel.
- Contours**
- [Solid Line] Proposed Contours
 - [Dashed Line] Existing Contours



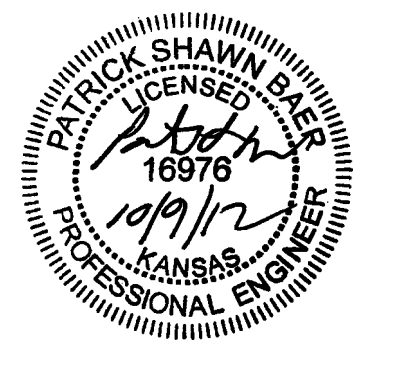
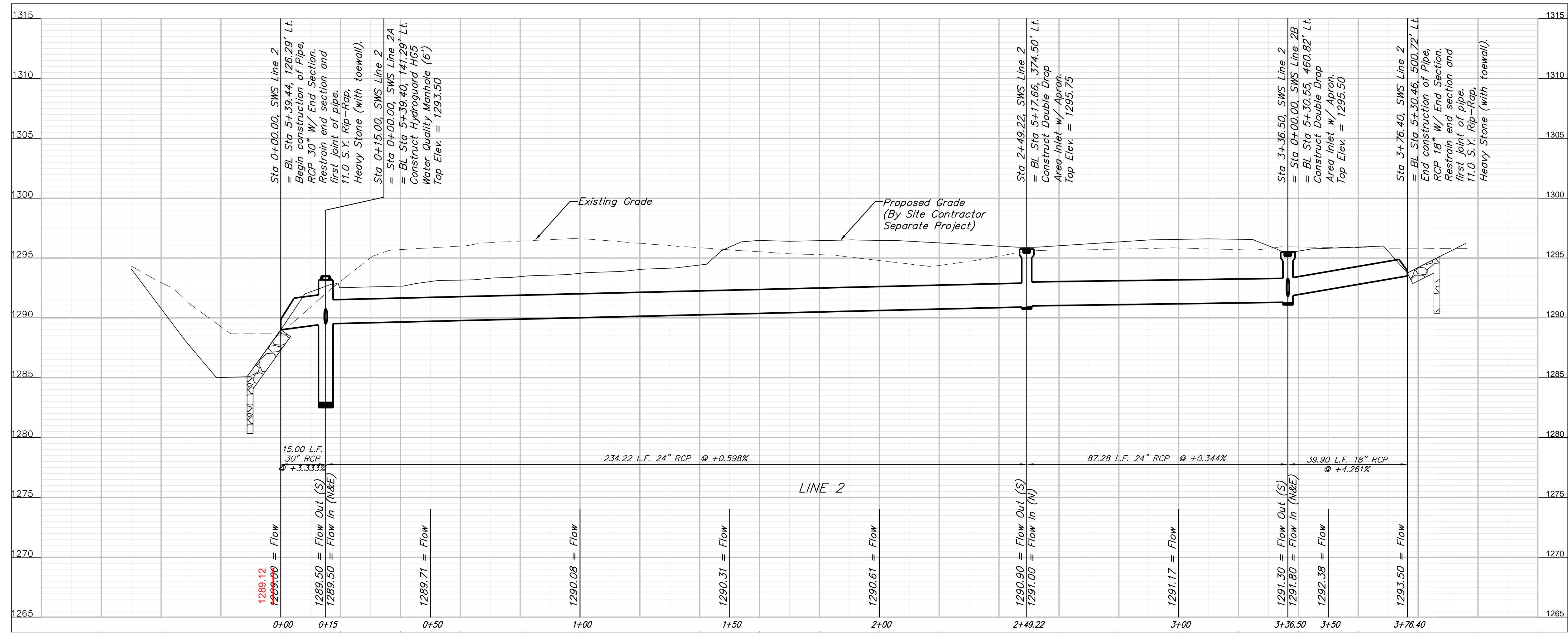
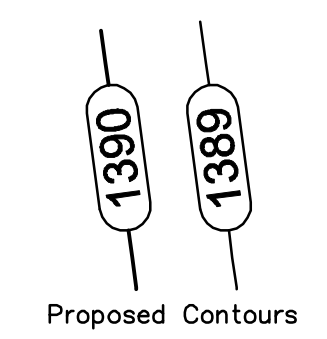


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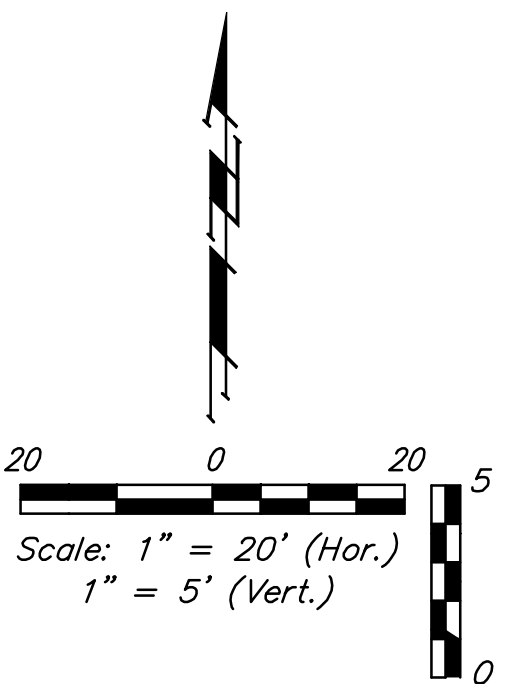
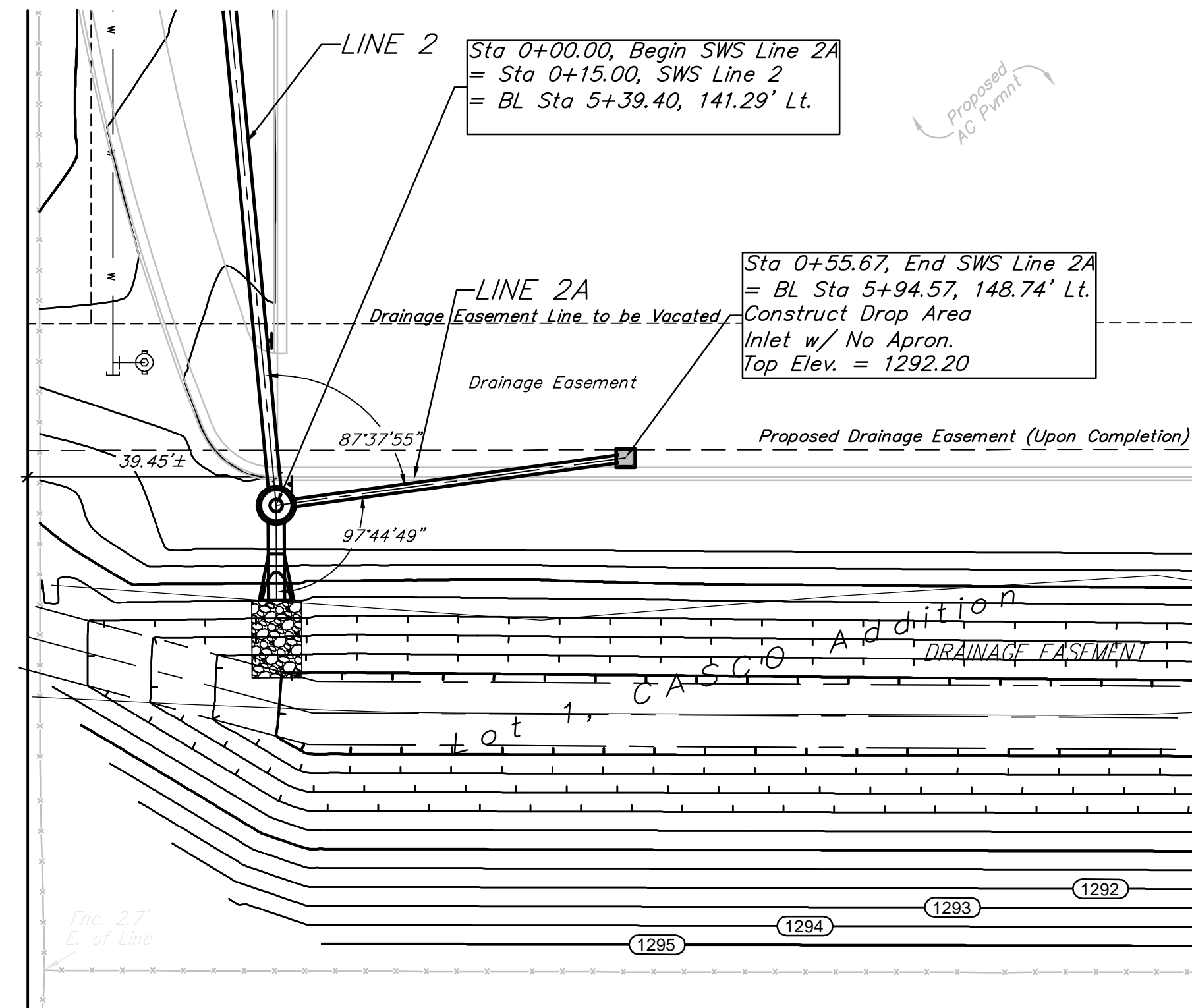
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Baughman Company, P.A.
115 E. Wacker, 45th Fl., P.O. Box 2711, E. 116th St., Overland Park, KS 66204
Engineering, Surveying, Planning, Architecture
11/15/12 11/15/12
11/15/12 11/15/12

Casco Addition
LINE 2
Drainage Improvements

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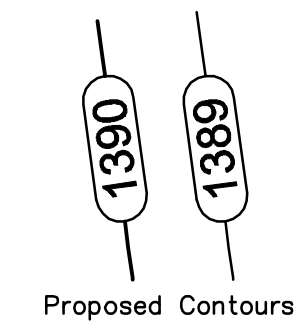


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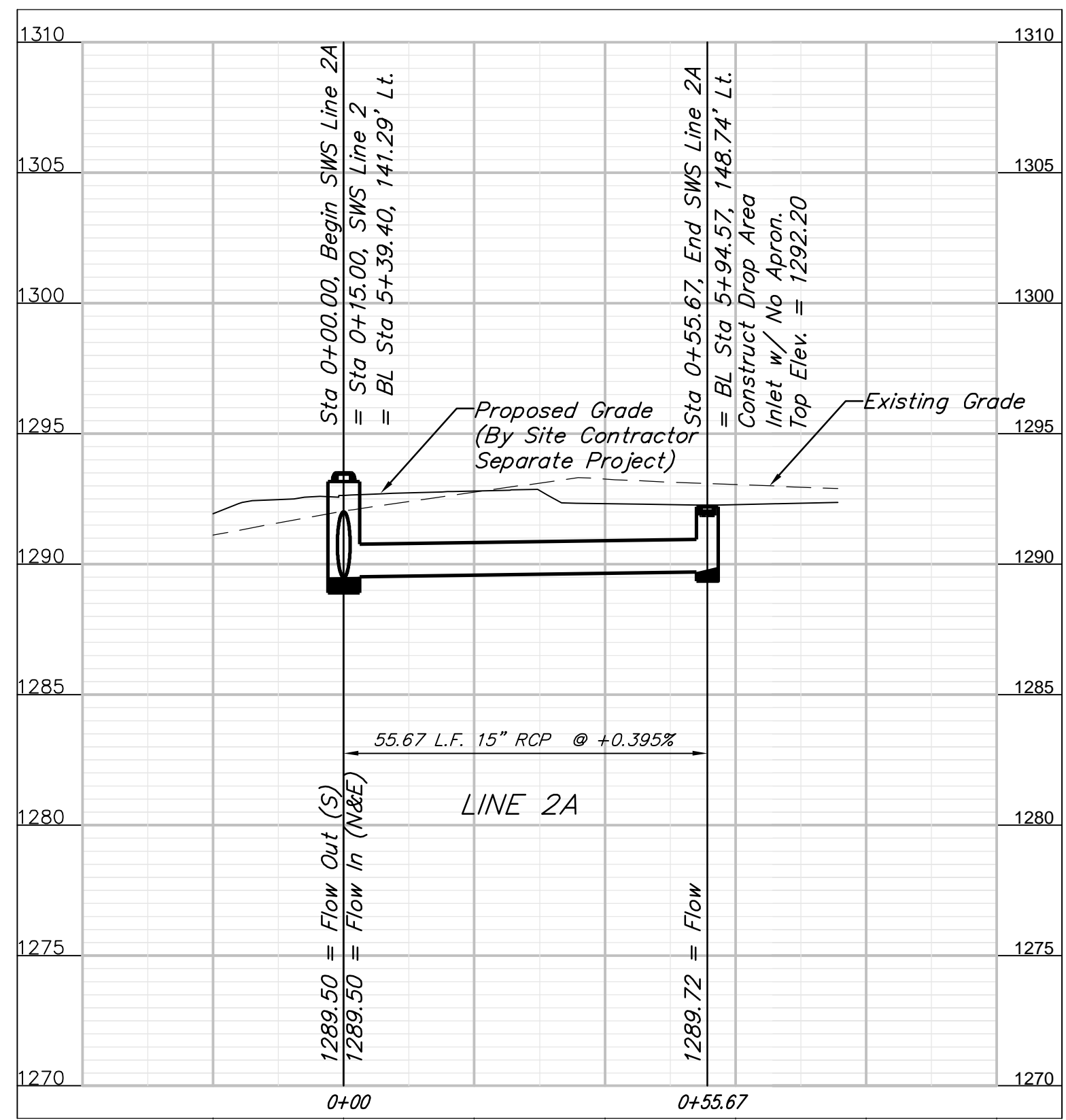
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Trees shall be removed only as necessary for storm sewer construction.



Plan

Profile

Outlet Baffle Wall

Outlet

Outlet Baffle Wall

Inner Chamber

Inlet

Outlet

Outlet Baffle Wall

Varies

Varies

66.0

Varies

Varies

60.0

Varies

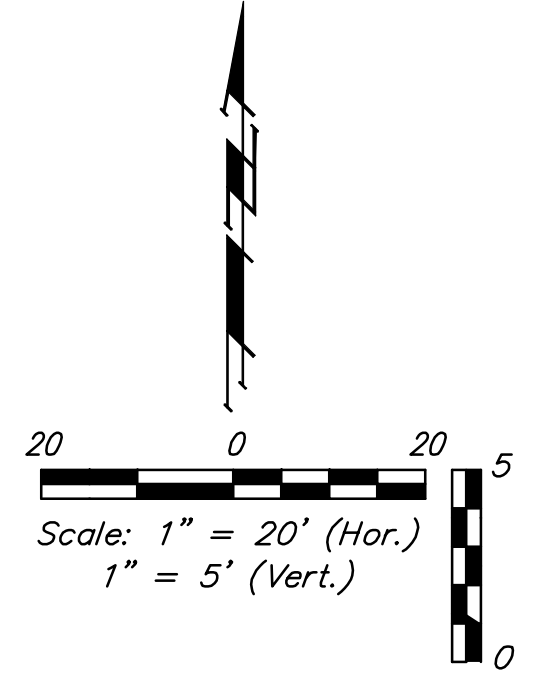
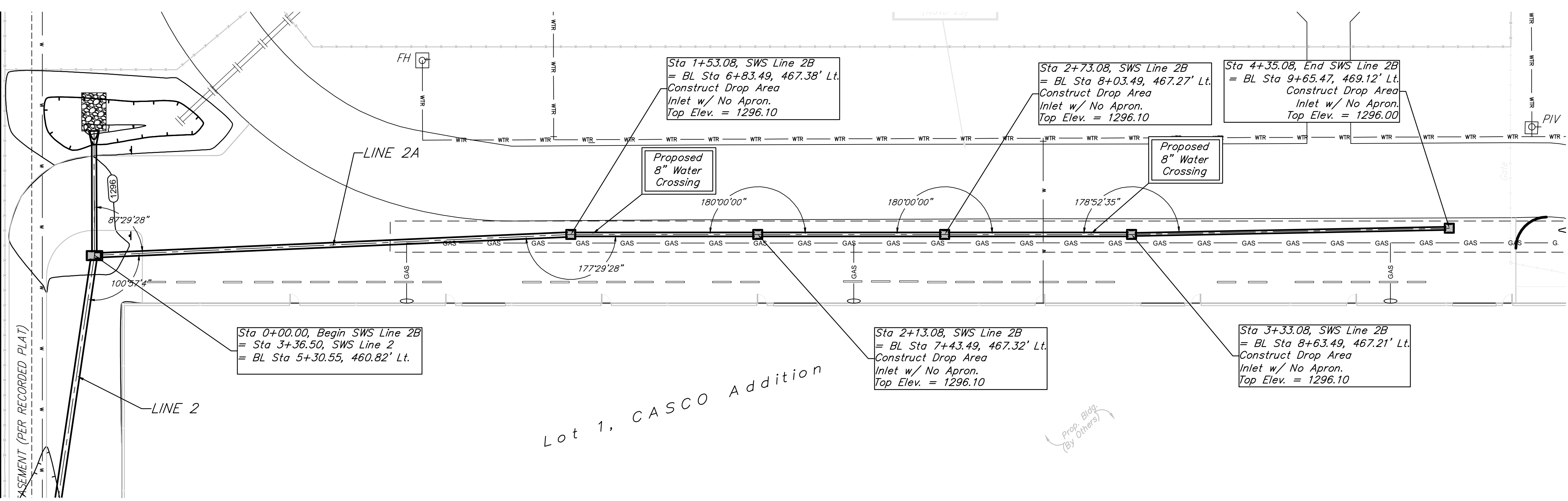
U.S. Patent No. 6,951,619

Dimensions in inches
Permanent Pool Volume = 800 US gallons
The Hydroguard must be cleaned after the construction period if it is used as a sediment and erosion control measure
The Hydroguard should be inspected once per year for stabilized sites
Inspection will determine the maintenance frequency (annual maintenance or once every two years typical for stabilized sites)
Sites with unstable conditions (exposed soil or materials storage) will require more frequent inspection and maintenance

Hydroworks HG5 (60"Ø)	
PROJECT:	
LOCATION:	
REVISION DATE: 02/10/2011	



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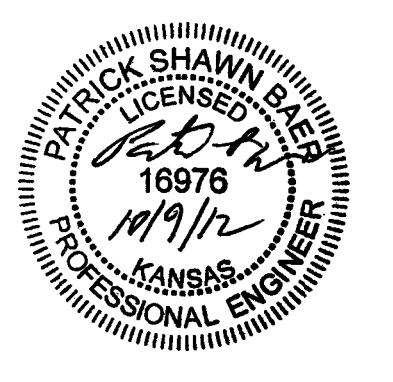
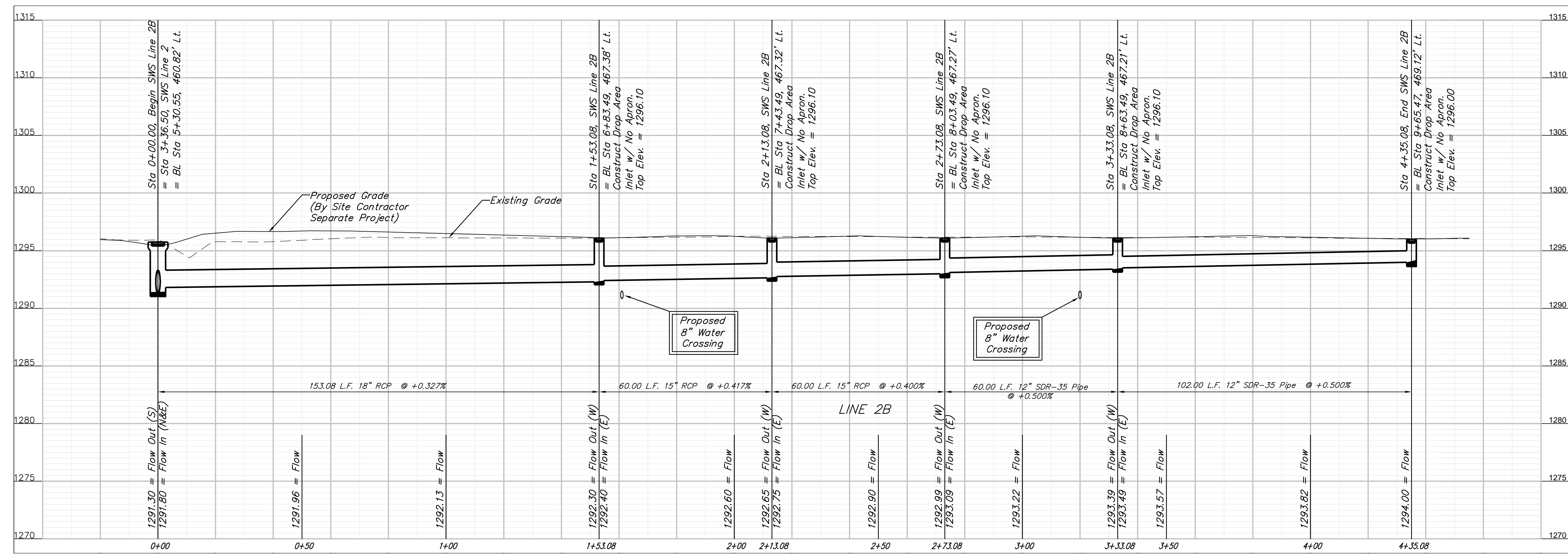
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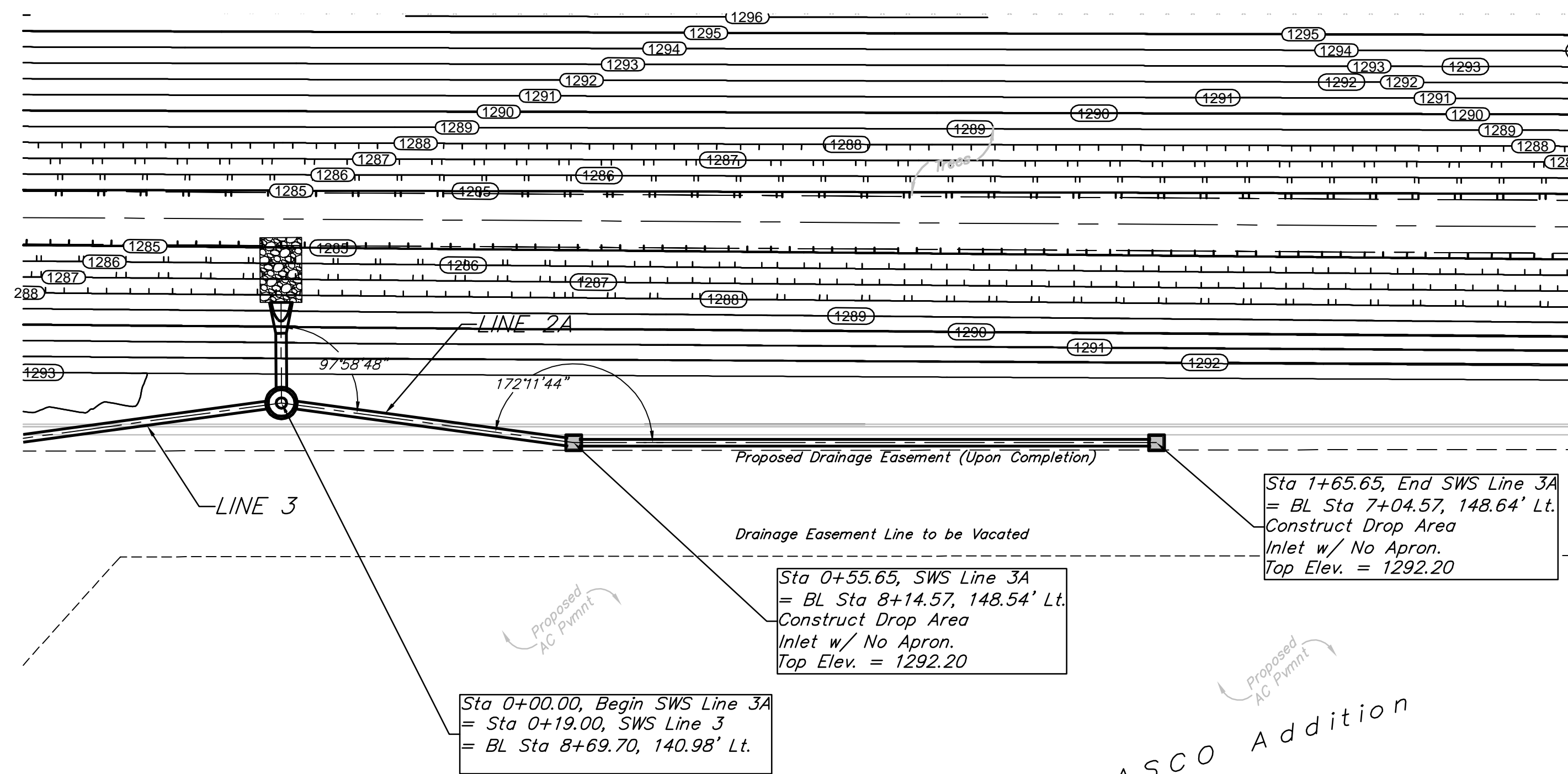
Lot 1, CASCO Addition

Prop. Bldg. (By Others)



Baughman Company, P.A.
 THE STATE OF KANSAS, LICENSE NO. 16976, EXPIRES 11/30/2017, E. 1415 S. 42ND ST., SUITE 100, OMAHA, NE 68104
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE
 Patrick Baughman, P.E., License No. 16976, State of Kansas
 Date: 07/12

Casco Addition
LINE 2B
 Drainage Improvements

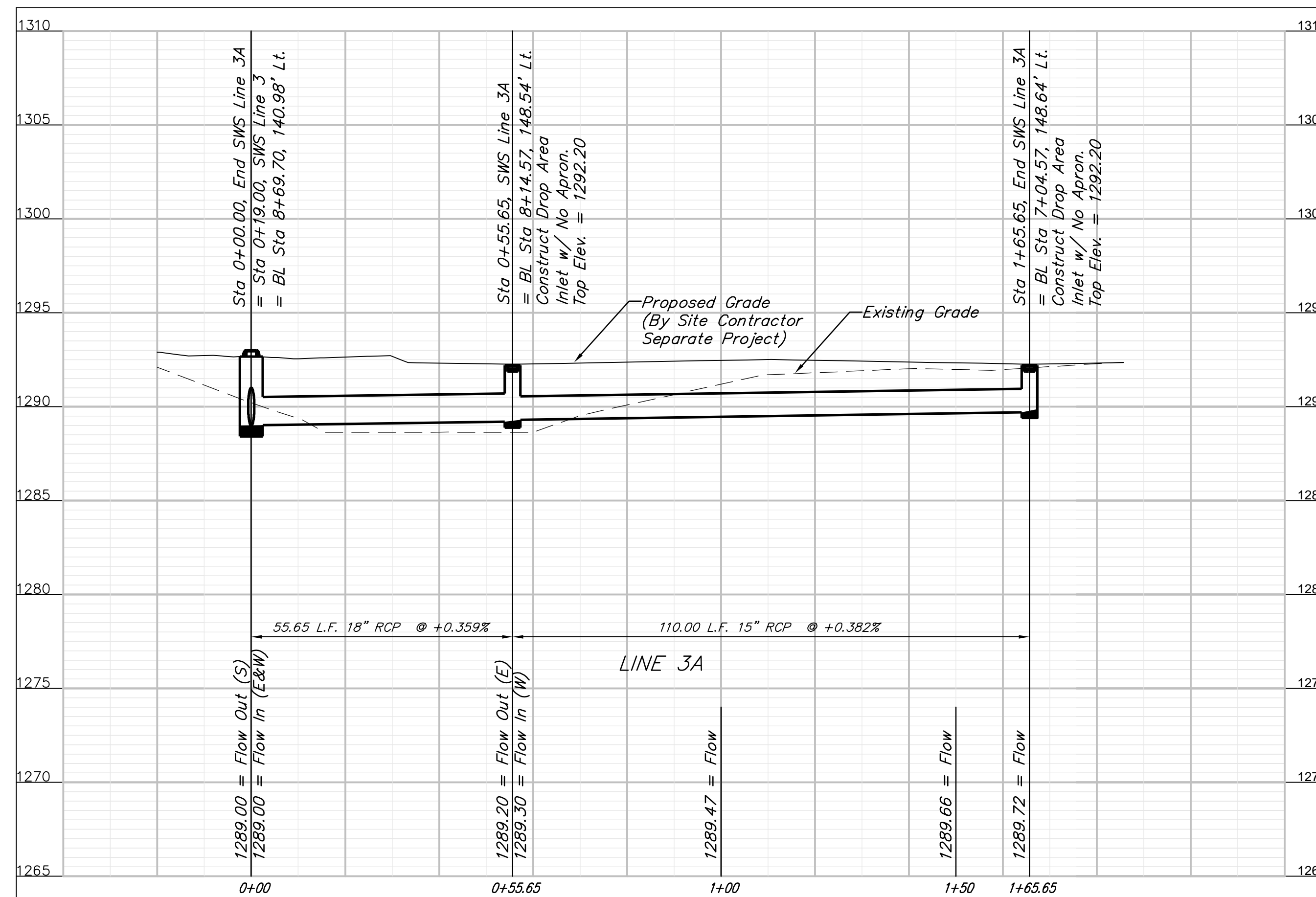
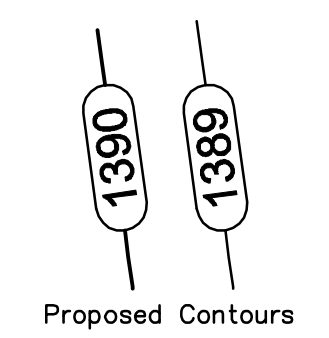


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LEGAL DESCRIPTION

Lot 1 of Casco Addition, Wichita, Sedgwick County, Kansas.

SITE INFORMATION

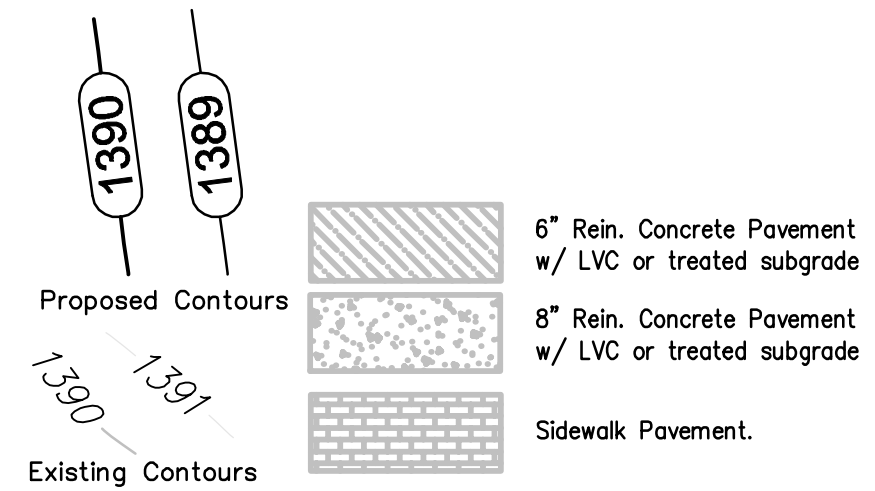
Total Area: ±637,551 sq. ft. (14.64 acres)
 Disturbed Area: ±283,650 sq. ft. (6.00 acres)
 New Impervious Area: ±182,104 sq. ft. (4.32 acres)
 Building Area: 90,000 sq. ft.

GRADING NOTES

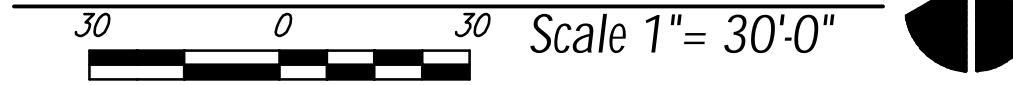
- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 - Kansas Gas Service (Gas).....1-888-482-4950
 - Black Hills Energy (Gas).....1-800-303-0357
 - Westar Energy (Electric).....383-8650
 - Cox Communications (Telecommunication).....262-4270
 - AT&T (Telecommunication).....268-2759
 - City of Wichita Water Dept. (Water).....268-4563 or 268-4908
 - City of Wichita Sewer Maint.(San. Sewer).....268-4024 or 262-6000
 - City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
 - City of Wichita Traffic Maint.(Traf. Control).....268-4034 or 268-4203
 - Conoco Pipeline Co. (Petroleum).....1-800-231-2551
 - Williams Pipeline Co. (Petroleum).....529-6800 or 1-800-324-9696
 - Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Signing and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density, with mechanical and chemical treatment. Refer to pavement details and the geotechnical report provided for this site.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks.

GRADING LEGEND

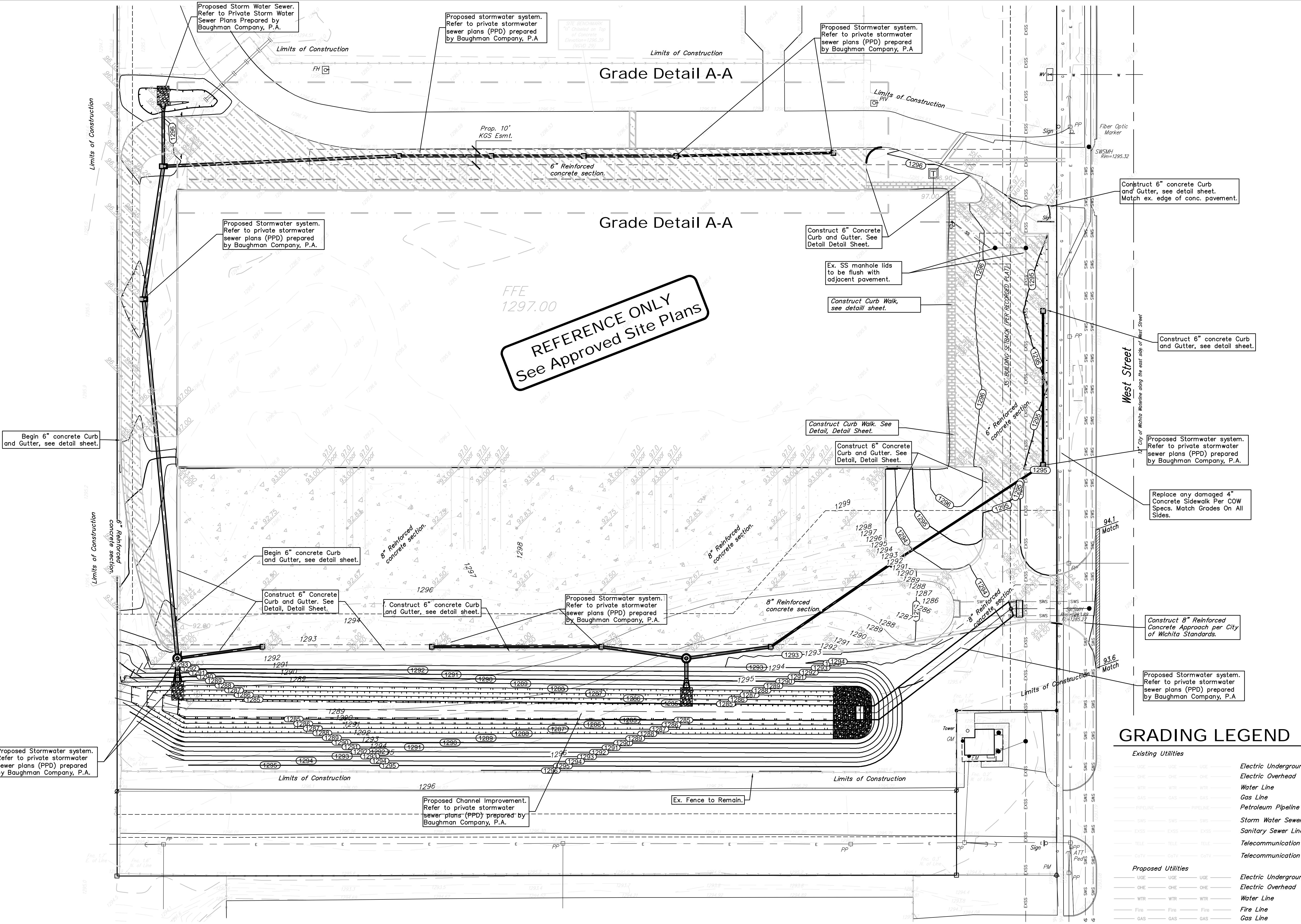
Existing Utilities		Proposed Utilities	
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	Telecommunication (Cox)		Storm Water Sewer Pipe
	Sanitary Sewer Line		Telecommunication (AT&T)
	Telecommunication (Cox)		Telecommunication (Cox)



SITE GRADING PLAN



REFERENCE ONLY
 See Approved Site Plans



CASCO ADDITION REFERENCE GRADING PLAN SITE IMPROVEMENTS

Baughman Company, P.A. 315 Erie St. Wichita, KS 67211 P 316-262-7211 F 316-262-0149
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER 1201E712	DESIGN PSB DL
REVISIONS 10/2/12 psb Revised East Parking Lot for Landscape	APPROVED DATE PM 08.31.12
SCALE AS SHOWN	
SHEET 9 OF 12	

E:\Projects\Casco Addition Site Plan 1201E712\Engineering\CASCO PPD.dwg

BENCHMARK

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LEGAL DESCRIPTION

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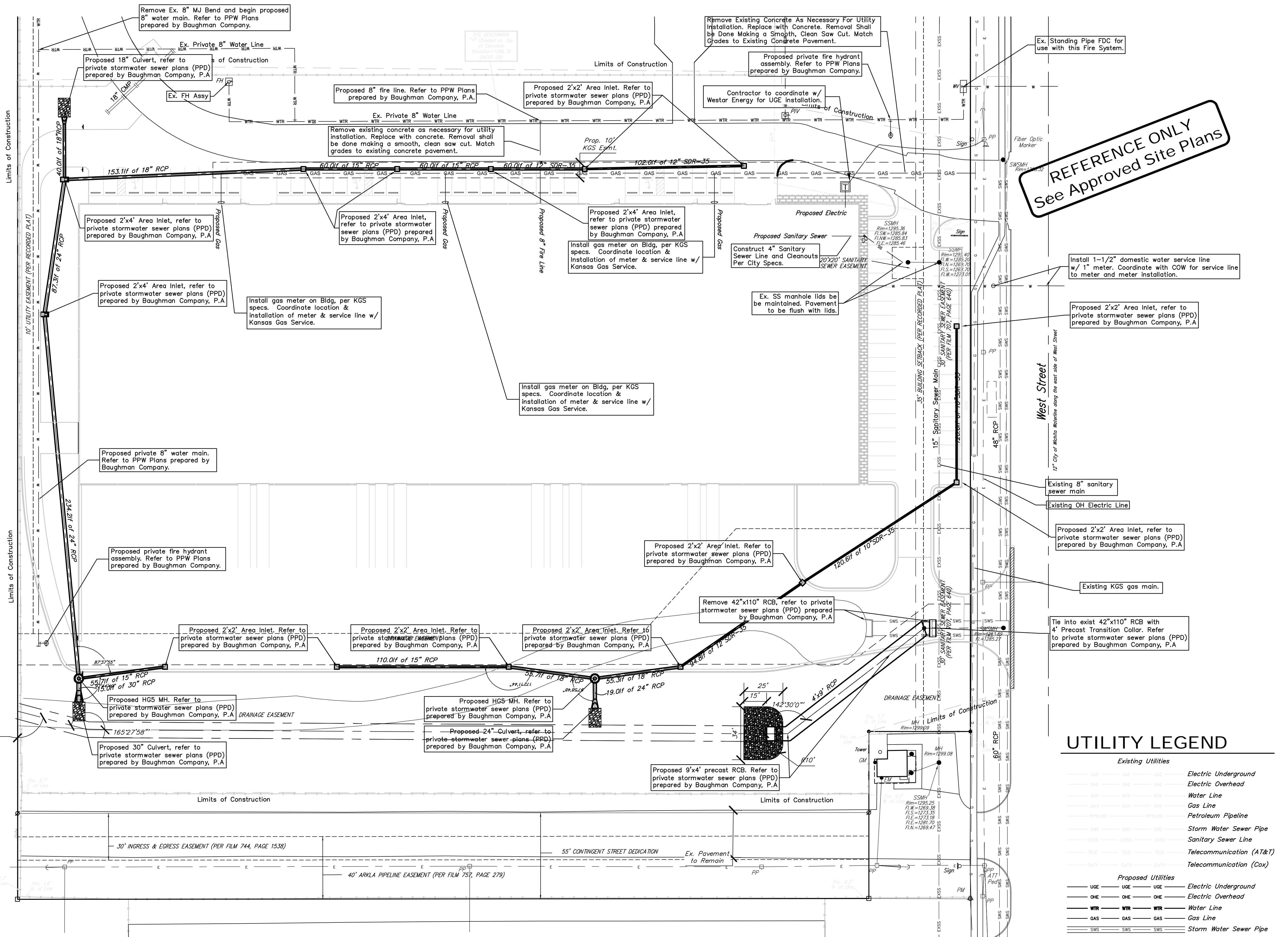
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 City of Wichita Traffic Maint.(Traf. Control).....268-4034
 or 268-4203
 Conoco Pipeline Co. (Petroleum).....1-800-231-2551
 Williams Pipeline Co. (Petroleum).....529-6600
 or 1-800-324-9996
 Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Erosion Control Plan for treatment of disturbed areas.
- Proposed Water Main and Fire Hydrants shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The Water Main and Fire Hydrants shall be designed separately, and undergo Local City review and approval. The installation of the Water Main and Fire Hydrants are required to be done by a bonded contractor, inspected and verified. Refer to Separate Water Main and Fire Hydrants Plan Set. The Contractor shall construct the Water Main and Fire Hydrants only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Drainage Project (PPD)" The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. Storm sewer pipe length & size are only a reference to the PPD. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall receive written approval from adjacent landowners prior to proceeding with any construction work on landowner's property.
- Gas service tie-ins to new meters shall be per Local City codes. Tie-ins are to be above ground at the meter.
- Utility service connections are to be installed per applicable Local City Codes.
- Contractor shall be responsible for coordination of all utility service connections and all permits.
- Water taps to be made by Local City Water Department. Contractor to reimburse City for tapping costs.

REFERENCE ONLY
 See Approved Site Plans



UTILITY LEGEND

Existing Utilities	
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—	Water Line
—	Gas Line
—	Storm Water Sewer Pipe
—	Sanitary Sewer Line
—	Telecommunication (AT&T)
—	Telecommunication (Cox)

SITE UTILITY PLAN
 Scale 1" = 30'-0"

NOTE: General Contractor shall be responsible for connecting all utilities to proposed bldg. See Mechanical plans for exact locations on building.

NOTE: Each Utility's Respective Provider retains the right to service this site as they see fit and are not bound to the specific routing shown on this plan.

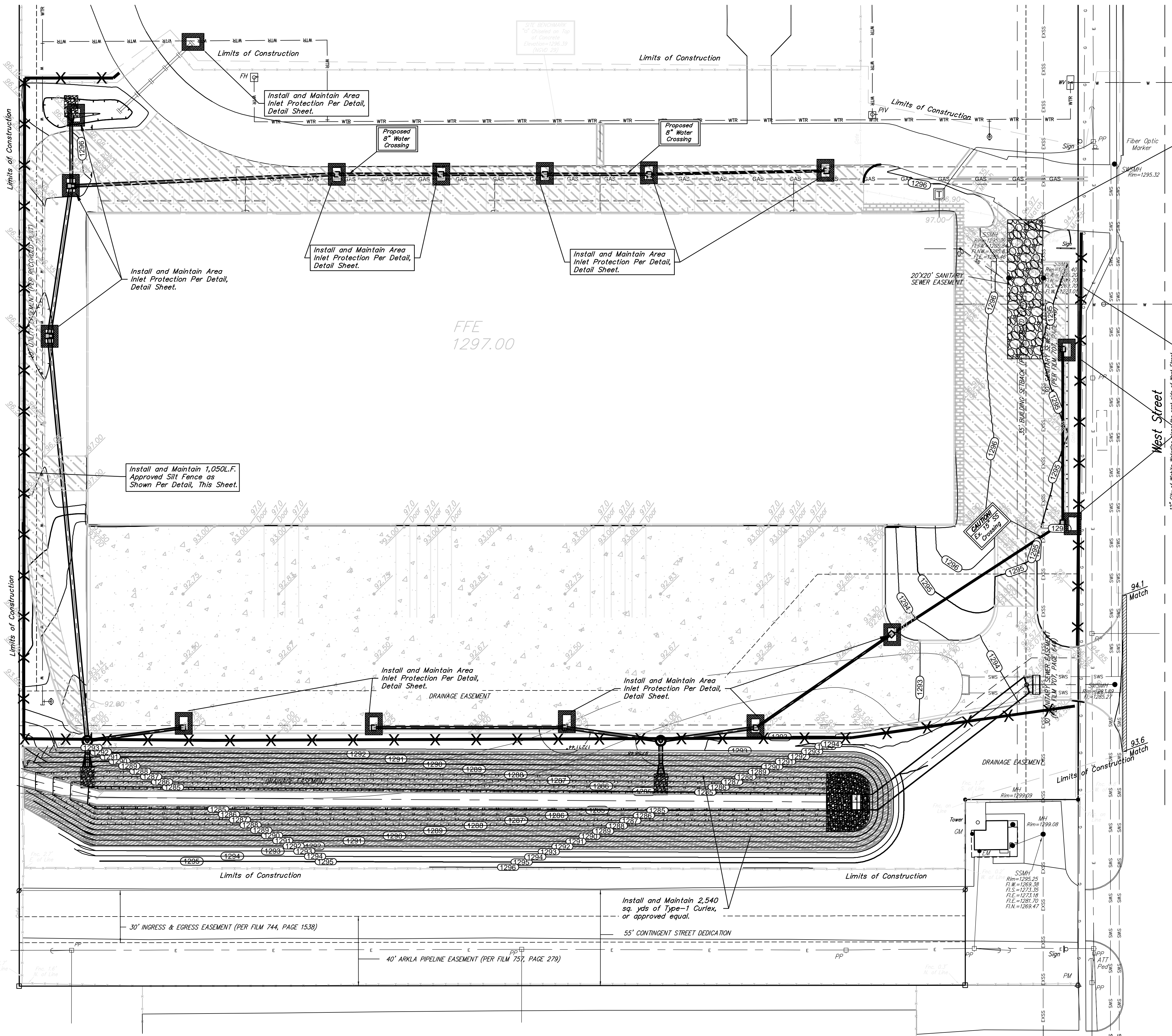
Baughman

Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-0149 F 316-262-0149
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

CASCO ADDITION
REFERENCE
UTILITY PLAN
SITE IMPROVEMENTS

PROJECT NUMBER 12-01-E712	DESIGN psb DL
REVISIONS: 10/2/12 psb Revised East Parking lot for Landscape Requirements.	APPROVED PM DATE 08.31.12
SCALE AS SHOWN	SHEET 10 OF 12

E:\Projects\Casco Addition Site Plan
 12-01-E712-engineering\12-01-PPD.dwg



CONSTRUCTION ENTRANCE INFORMATION:
 Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines, and Detail, this Sheet. Entrance Shall be a Minimum of 12' Wide by 50" in Length With 2"-3" Dia. Stone at a Depth of 6".

BENCHMARK

Benchmark-1
 "□" Chiseled on top of concrete approx. 300' west of east property line, 494' north of south property line.
 Elev. = 1296.39 (NGVD 29)

LEGAL DESCRIPTION

Lot 1 excluding the North 390' of Casco Addition, Wichita, Sedgwick County, Kansas.

SITE INFORMATION

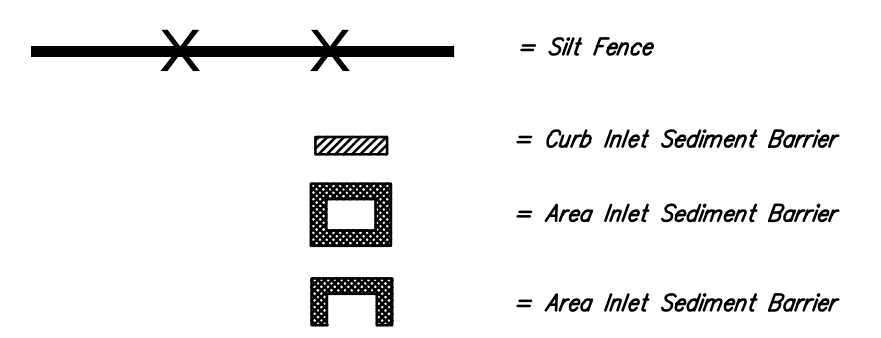
Total Area:	±637,551 sq. ft. (14.64 acres)
Disturbed Area:	±283,650 sq. ft. (6.00 acres)
Ex. Impervious Area:	±238,710 sq. ft. (5.48 acres)
New Impervious Area:	±188,360 sq. ft. (4.32 acres)
Total Impervious Area:	±427,070 sq. ft. (9.80 acres)
New Building Area:	90,000 sq. ft.

EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 21 days of final GRADING.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

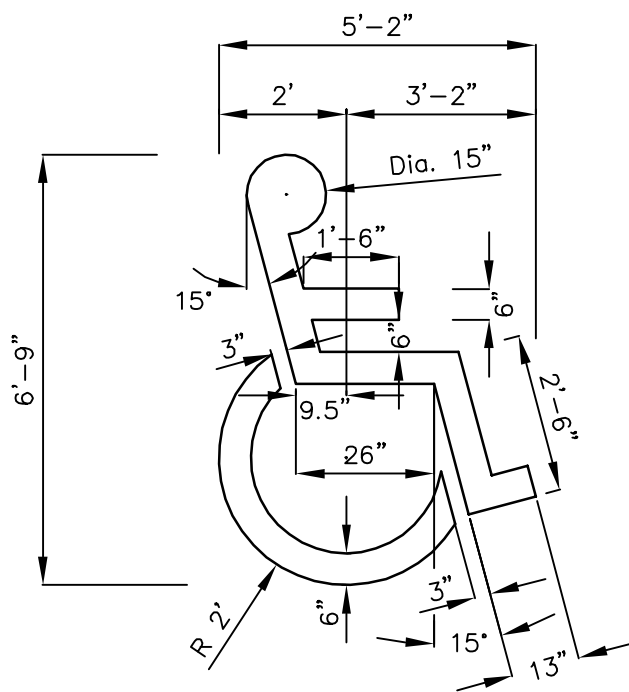
REFERENCE ONLY
 See Approved Site Plans

EROSION CONTROL LEGEND

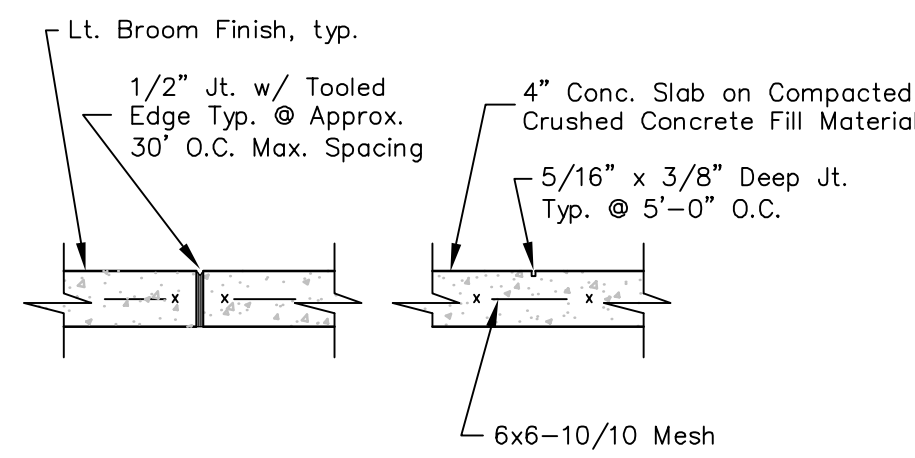


SITE EROSION CONTROL PLAN
 Scale 1" = 30' 0"

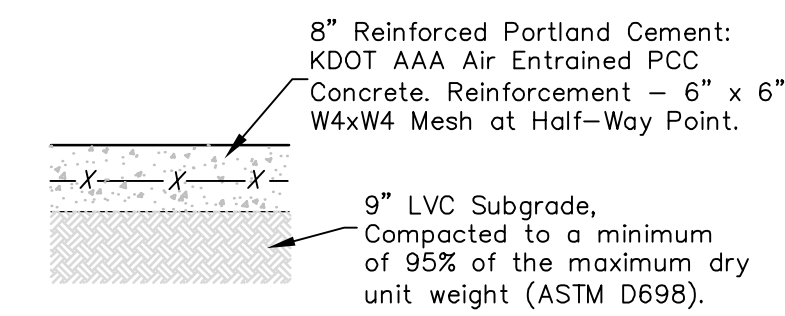
	CASCO ADDITION REFERENCE EROSION CONTROL PLAN SITE IMPROVEMENTS	
	Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316.262.7271 F 316.262.0149	
PROJECT NUMBER 12.01-E712	DESIGN psb	DRAWN DL
REVISIONS 10/2/12 psb Add 2 Type I Curlex for Channel Improvements	APPROVED PM	DATE 08.31.12
SCALE AS SHOWN		SHEET 11 OF 12



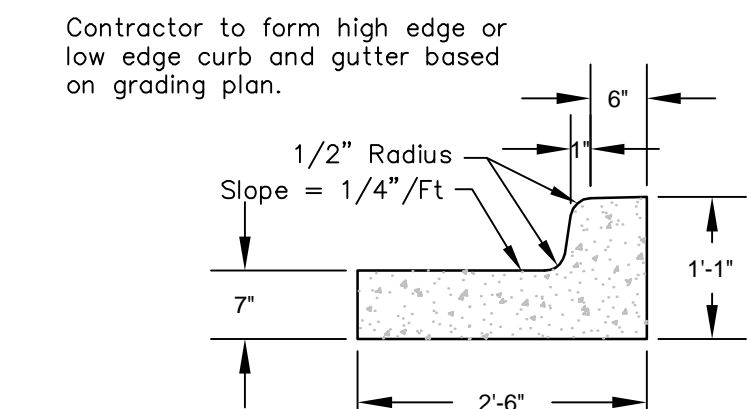
1 HANDICAP PAV. MARKING DETAIL
NOT TO SCALE



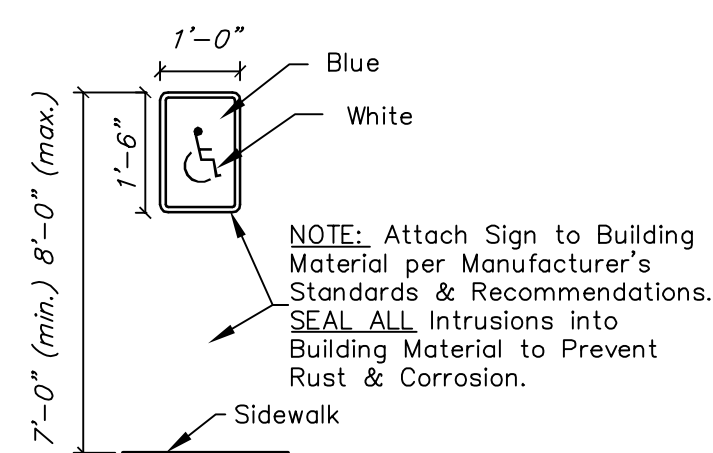
2 SIDEWALK JOINTS
NOT TO SCALE



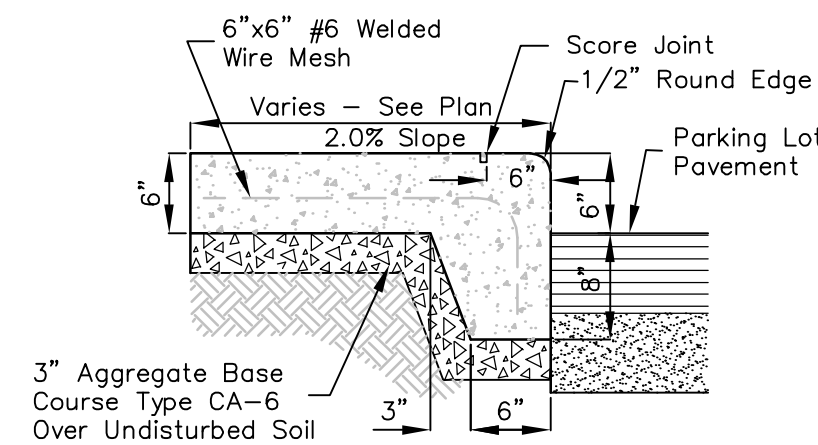
3 8" CONCRETE PAVEMENT
NOT TO SCALE



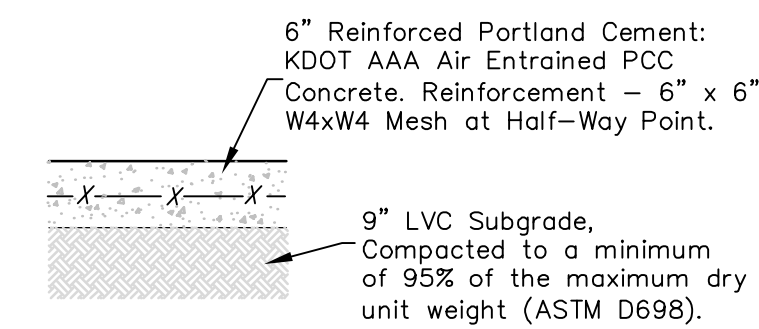
4 CURB & GUTTER SECTION
NOT TO SCALE



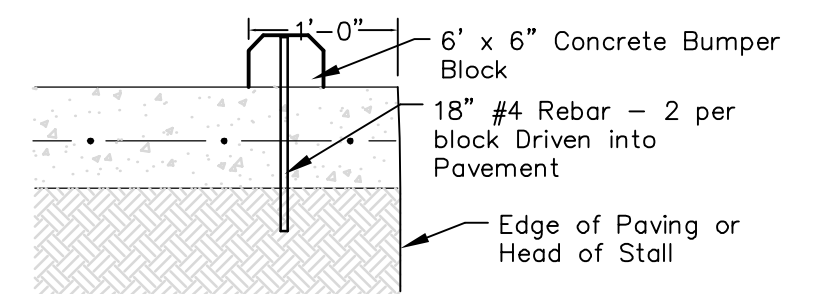
5 HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



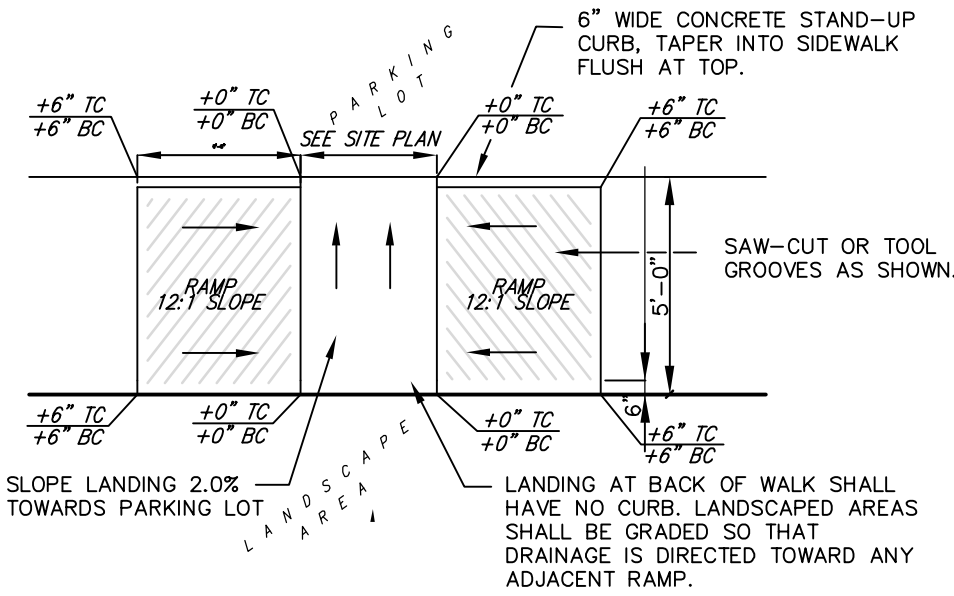
6 CURB-WALK SECTION
NOT TO SCALE



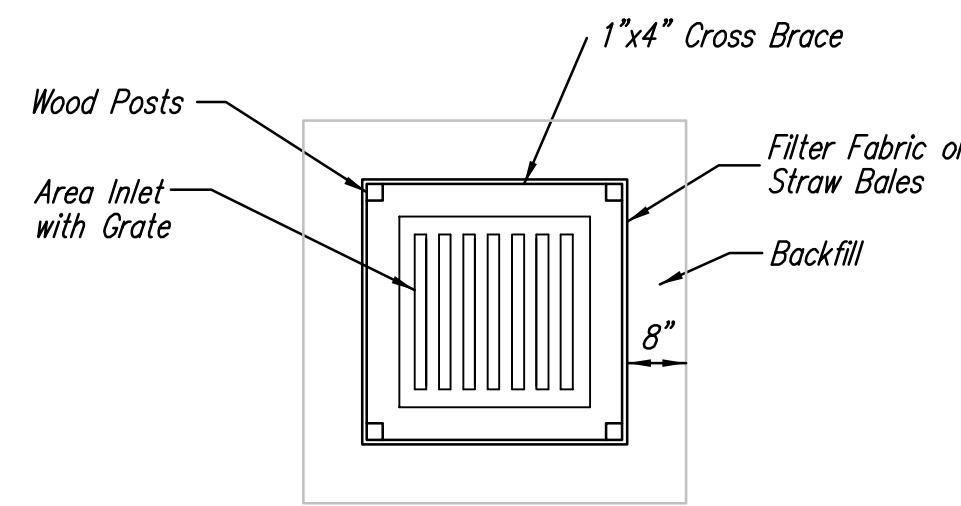
7 6" CONCRETE PAVEMENT
NOT TO SCALE



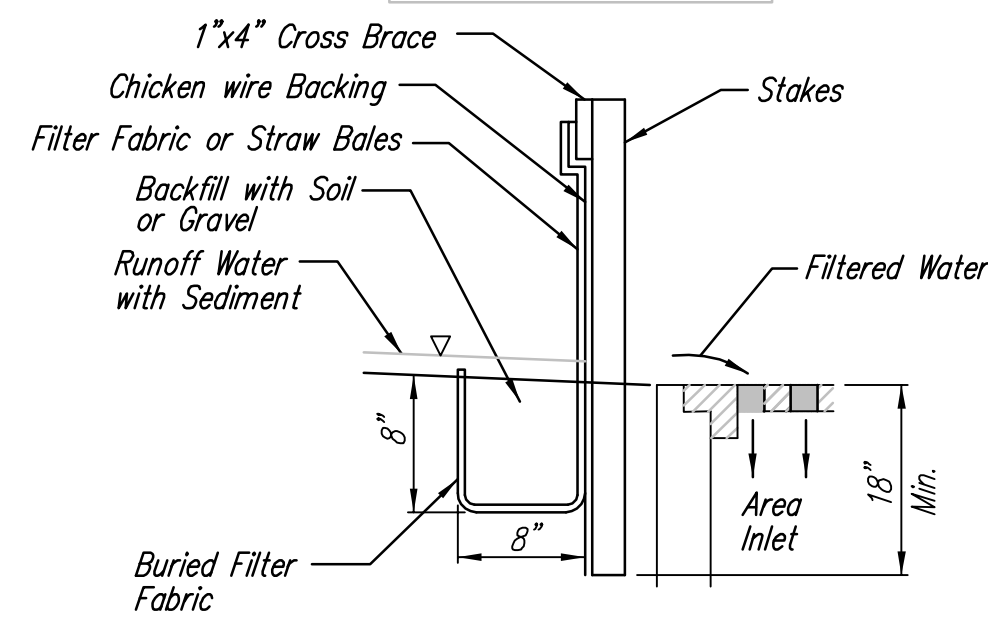
8 TYP. CONCRETE WHEELSTOP
NOT TO SCALE



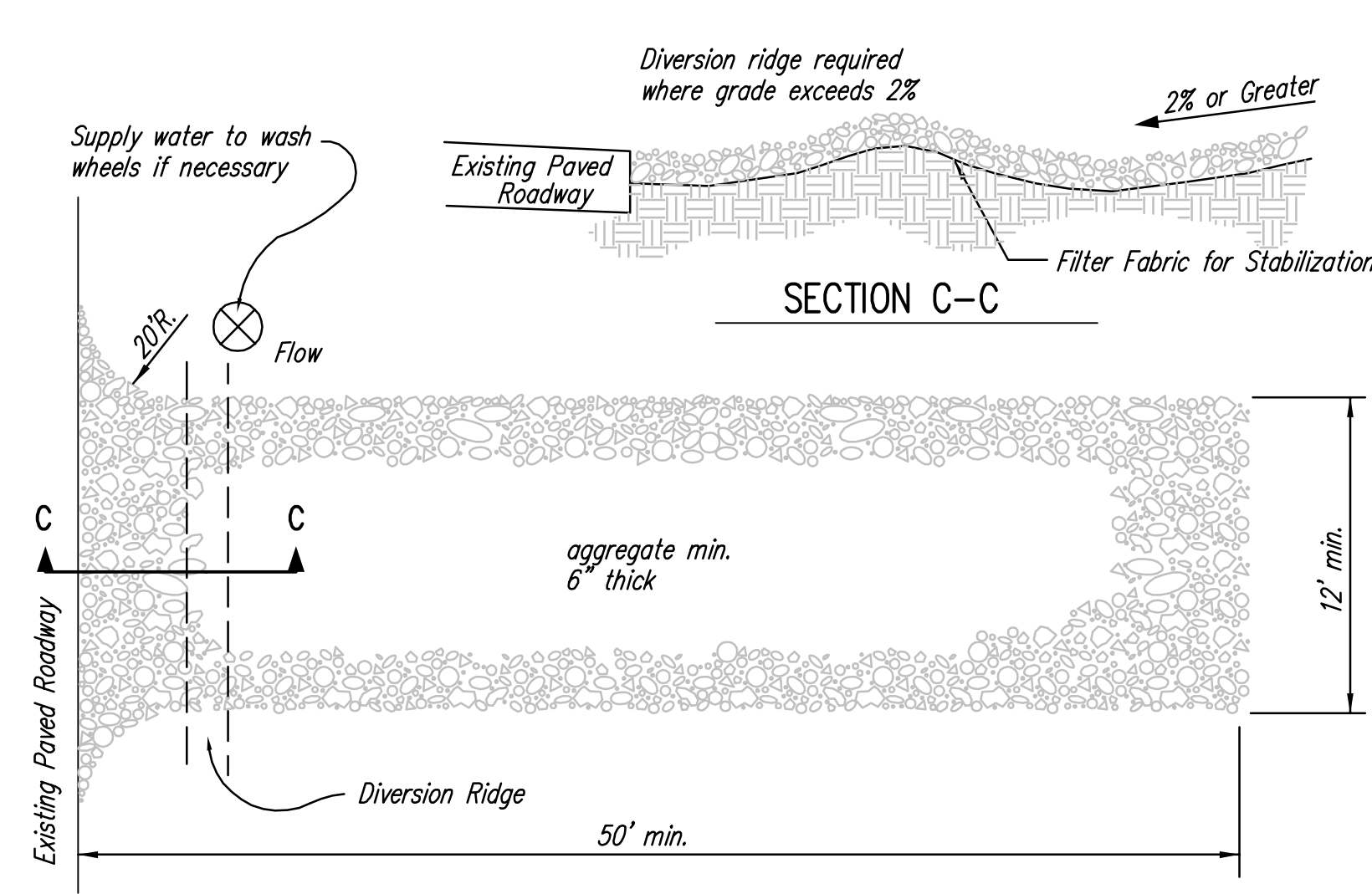
9 HANDICAP RAMP
NOT TO SCALE



10 INLET PROTECTION FOR AREA INLETS
(INLET PROTECTION: SILT FENCE OR STRAW BALES)



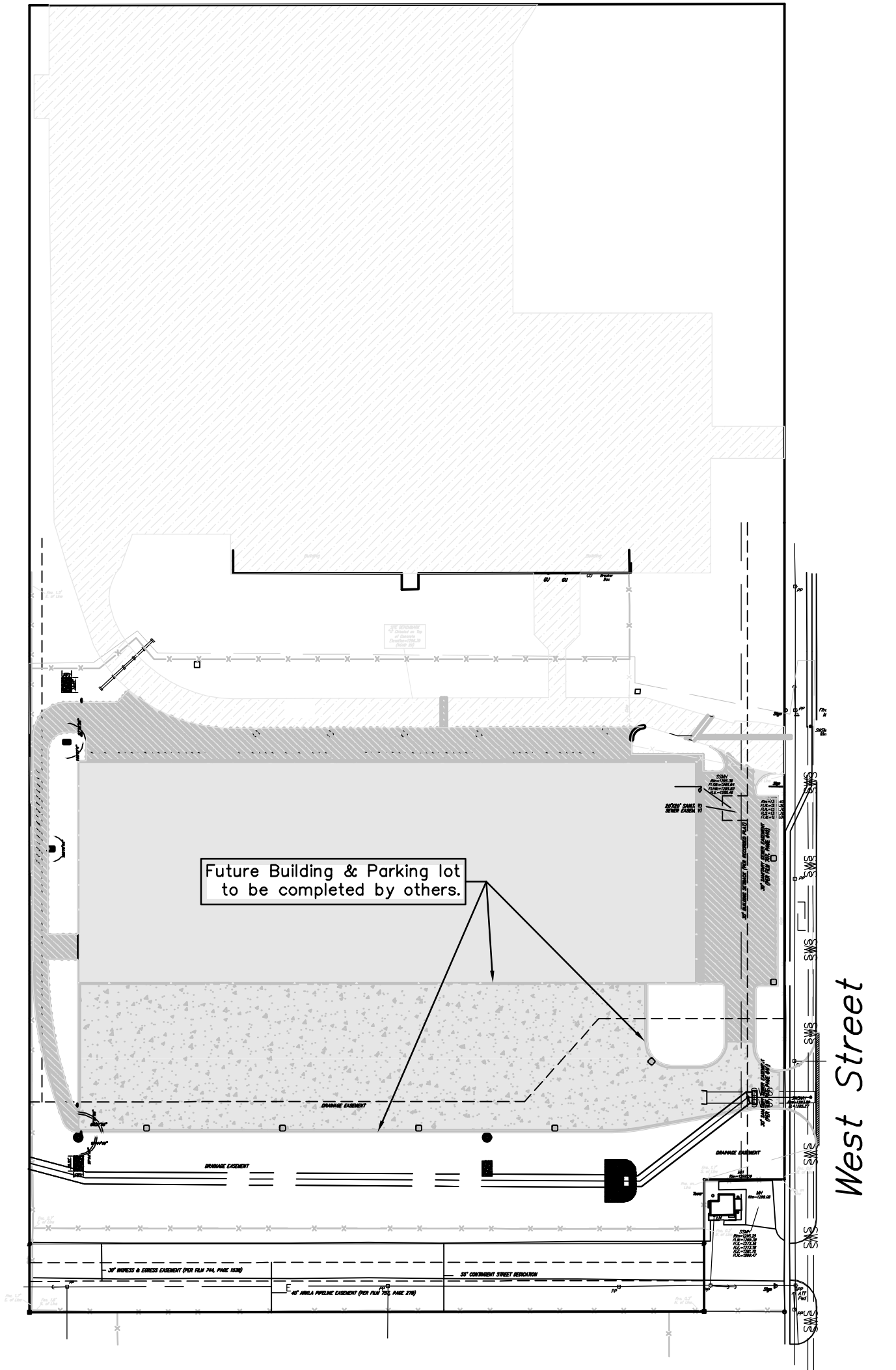
11 SILT FENCE DETAIL
NOT TO SCALE



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

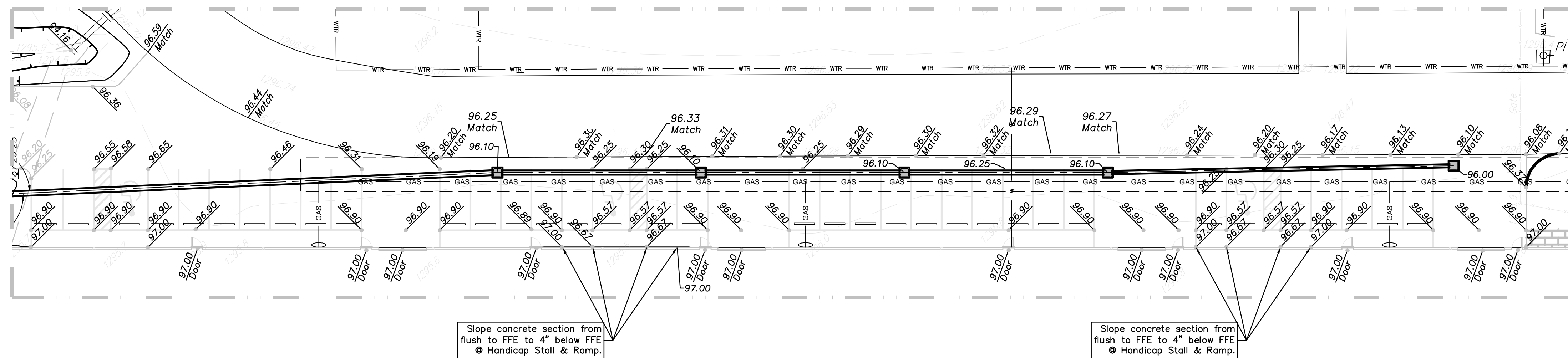
13 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

REFERENCE ONLY
See Approved Site Plans



Lot 1, Casco Add. ±637,551 sq. ft. (14.64 acres)
 Existing Impervious Area: ±222,986 sq. ft. (5.12 acres)
 Added Impervious Area: ±182,104 sq. ft. (4.18 acres)
 Total Disturbed Area: ±283,650 sq. ft. (6.51 acres)

ERU PLAN
Scale 1" = 150'



Grading Detail A-A
Scale 1" = 20'-0"

Baughman		CASCO ADDITINO REFERENCE ERU PLAN & DETAILS SITE IMPROVEMENTS	
Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7211 F 316-262-0199			
PROJECT NUMBER 1201E712		DESIGN psb DL	
REVISIONS: 10.2.12 Omitted Ditch Check Detail, Added ERU Plan		APPROVED DATE PM 08.31.12	
SCALE AS SHOWN		SHEET 12 OF 12	