

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

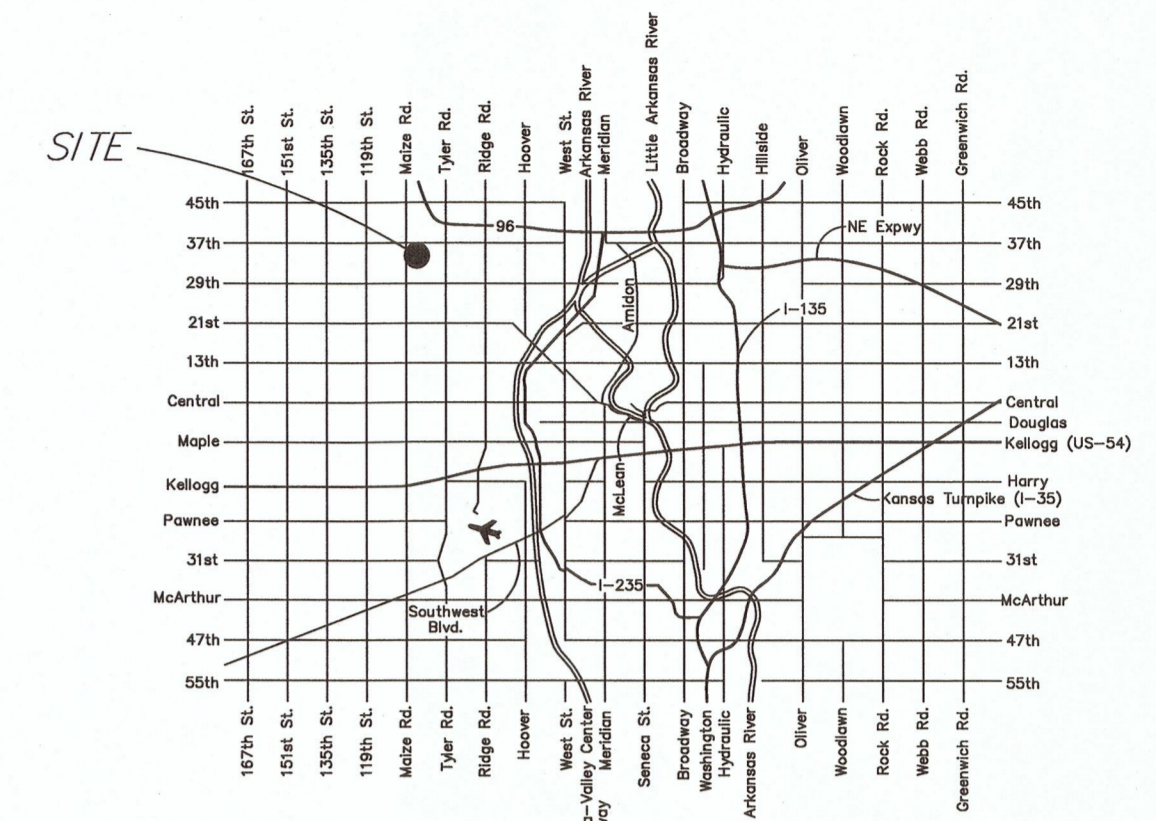
Kansas One-Call	1-316-687-2470
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The Contractor must notify the following in case of an emergency:

AT&T	1-800-246-8464
Black Hills Energy	1-800-694-8989
City of Wichita Water	1-316-268-4555
City of Wichita Sewer	1-316-268-4073
City of Wichita Stormwater	1-316-268-4090
City of Wichita Traffic	1-316-268-4034
Cox Communications	1-888-249-3530
Kansas Gas Service	1-888-482-4950
Westar Energy	1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material buried or stockpiled beyond approved construction limits would require additional archeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valves boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

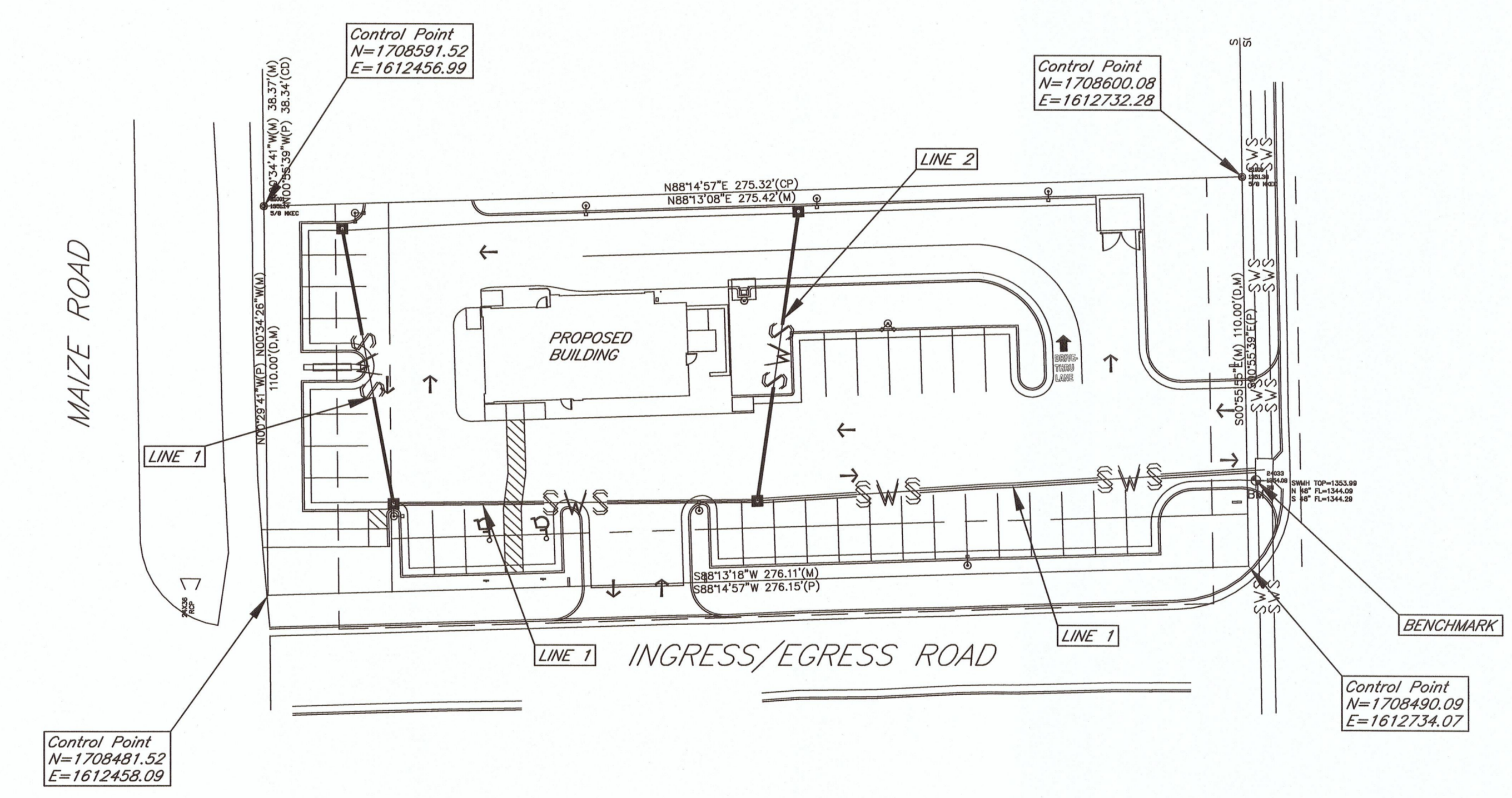
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top of the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line.
- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspection firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.

STORM SEWER IMPROVEMENTS
to serve
Part of Lot 3, Block 1 Stonebridge Commercial Addition
CITY OF WICHITA, KANSAS
Gary Janzen, P.E., City Engineer
0311 PPD (607861)



Vicinity Map
Index of Sheets:

- 1.0 Cover Sheet
- 2.0 Grading Plan
- 3.0 ERU Plan
- 4.0 Line 1 & 2
- 5.0 Grated Driveway Inlet Detail
- 5.1 Drop Inlet Detail
- 5.2 18F Snout Detail
- 6.0 Erosion Plan
- 7.1-7.5 Erosion Control BMP Details (attached or available on City's website)
- 8.0 Plat



Stormwater Certification:
New Development or Redevelopment

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Disturbed Area: 30329 sq. ft.
Water Quality Treatment: Menard's Pond & on-site snout for trash.
Downstream Channel Protection: N/A
Detention: Menard's Pond
The BMP used for this development is silt fence inlet protection.

Benchmark:
Chiseled square southwest corner of curb inlet at north return near southeast corner of Lot 3, Block 1, Stonebridge Commercial Addition.
Elev. = 1354.08 NAVD88

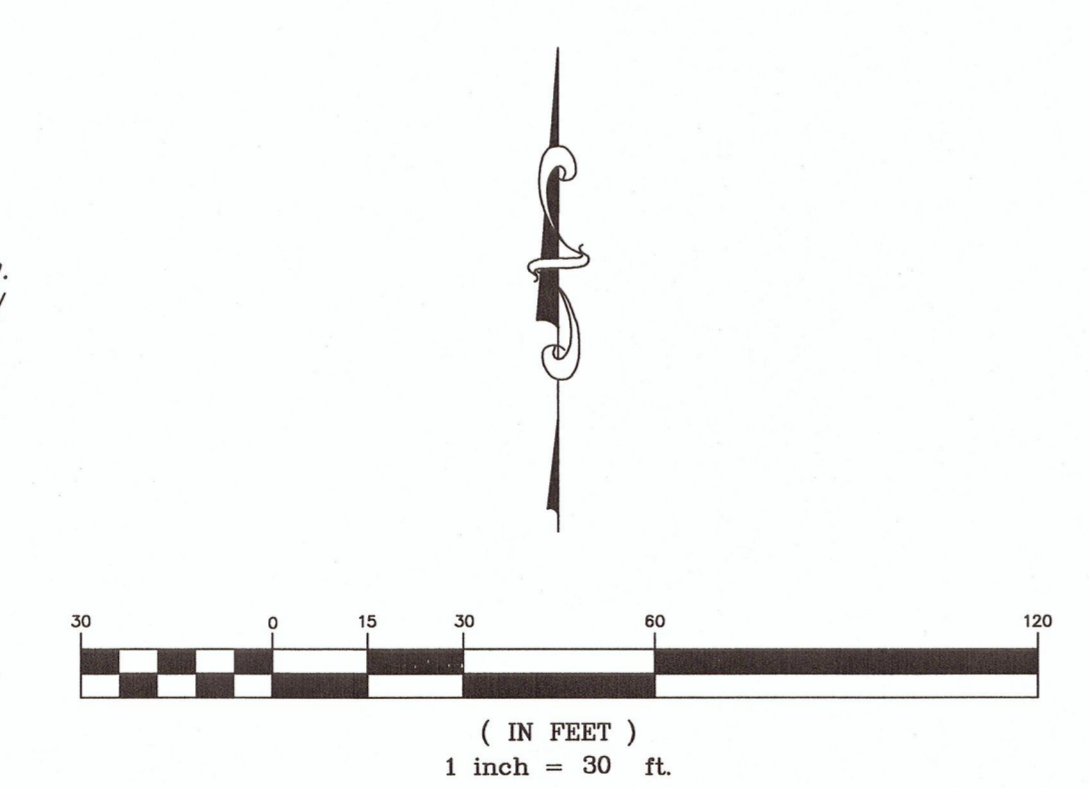
APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING
AND STORMWATER DIVISION

Engineering: *Rebecca Divil* 5/13/2015
Stormwater: *[Signature]* 05/13/15

NOTE TO CONTRACTORS

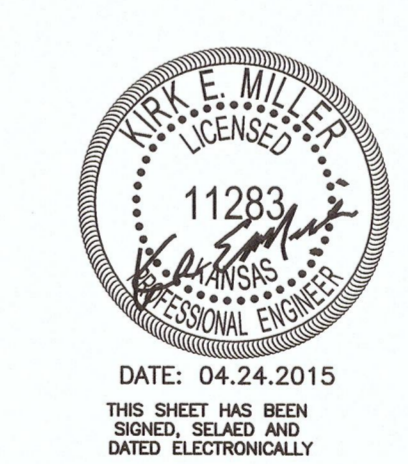
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.



AS BUILTS

Contractor: M.E. Todd Plbg. Co., Inc. 12/09/2015	Project Inspector: Larry Gann KEMILLER ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)264-0242
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March 2015

KEMILLER
ENGINEERING PA
117 E. Lewis, Wichita, KS 67202 (316)264-0242



THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF DAN WINTER ARCHITECT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

SUBWAY SANDWICH SHOP

Stonebridge Commercial Center
37th & Maize Rd. Wichita, Ks. 67205

DAN WINTER ARCHITECT

1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

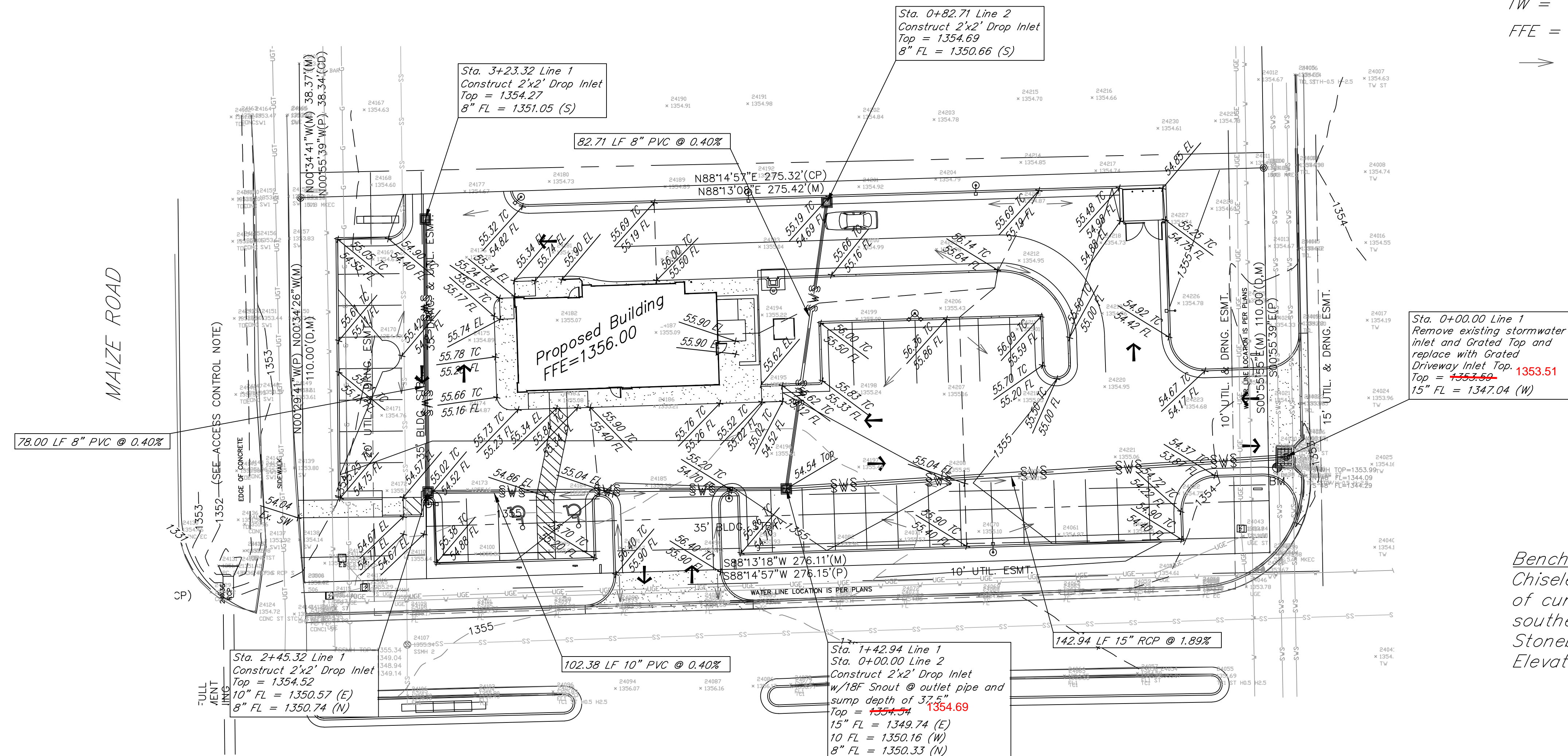
DATE
FEB. 23, 2015

DRAWN BY:
RICK C.
CHECKED BY:

SHEET NO.

Grading Legend:

- EP = Edge of Pavement
- EL = Elevation
- FL = Flow Line
- TC = Top of Curb
- SW = Top of Sidewalk
- TP = Top of Pavement
- TW = Top of Wall
- FFE = Finish Floor Elevation
- Flow Arrows



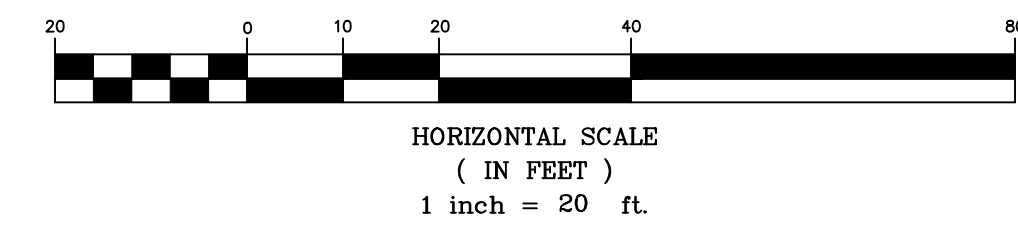
AS BUILTS

KEMILLER
ENGINEERING PA

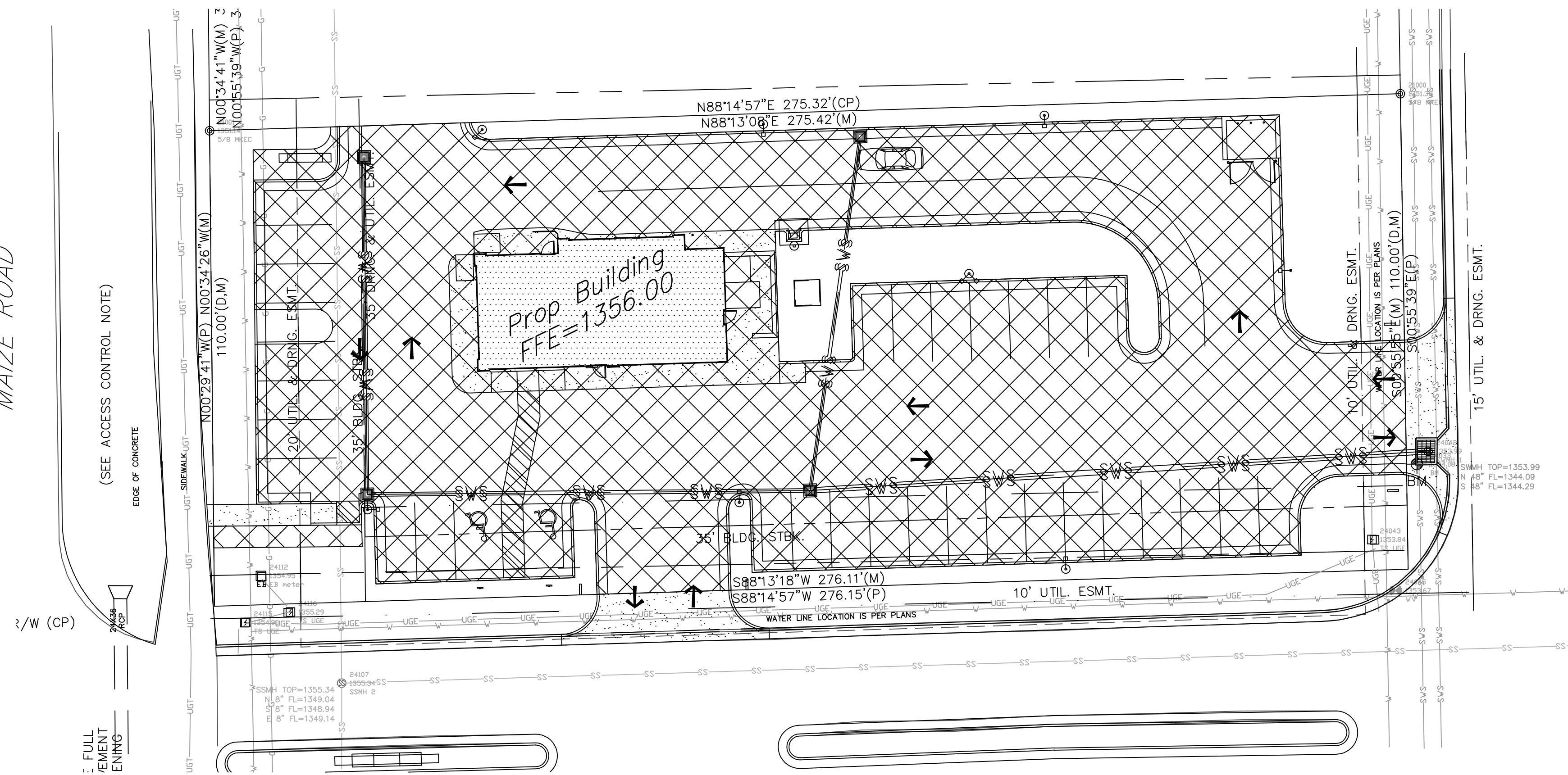
117 E. Lewis,
Wichita, KS 67202 (316)264-0242



DATE: 10.02.2015
THIS SHEET HAS BEEN
SIGNED, SEALED AND
DATED ELECTRONICALLY



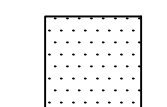
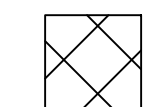
MAIZE ROAD



ERU Calculations:

Ex. Impervious Area =	0.0 sq. ft.
Total Lot Area =	30329.23 sq. ft.
Proposed Building Area =	1601.31 sq. ft.
Proposed Parking, Sidewalks, and Other Impervious Areas =	21800.69 sq. ft.
Total Impervious Area =	23402.00 sq. ft.
(Post Construction)	
Net Increase in Impervious Area =	23402.00 sq. ft.

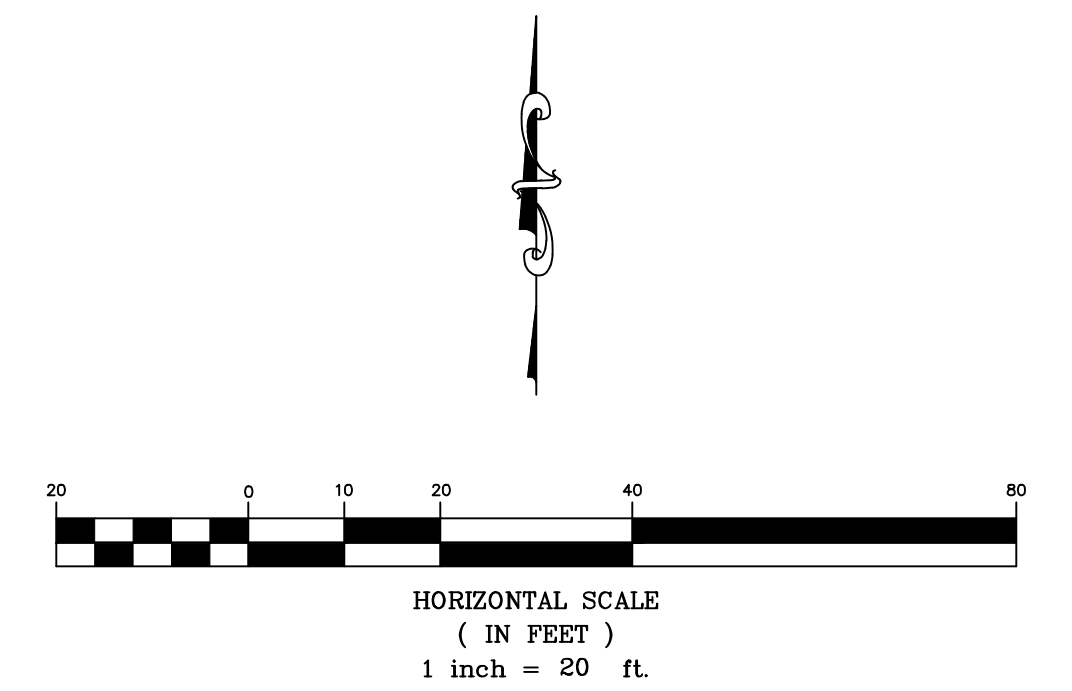
Hatching Legend:

-  Building Area
-  Parking, Sidewalks, and Other Impervious Area




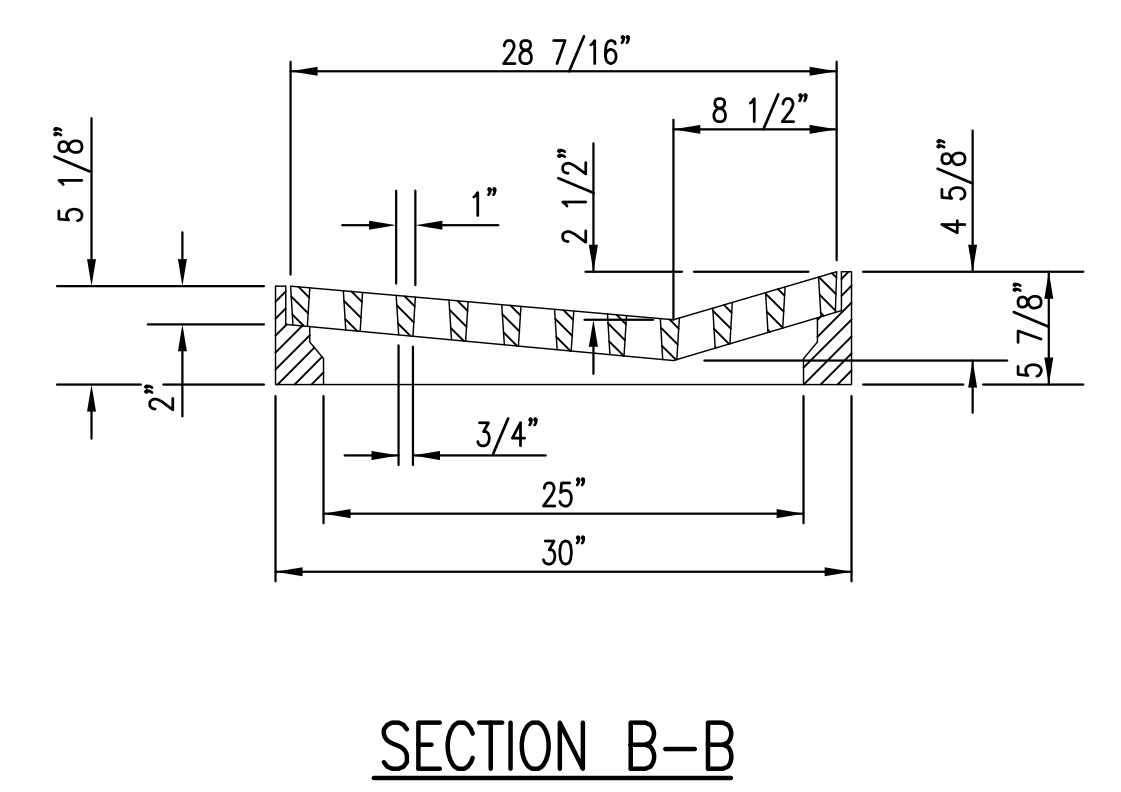
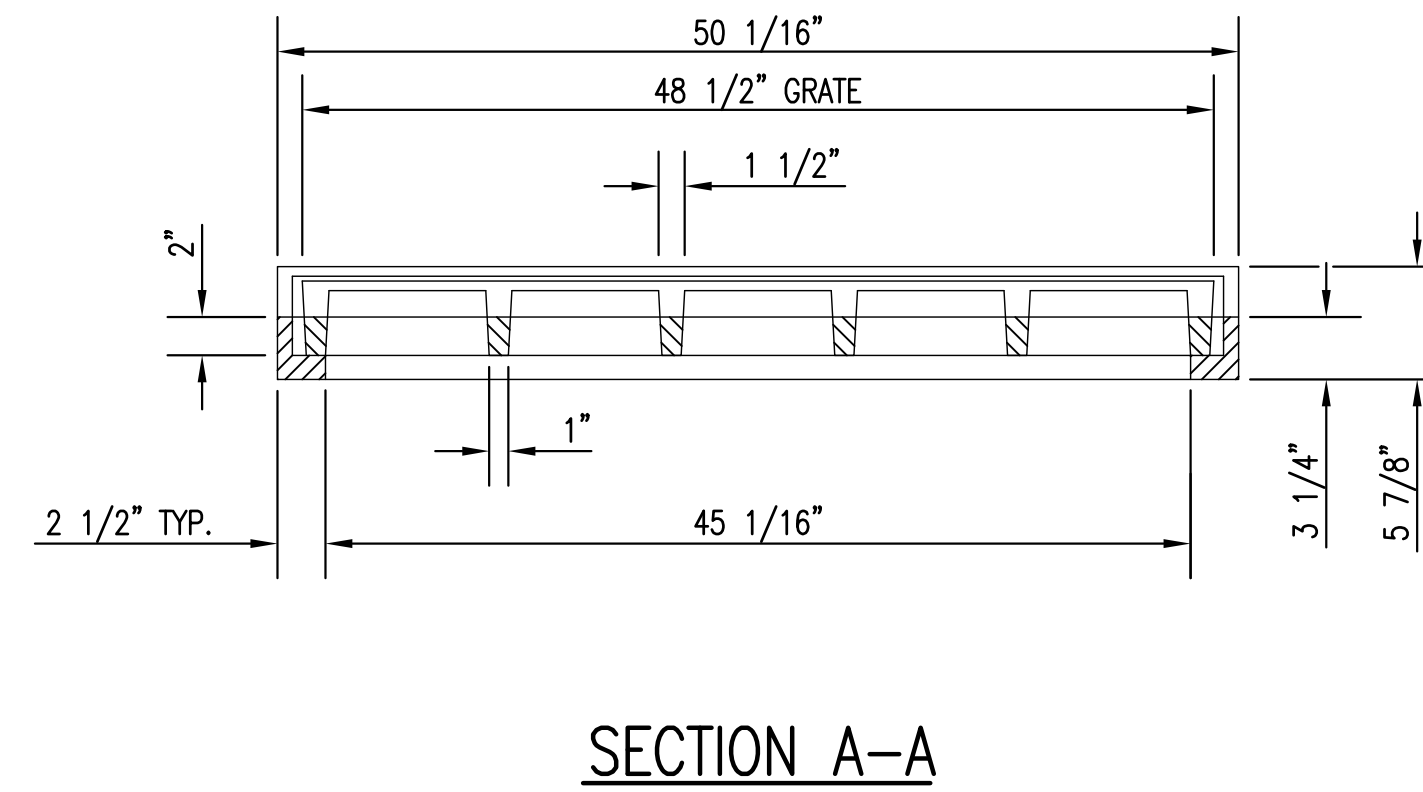
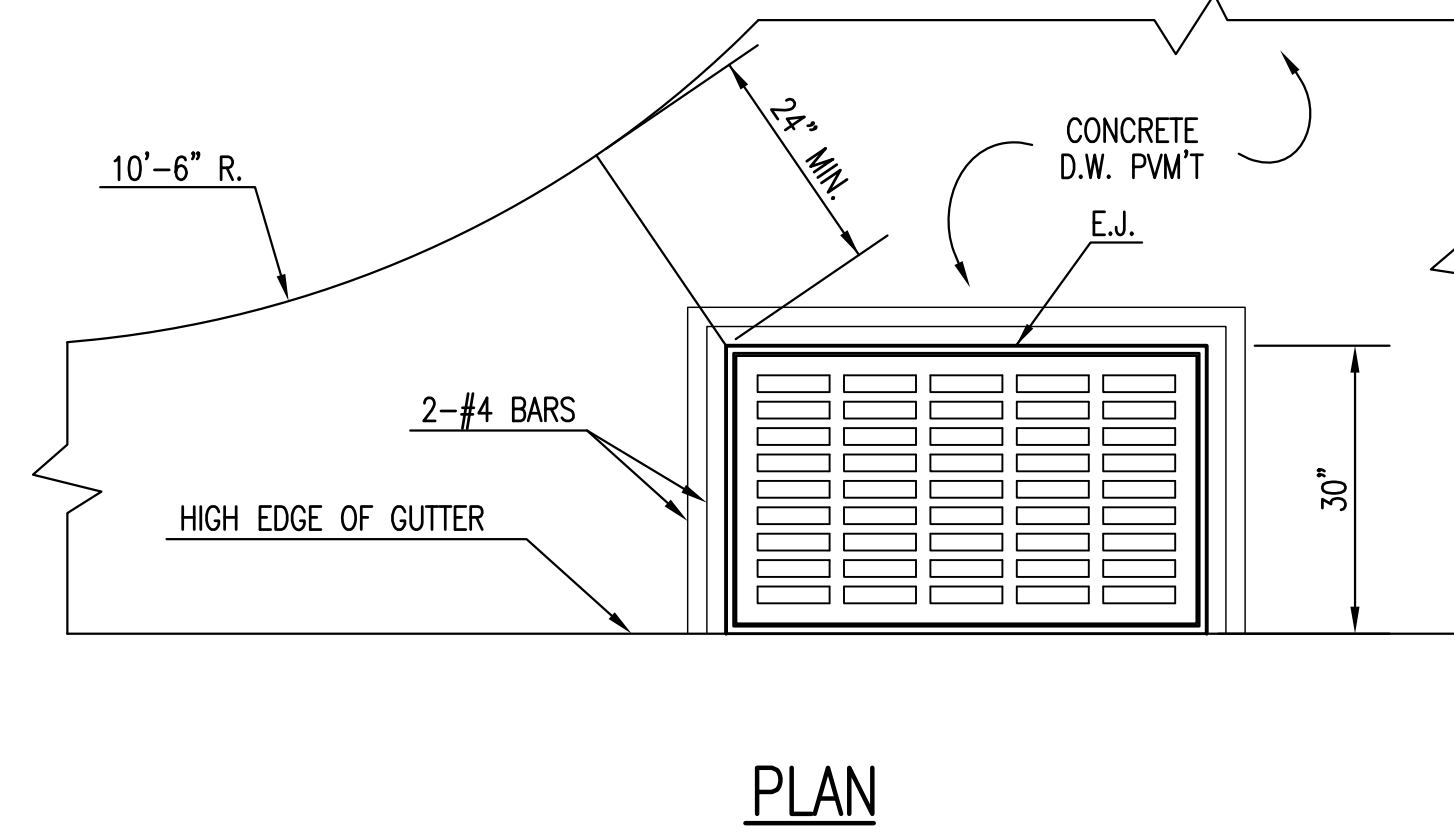
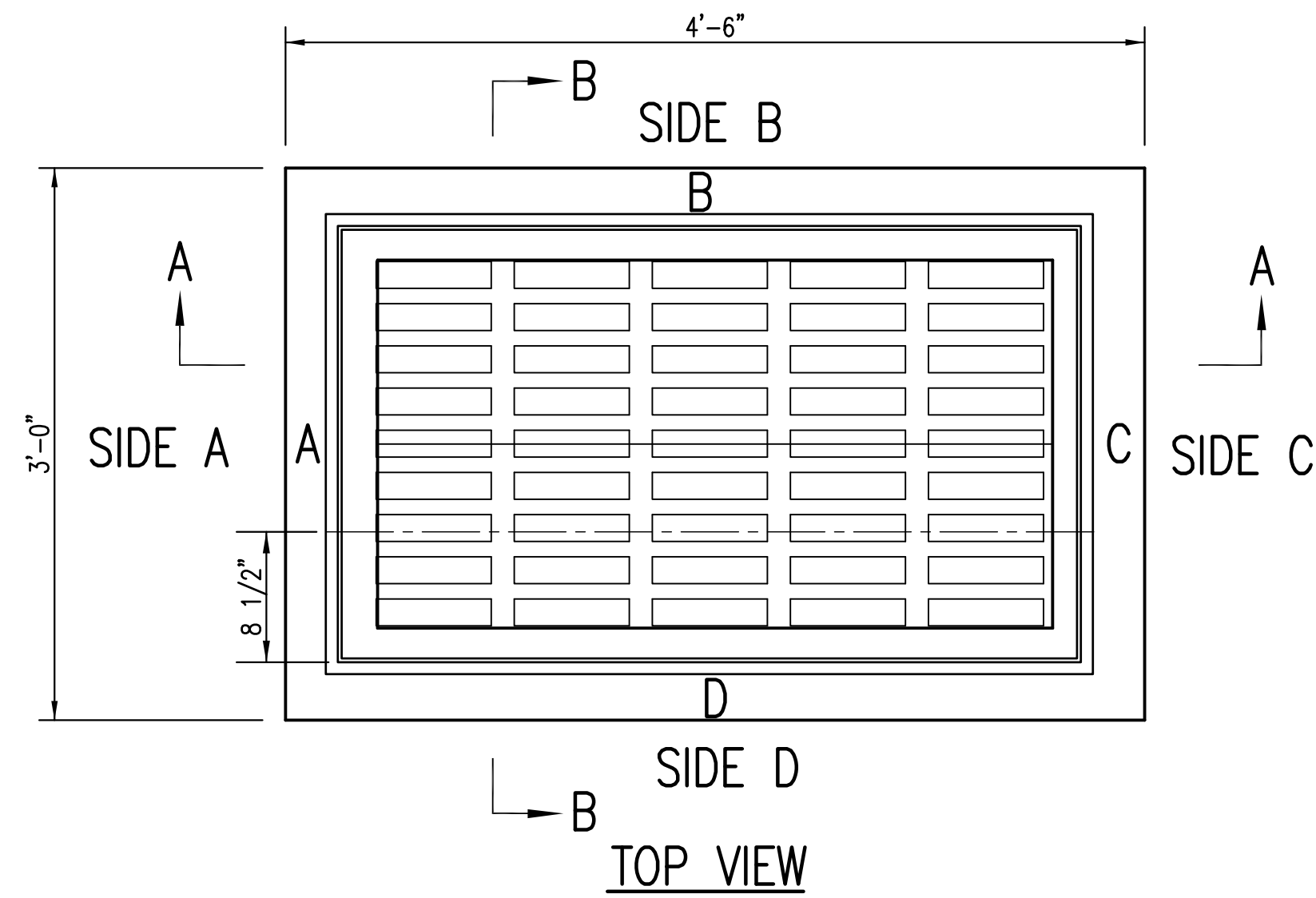
DATE: 10.02.2015
THIS SHEET HAS BEEN
SIGNED, SEALED AND
DATED ELECTRONICALLY

Benchmark
Chiseled square southwest corner
of curb inlet at north return near
southeast corner of Lot 3, Block 1,
Stonebridge Commercial Addition.
Elevation=1454.08 NAVD88

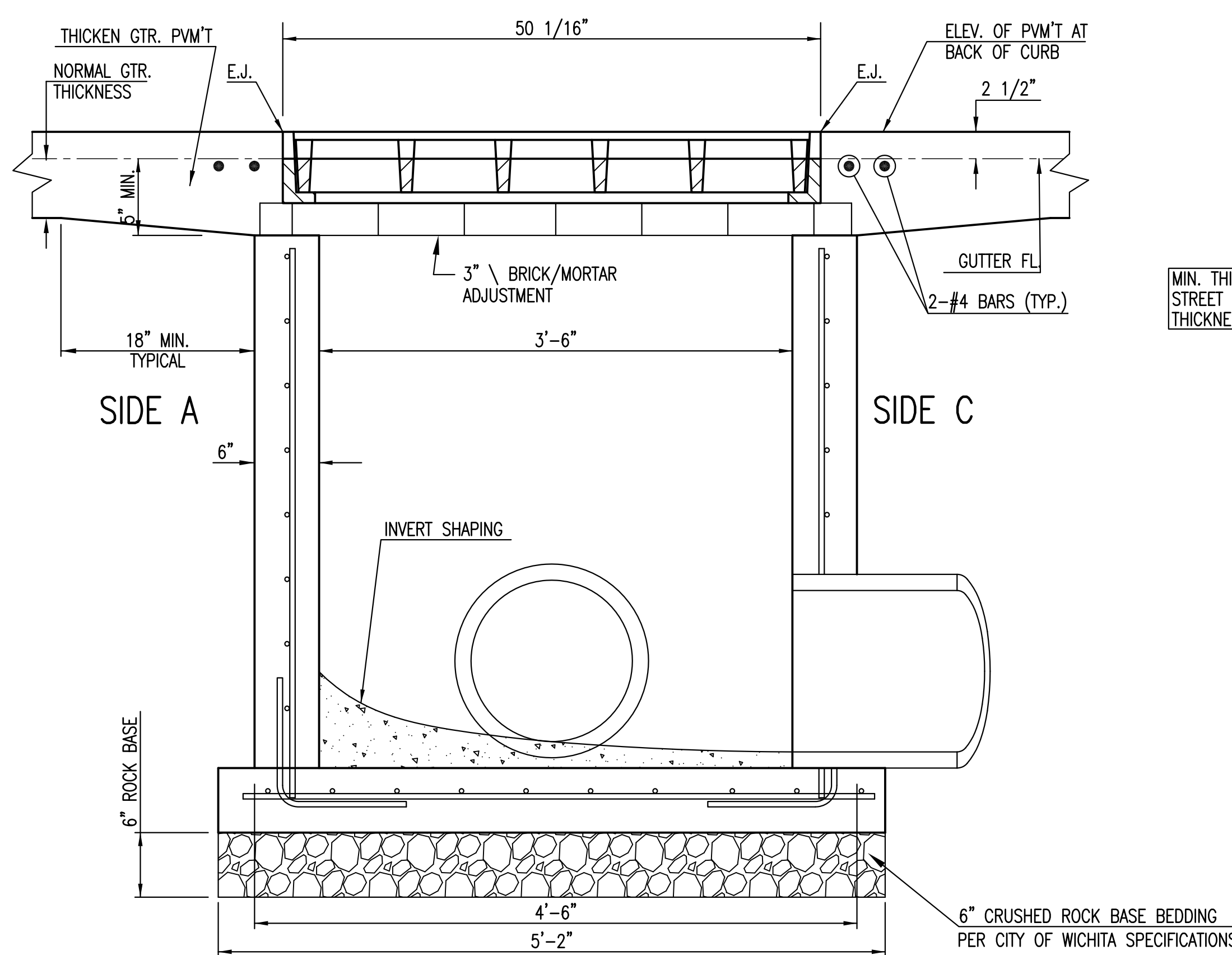


Subway - Maize Road
ERU Plan
Wichita, Kansas

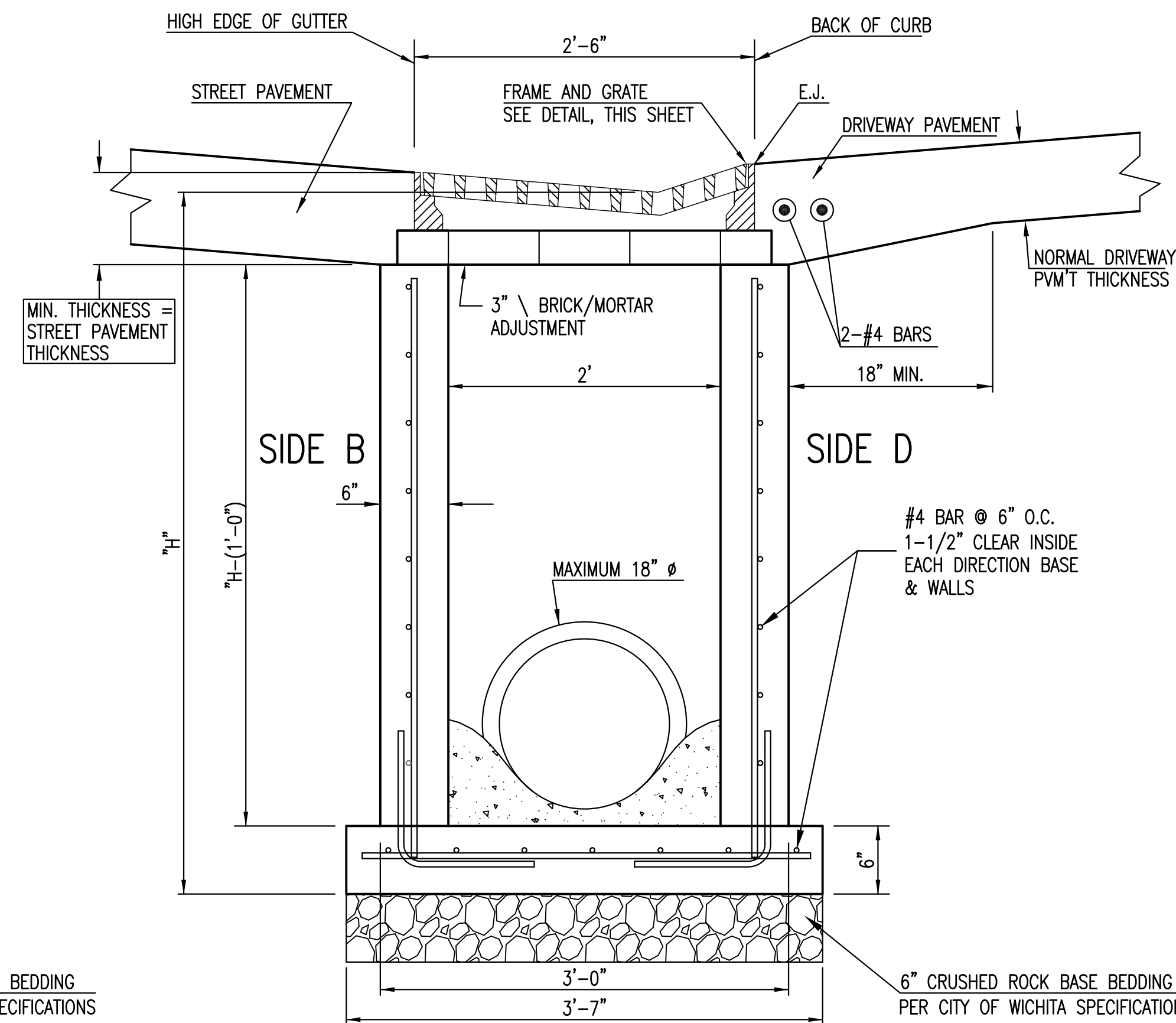
 117 E. Lewis, Wichita, KS 67202 (316)264-0242	PROJECT NUMBER 0311 PPD (607861)			SHEET 3.0
	KEM NO. 15032	FILE	DATE 03/2015	
DESIGN KM	DRAWN MP	REVISED		



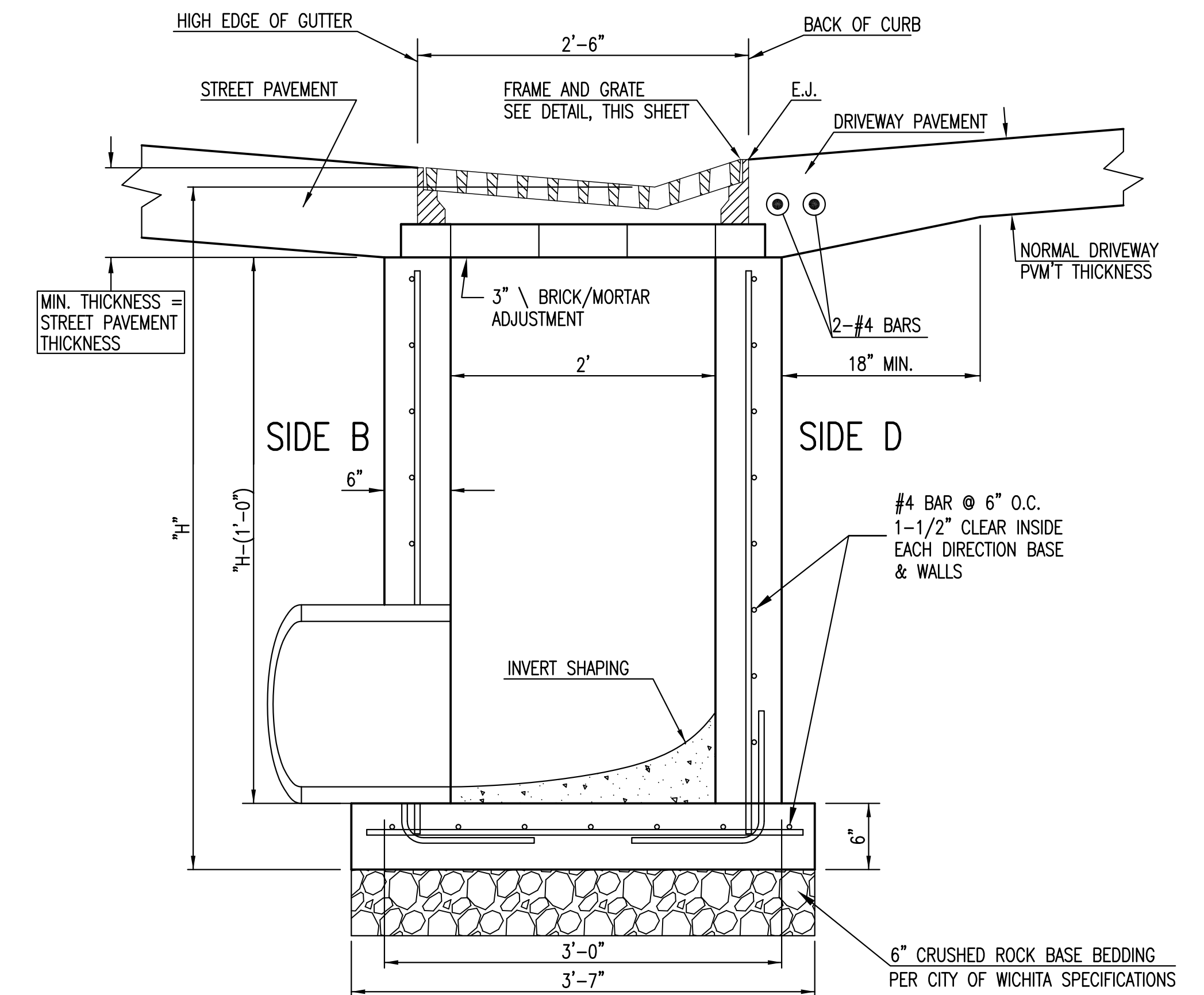
FRAME & GRATE
 DEETER #2095 TOTAL WEIGHT: 705 LBS.
 EJIW #7392 TOTAL WEIGHT: 675 LBS.



SECTION "A-A"



SECTION "B-B"
END OUTLET



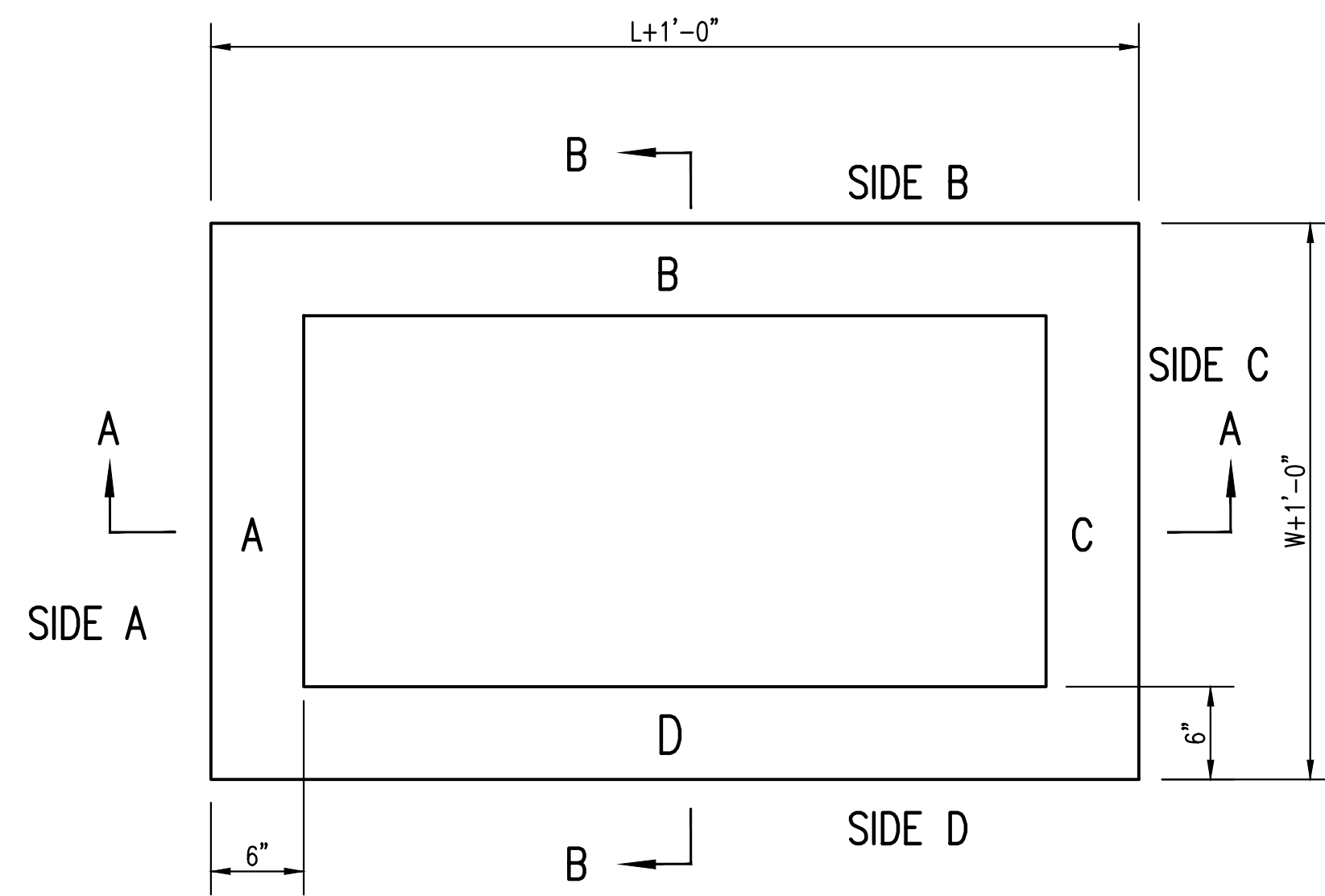
SECTION "B-B"
SIDE OUTLET

GENERAL NOTES

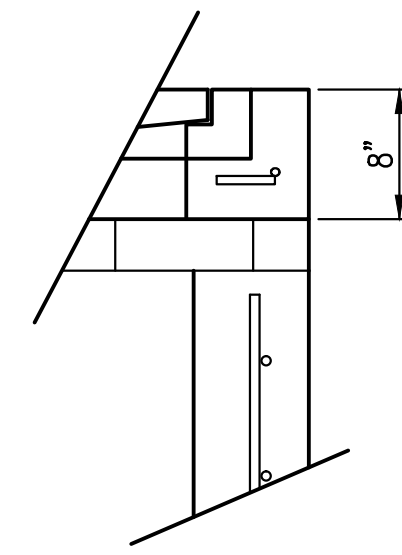
1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. CONTRACTOR SHALL HAVE THE OPTION OF CONSTRUCTING 8" BRICK MASONRY WALL BETWEEN THE CONCRETE INLET BASE AND TOP OF THIS INLET WHEN H=7'-0" OR LESS.
3. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
4. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
5. INLET FRAME AND GRATE TO BE DEETER #2095, EJIW #7392, OR APPROVED EQUAL.
6. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



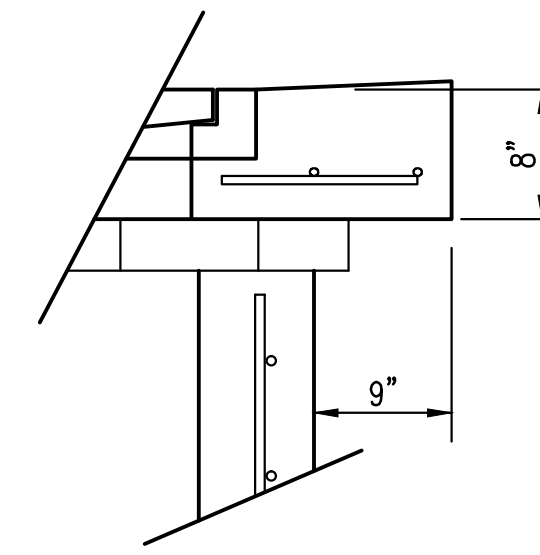
GRADED DRIVEWAY INLET (SINGLE)		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE 11/2010
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET 5.0



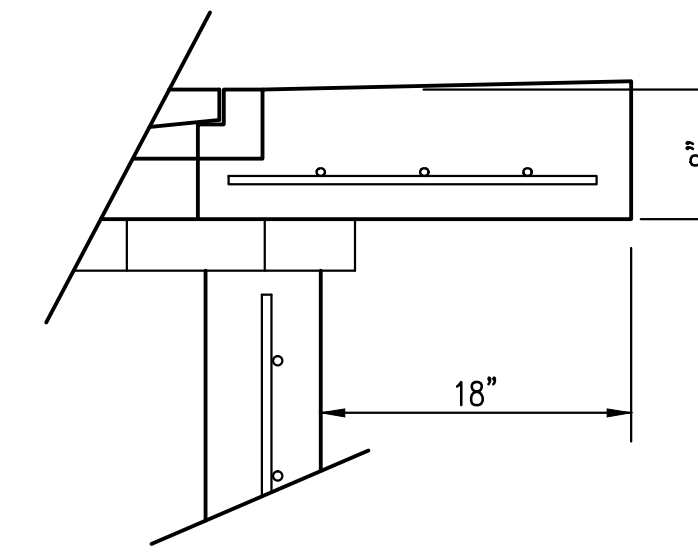
TOP VIEW



FLUSH STYLE TOP
NO APRON



9" APRON
* APRON TO EXTEND ON ALL 4 SIDES OF INLET.
DESIGNER TO DESIGNATE APRON SIZE.



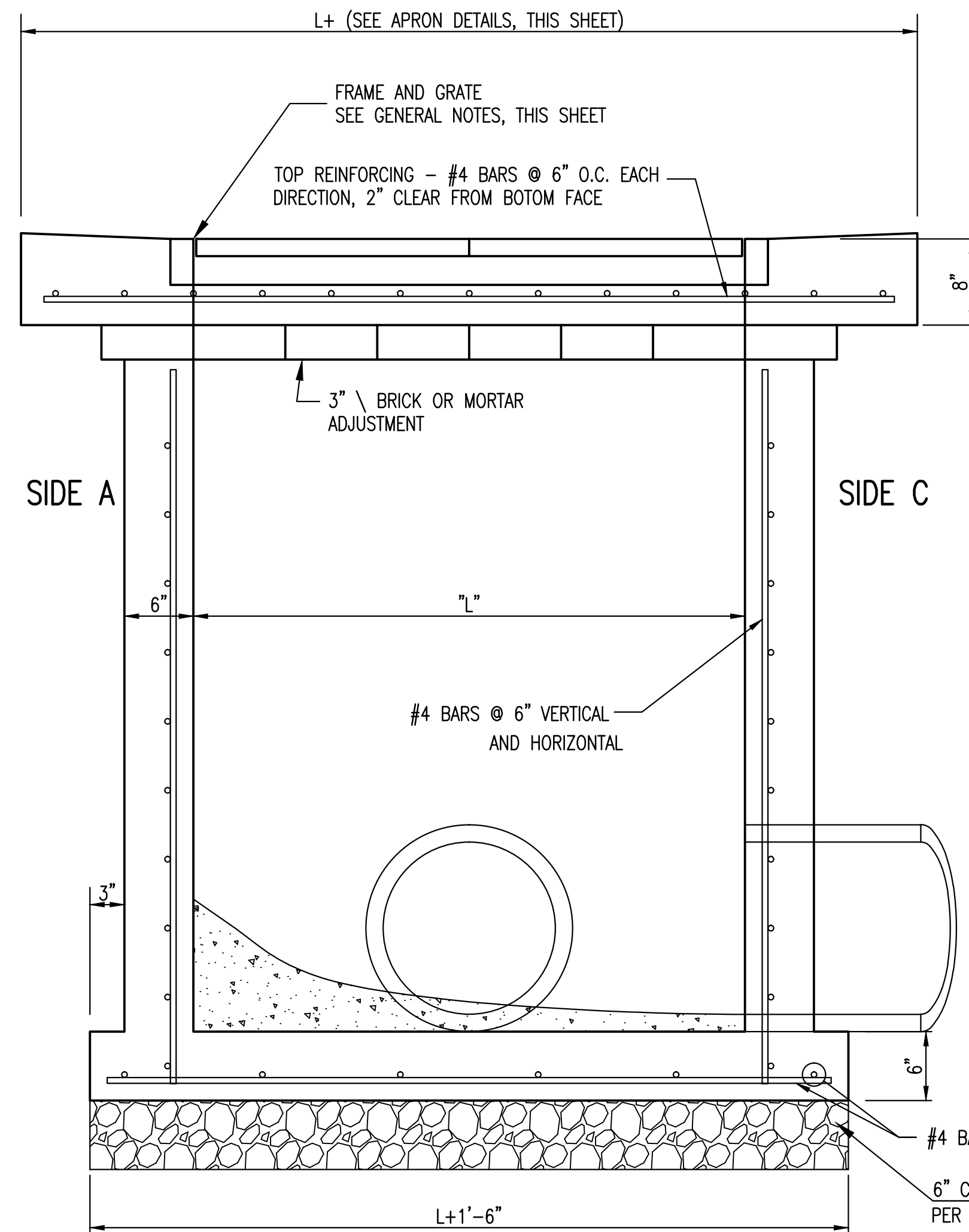
18" APRON

W=2' and L=2' for SINGLE DROP INLET
W=2' and L=4' for DOUBLE DROP INLET

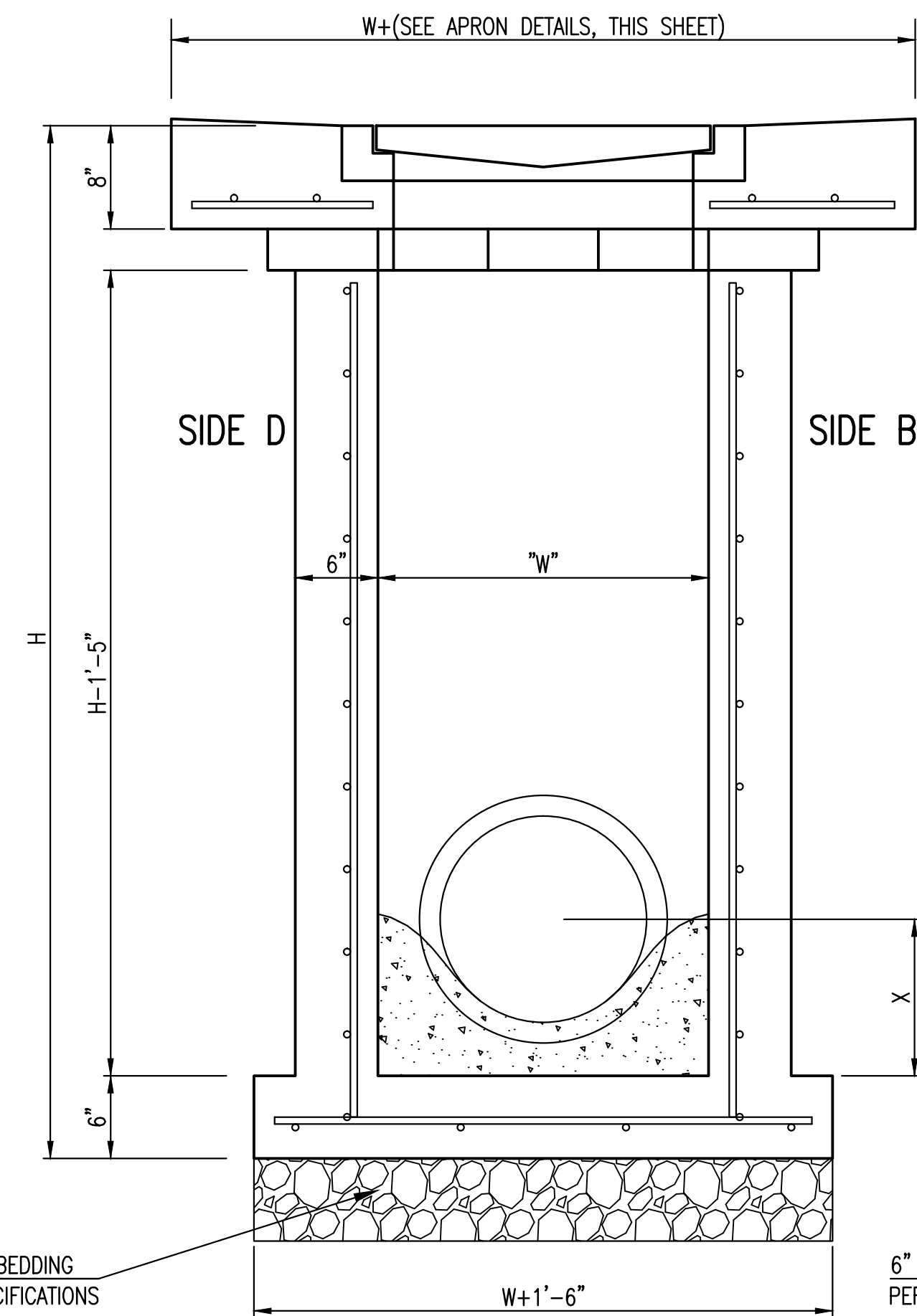
The structure(s) on this detail sheet are designed for HS-20 loading at these specific dimensions only. If larger dimensions are required, the ENGINEER shall provide a project specific structure design for approval by the City Engineer's office.

GENERAL NOTES

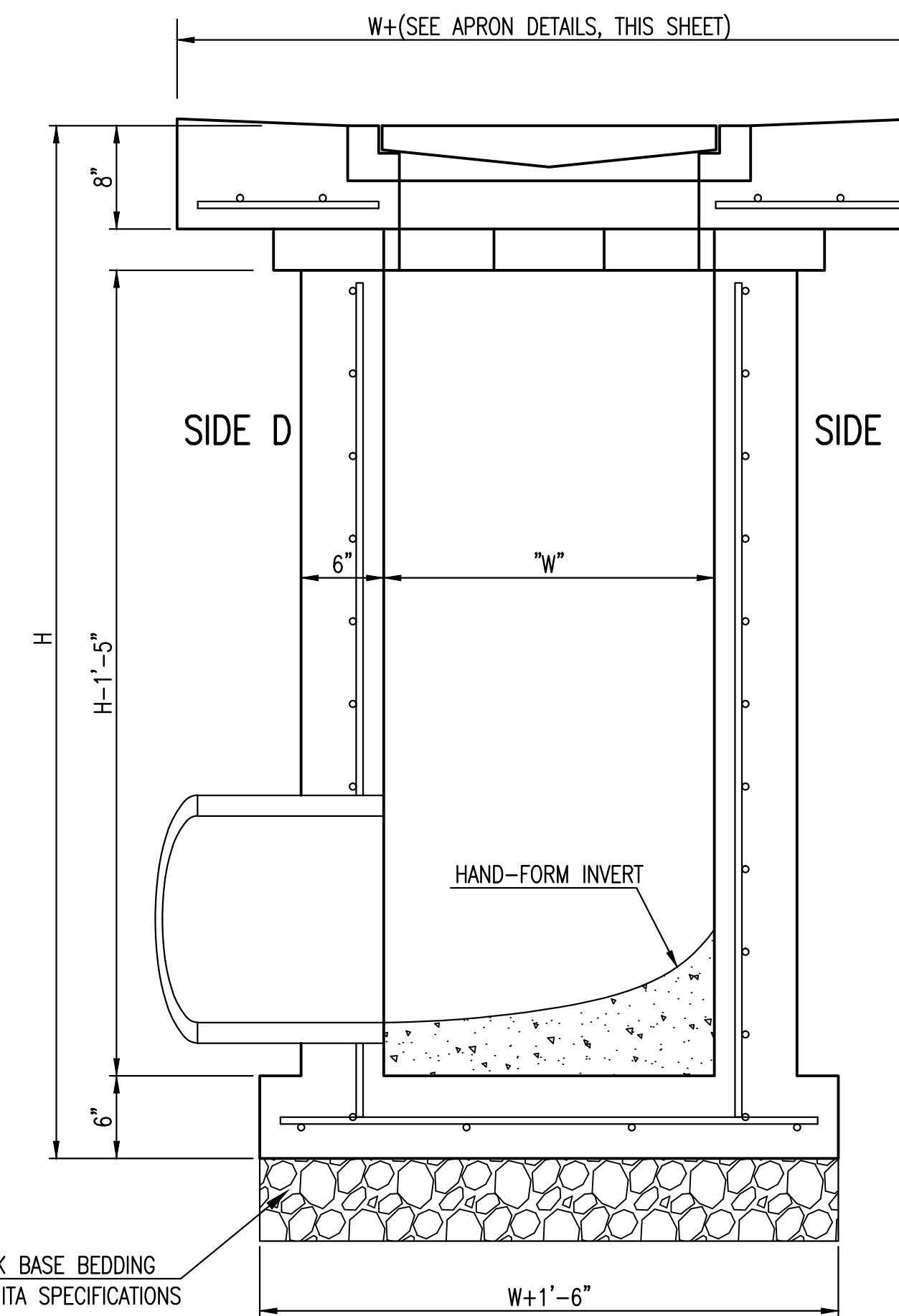
1. GRATE FRAME TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
2. INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
3. THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
4. INLET FRAME AND GRATE TO BE DEETER #2433, EJIW #5391-Z1 OR APPROVED EQUAL FOR 2'x2' SINGLE DROP INLET AND DEETER #2434, EJIW #5391 Z3 OR APPROVED EQUAL FOR 2'x4' DOUBLE DROP INLET.
5. CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.



SECTION "A-A"



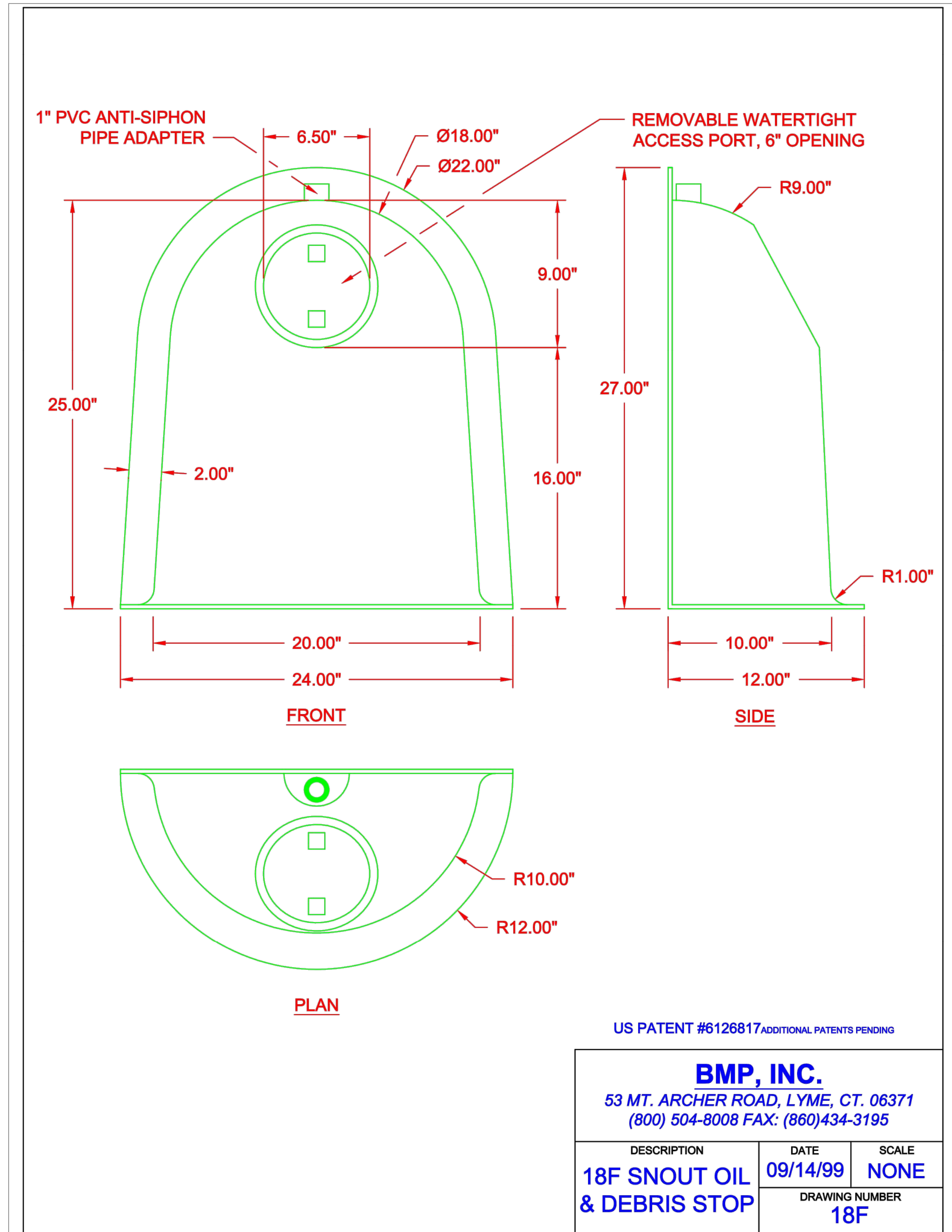
SECTION "B-B"
END OUTLET



SECTION "B-B"
SIDE OUTLET



SINGLE/DOUBLE DROP INLET		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE 05/2011
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET 5.1



DATE: 04.24.2015
 THIS SHEET HAS BEEN
 SIGNED, SEALED AND
 DATED ELECTRONICALLY

Subway - N. Maize Road
Snout Detail
 Wichita, Kansas

PROJECT NUMBER		SHEET	
0311 PPD (607861)		5.2	
KEMILLER ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)284-0242	KEM NO. 15032	FILE	DATE 03/2015
DESIGN KM	DRAWN MP	REVISED	



THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF DAN WINTER ARCHITECT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

SUBWAY SANDWICH SHOP

Stonebridge Commercial Center
37th & Maize Rd. Wichita, Ks. 67205

DAN WINTER ARCHITECT

1024 EAST FIRST STREET WICHITA, KS. 67214
PH. 316-267-7142

Erosion Control Plan

DATE
XXX

DRAWN BY:
XXX
CHECKED BY:

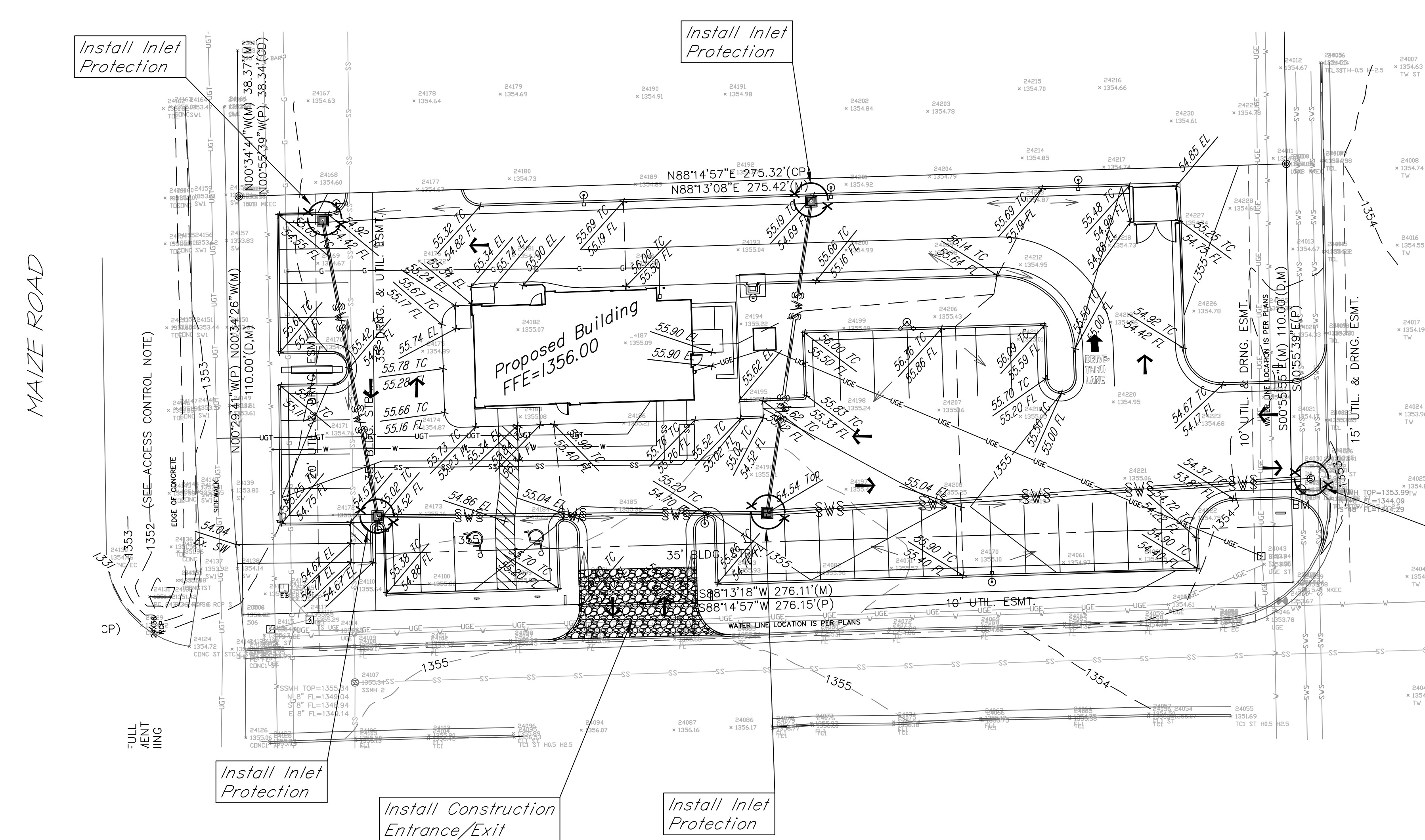
SHEET NO.
C6.0

General Notes:

1. The BMP's shown on this sheet are considered minimum standards. Whenever sediment enters the streets, storm sewers, ditches, or ponds, contractor will install additional BMP's, as needed, to correct the problem.
2. The soil erosion BMP's shown hereon must be in place at all times during construction until such time as the site is re-established with paving or grass.
3. Back of curb protection can include hay bale, silt fence, Curlex barrier, or approved alternate as shown on BMP standard details. This BMP must remain in place until the area between the curb and right-of-way line has been permanently stabilized.
4. The General Contractor is responsible for the installation and maintenance per the prevention maintenance plan.
5. Concrete trucks will be permitted to wash out only at approved locations. They must maintain and clean up as conditions require, by contractor. No hazardous materials are expected to be encountered. Any spills (diesel, fuel, oil, etc.) will be cleaned up and removed immediately. Portable toilets will be supplied and maintained at various sites along the project. Disposal of sewage will be handled by a contracting firm specializing in this activity.
6. The above mentioned storm water prevention methods will be monitored daily and maintained as required. A weekly erosion control log will be posted in the job trailer onsite, and updated weekly. Site inspections are required within 24 hours after a precipitation event of 0.5" or greater.

LEGEND:

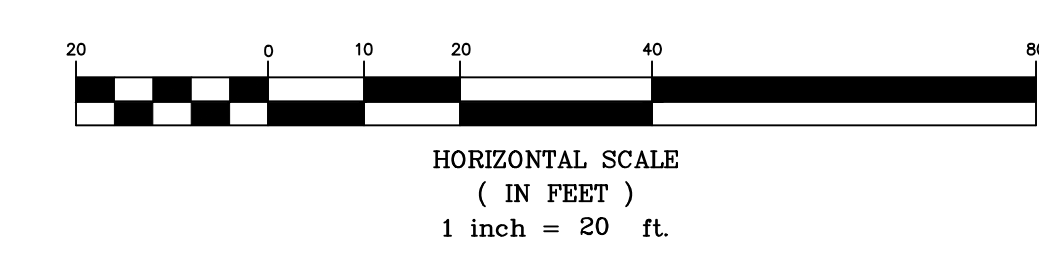
- Flow Direction
- Inlet Protection - to be provided at all inlets subject to silt laden runoff.
- Ditch Check
- Temporary Seeding and Mating.
- Silt Fence or Hay Bale Barrier - to be installed along property lines where runoff from construction site can run onto other properties.
- Stabilized Construction Entrance - to be used at all locations where vehicles or equipment enter or exit property.
- Back of Curb Protection - to be installed whenever curb is backfilled to less than 3 inches from top and disturbed earth exists adjacent thereto. (See City Standard Details.)



Benchmark
Chiseled square southwest corner of curb inlet at north return near southeast corner of Lot 3, Block 1, Stonebridge Commercial Addition. Elevation=1354.08 NAVD88



DATE: 04.03.2015
THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY



CERTIFICATE OF SURVEY

I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "STONEBRIDGE COMMERCIAL ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, a Reserve, and Streets, the same being accurately set forth in the accompanying plat and described herein:

The Northwest Quarter of the Northwest Quarter, Section 32, Township 26 South, Range 1 West, of the Sixth Principal Meridian, Wichita, Sedgwick County, Kansas.

All reserves, streets, utility easements, building setbacks, and access controls, together with, a Deed Easement recorded in Film 2672, Page 509; a Deed Easement recorded in Film 2672, Page 511; a right-of-way easement recorded in Book 545, Page 4; an easement for right-of-way recorded in Film 1983, Page 264; an easement for right-of-way recorded in Film 1983, Page 272; and an easement for right-of-way recorded in Film 2562, Page 3108, within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 12 day of December, 2008.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206
www.mkec.com

OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, a Block, a Reserve, and Streets the same to be known as "STONEBRIDGE COMMERCIAL ADDITION" an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage and sanitary sewers, as indicated on the accompanying plat are hereby granted to the public. The private wall easements along south line of Lot 1, Block 1 and along east line of Lot 10 and portions of Lot 11, Block 1, are hereby platted for the construction and maintenance of private walls. Public utility lines may cross under and or over the private wall easement within appropriate utility easements crossings shall be at right angles to the private wall easement. Private utility service lines may cross under and or over the private wall easement; crossings shall be at right angles to the private wall alignment. Private screening fences, walls, and associated appurtenances may cross drainage, utility, and sewer easements.

The streets are hereby dedicated to and for the use of the public.

All eubters right of access to or from 37th Street over and across the north line of "STONEBRIDGE COMMERCIAL ADDITION," is hereby granted to the appropriate governing body, as indicated hereon, provided however, Lots 5 and 11 shall each have a full movement 70' opening. All eubters right of access to or from Maize Road over and across the West line of "STONEBRIDGE COMMERCIAL ADDITION," is hereby granted to the appropriate governing body, as indicated hereon, provided however, Lots 5 and 11 shall each have a full movement 70' opening, as indicated hereon. Furthermore, access to both 37th Street and Maize Road shall be per the access control notes as stated hereon.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water. Lots 1-11, inclusive, Block 1, are required to adhere to the minimum pad elevation as shown on the "Minimum Pad Elevations".

This plat shall adhere and conform to the recitals of C.U.P. DP-295 as approved and recorded at the Wichita-Sedgwick County Metropolitan Area Planning Department.

Reserve "A" is platted for a public drainage easement granted to the public, drainage facilities, utilities confined by easements, side-walks, berms, monuments, landscaping, irrigation, open space and a parking lot. Reserve "A" is also granted as a permanent easement to the public for the purpose constructing and financing stormwater mitigation, drainage, and detention improvements. The Reserve shall be owned and maintained by the owner of Lot 11, Block 1 and is reserved for the stated uses.

NORTH 37TH, LLC, a Kansas limited liability company

Paul D. Jackson, Manager
Paul Jackson, Manager of Vantage Maize, LLC
by: Vantage Maize, LLC, a Kansas limited liability company as its Manager

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 23 day of December, 2008, by Paul Jackson, Manager, Vantage Maize, LLC, a Kansas limited liability company, Manager, North 37th, LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public
My Term Expires: 9-15-09

MORTGAGE CERTIFICATE

Commerce Bank, N.A. holder of a mortgage on the above described property, does hereby consent to the plat of "STONEBRIDGE COMMERCIAL ADDITION."

COMMERCE BANK, N.A.

Vice President
Senior

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 17th day of December, 2008, by Collin Stieben, Vice President, Commerce Bank, N.A.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public
My Term Expires: 11/1/2012

MOLLIEL SMITH
Notary Public - State of Kansas
My Appt. Expires: 11/1/2012

FINAL PLAT
STONEBRIDGE COMMERCIAL ADDITION
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

PLANNING COMMISSION CERTIFICATE

This plat of "STONEBRIDGE COMMERCIAL ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 24th day of July, 2008.

WICHITA-SEGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Darrell Downing, Chair

John L. Schigel, Secretary

GOVERNING BODY CERTIFICATE

The dedications shown on this plat are hereby accepted and this plat is hereby approved by the governing body of the City of Wichita, Kansas.

Dated this 24th day of Feb., 2009

At the direction of the City Council.

City Clerk

Karen Sublett, City Clerk

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this 26th day of February, 2009

County Clerk
Kelly Arnold, County Clerk

REGISTER OF DEEDS CERTIFICATE

This is to certify that this instrument was filed for record in the Register of Deeds office this 26th day of February, 2009, at 12:09:34 o'clock P. M. and is duly recorded for a fee of \$20.00.

Register of Deeds
Deputy

Deputy

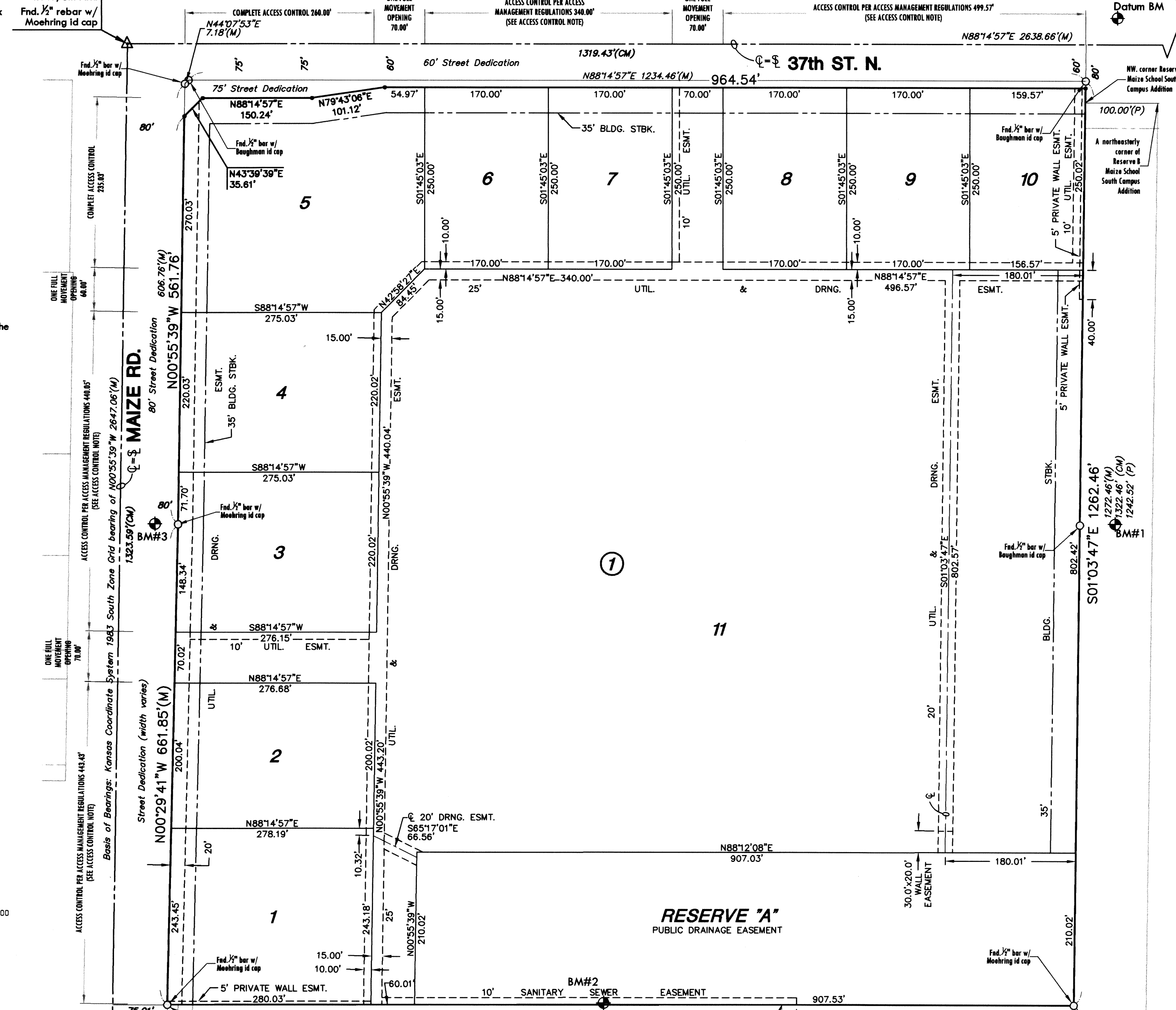
COUNTY SURVEYOR

Reviewed in accordance with K.S.A. 58-2005 on this 24th day of January, 2009

Deputy County Surveyor

Deputy County Surveyor

NW Cor., NW 1/4, Sec. 32, T26S, R1W, 6th P.M.
Fnd. 3/4" rebar w/ Moehring Id cap



SW Cor., NW 1/4, Sec. 32, T26S, R1W, 6th P.M.
Fnd. 3/4" rebar w/ Moehring Id cap

Table with columns: LOTS (inclusive), BLOCK, ELEVATION NGVD 29. Row 1: 1-11, 1, 1355.50

Basis of Bearing: Kansas Coordinate System South Zone bearing of N00°55'39"W along the W. line of NW 1/4, Sec. 32, T26S, R1W, 6th P.M.

NOTES

- 1) Access Controls: 37th St. and Maize Road- Access points for lots 1-4 and 6-10 shall be placed accordingly: The minimum distance between full turning movement drives shall be 400'. The minimum distance between a right-in/right-out drive or a full movement drive shall be 200'.
2) Zoning: This plat shall adhere and conform to the recitals of CUP DP-295 as approved and recorded at the Wichita-Sedgwick County Metropolitan Planning Area Department.

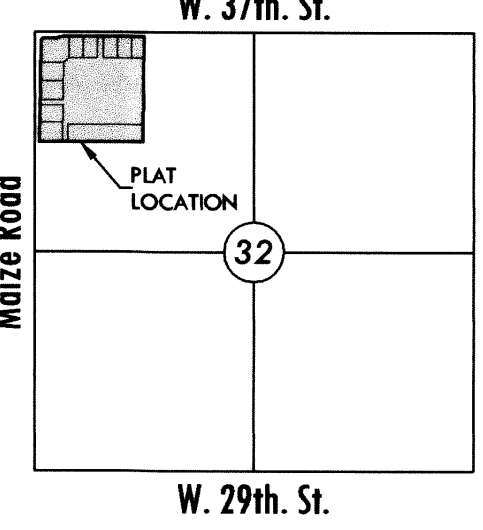
NE Cor., NW 1/4, Sec. 32, T26S, R1W, 6th P.M.
Fnd. Bar w/ Std. 1" Sedgwick Co. Alum. cap

BENCH MARKS

- Datum BM
Top of "T" post 35' ± N. of the N. line of NW 1/4, Sec. 32, T26S, R1W and 1384' ± E. of NW corner of said NW 1/4. Elev. = 1353.54 (NGVD 29)
Top of "T" post 660' ± S. of the N. line of NW 1/4, Sec. 32, T26S, R1W and 1325' ± E. of W. line of said NW 1/4. Elev. = 1351.69 (NGVD 29)
Top of "T" post 675' ± E. of the W. line of NW 1/4, Sec. 32, T26S, R1W and 1320' ± S. of the N. line of said NW 1/4. Elev. = 1351.79 (NGVD 29)
Square cut on N. end of concrete pipe 78" SW. of the NW. corner Lot 3, Block 1, Stonebridge Commercial Addition and being 30' ± E. of the W. line of NW 1/4, Sec. 32, T26S, R1W. Elev. = 1353.59 (NGVD 29)

LEGEND

- Date of Survey: January, 2007
Section Corner Monument Found
Found survey monument see annotation for type
Set 3/4" Rebar w/ MKEC CIS 39 Id. cap
Measured
Platted
Calculated from measured



MKEC ENGINEERING CONSULTANTS, INC.
411 N. WEBB ROAD
WICHITA, K.S. 67206
316-684-9600

CERTIFICATE OF SURVEY

I, Gregory J. Allison, a registered land surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "STONEBRIDGE COMMERCIAL ADDITION", an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, a Reserve, and Streets, the same being accurately set forth in the accompanying plat and described herein:

The Northwest Quarter of the Northwest Quarter, Section 32, Township 26 South, Range 1 West, of the Sixth Principal Meridian, Wichita, Sedgwick County, Kansas.

All reserves, streets, utility easements, building setbacks, and access controls, together with, a Deed Easement recorded in Film 2672, Page 509; a Deed Easement recorded in Film 2672, Page 511; a right-of-way easement recorded in Book 545, Page 4; an easement for right-of-way recorded in Film 1983, Page 264; an easement for right-of-way recorded in Film 1983, Page 272; and an easement for right-of-way recorded in Film 2562, Page 3108, within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 12 day of December 2008.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Road
Wichita, Kansas 67206
www.mkec.com



OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, a Block, a Reserve, and Streets the same to be known as "STONEBRIDGE COMMERCIAL ADDITION" an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage and sanitary sewers, as indicated on the accompanying plat are hereby granted to the public. The private wall easements along south line of Lot 1, Block 1 and along east line of Lot 10 and portions of Lot 11, Block 1, are hereby platted for the construction and maintenance of private walls. Public utility lines may cross under and or over the private wall easement within appropriate utility easements crossings shall be at right angles to the private wall easement. Private utility service lines may cross under and or over the private wall easement; crossings shall be at right angles to the private wall alignment. Private screening fences, walls, and associated appurtenances may cross drainage, utility, and sewer easements.

The streets are hereby dedicated to and for the use of the public.

All egress rights of access to or from 37th Street over and across the north line of "STONEBRIDGE COMMERCIAL ADDITION," is hereby granted to the appropriate governing body, as indicated hereon, provided however, Lots 5 and 11 shall each have a full movement 70' opening. All egress rights of access to or from Maize Road over and across the West line of "STONEBRIDGE COMMERCIAL ADDITION," is hereby granted to the appropriate governing body, as indicated hereon, provided however, Lots 5 and 11 shall each have a full movement 70' opening, as indicated hereon. Furthermore, access to both 37th Street and Maize Road shall be per the access control notes as stated hereon.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water. Lots 1-11, inclusive, Block 1, are required to adhere to the minimum pad elevation as shown on the "Minimum Pad Elevations".

This plat shall adhere and conform to the recitals of C.U.P. DP-295 as approved and recorded at the Wichita-Sedgwick County Metropolitan Area Planning Department.

Reserve "A" is platted for a public drainage easement granted to the public, drainage facilities, utilities confined by easements, side-walks, berms, monuments, landscaping, irrigation, open space and a parking lot. Reserve "A" is also granted as a permanent easement to the public for the purpose constructing and financing stormwater mitigation, drainage, and detention improvements. The Reserve shall be owned and maintained by the owner of Lot 11, Block 1 and is reserved for the stated uses.

NORTH 37TH, LLC, a Kansas limited liability company

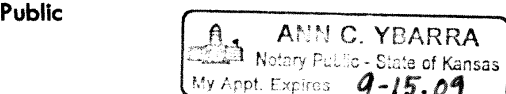
Paul D. Jackson, Manager
Paul Jackson, Manager of Vantage Maize, LLC
by: Vantage Maize, LLC, a Kansas limited liability company as its Manager

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on 23 day of December, 2008, by Paul Jackson, Manager, Vantage Maize, LLC, a Kansas limited liability company, Manager, North 37th, LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public
My Term Expires: 9-15-09



MORTGAGE CERTIFICATE

Commerce Bank, N.A. holder of a mortgage on the above described property, does hereby consent to the plat of "STONEBRIDGE COMMERCIAL ADDITION."

COMMERCE BANK, N.A.

Collin Stieben, Vice President
Collin Stieben, Vice President

STATE OF KANSAS, SEDGWICK COUNTY) ss:

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FINAL PLAT
STONEBRIDGE COMMERCIAL ADDITION
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

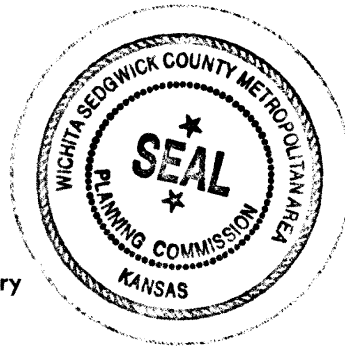
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Dated this 24th day of July, 2008.

WICHITA-SEGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Darrell Downing, Chair



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At the direction of the City Council.

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Bill Meek, Register of Deeds

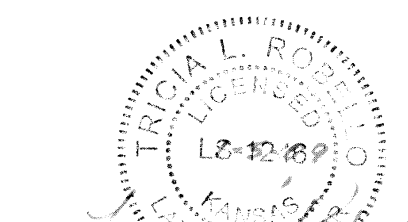
Register of Deeds: Bill Meek
DOC #/FLM-PG: 28040445
Receipt #: 1711284
Pages Recorded: 1
Caption: Initial: LK
Authorized By: [Signature]

Tonya E. Buckingham, Deputy

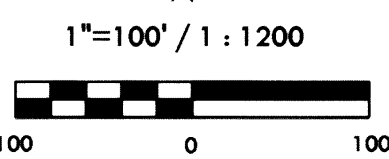
Date Recorded: 2/26/2009 12:09:34 PM

COUNTY SURVEYOR

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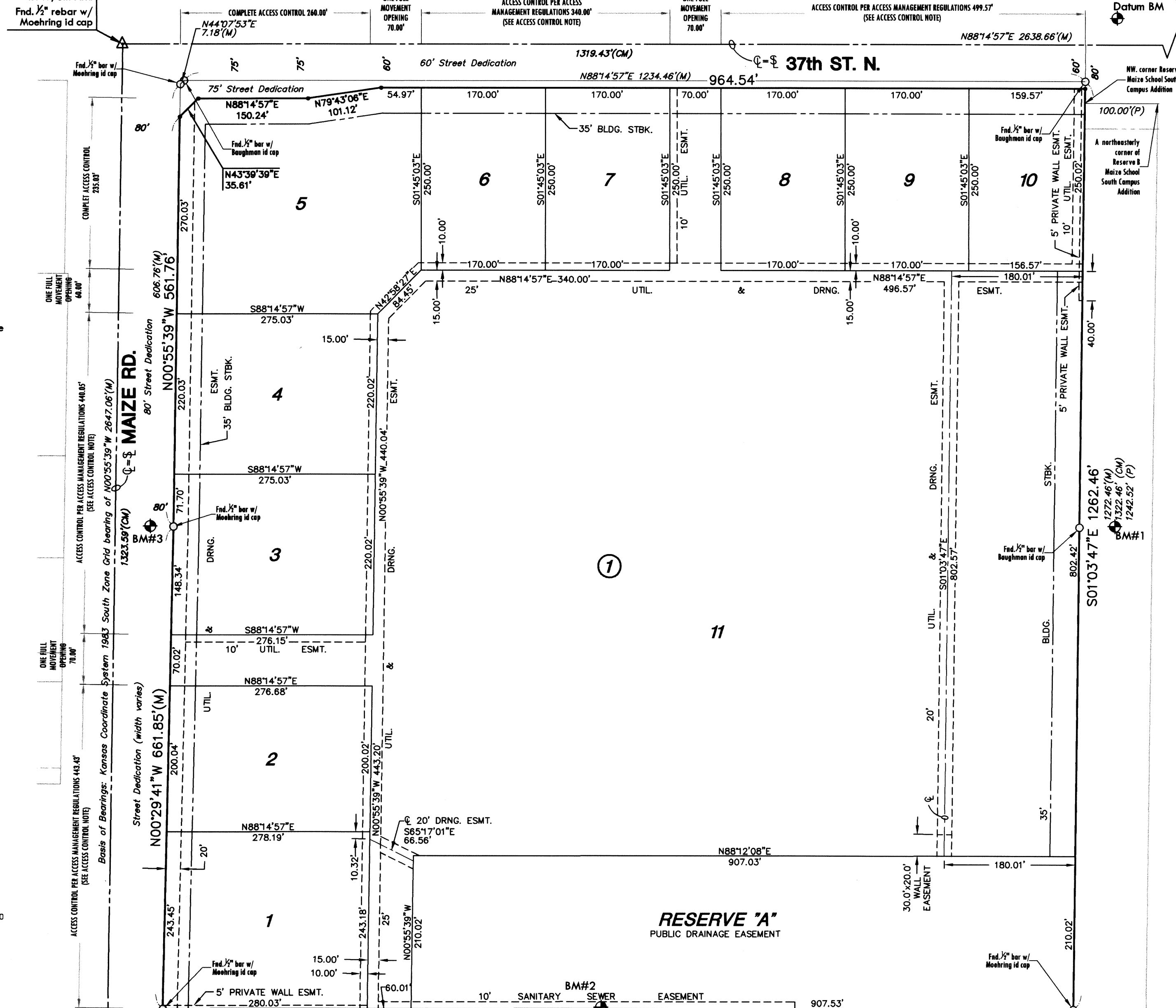


Tricia L. Rabella, Deputy County Surveyor



Basis of Bearing: Kansas Coordinate System South Zone bearing of N00°55'39"W along the W. line of NW 1/4, Sec. 32, T26S, R1W, 6th P.M.

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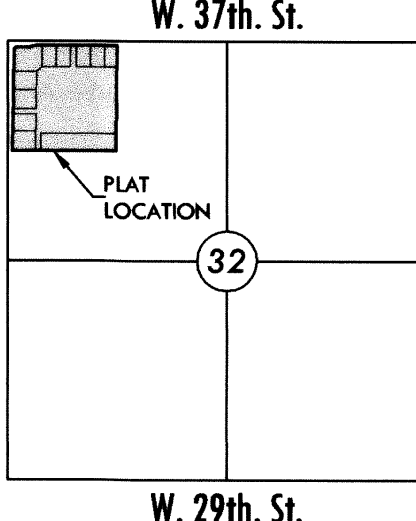
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Platted
Calculated from measured



VICINITY MAP



411 N. WEBB ROAD
WICHITA, K.S. 67206
316-684-9600

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NE Cor., NW 1/4, Sec. 32, T26S, R1W, 6th P.M. Fnd. Bar w/ Std. 1" Sedgwick Co. Alum. cap

STONEBRIDGE COMMERCIAL ADDITION (CHECK ENGINEERING)