

# VASSAR ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be known as "VASSAR ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The drainage easements are hereby granted as indicated for drainage purposes. The street, drainage, and utility easements are hereby granted as indicated for street purposes, including sidewalks, for drainage purposes, and for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public. Reserve "A" is reserved for open space, landscaping, drainage purposes, an emergency access drive, signage, gates, a private access drive, recreational uses, and utilities as confined to easement. Reserve "AA" is reserved for open space, fences, landscaping, drainage purposes, and utilities as confined to easement. Reserve "A" shall be owned and maintained by the homeowners association for the addition. Reserve "AA" shall be owned and maintained by the homeowner of Lot 4, Block A, Clifton Cove Addition. Access controls shall be as depicted on the face of the plat and are hereby granted to the City of Wichita, Kansas. FEMA floodplain boundaries are subject to periodic change, and such change may affect the intended land use within the subdivision. The Minimum Building Pad Elevations for the lowest opening to the structures shall be as indicated on the face of the plat.

Coywood, L.L.C.,  
a Kansas limited liability company

\_\_\_\_\_, Member  
Jay W. Russell

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, by Jay W. Russell, Member of Coywood, L.L.C., a Kansas limited liability company, on behalf of the limited liability company.

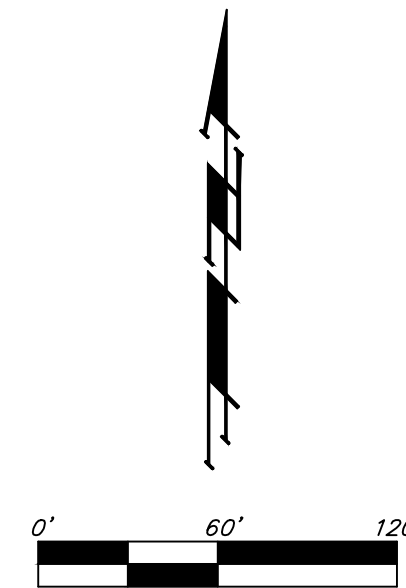
My App't. Exp. \_\_\_\_\_, Notary Public

State of Kansas) SS We, Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify that we have surveyed and platted "VASSAR ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as and being a replat of all of Lots 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, and 30, Block A, TOGETHER with all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, and 16, Block B, TOGETHER with all of Lots 1, 2, 3, and 4, Block C, TOGETHER with all of Clifton Ave., Vassar Ave., and Sunflower Ct., all as platted and dedicated in Clifton Cove Addition, Wichita, Sedgwick County, Kansas, TOGETHER with that part of Sunflower Dr. as dedicated in said Clifton Cove Addition lying generally east of and abutting the following described line: Beginning at the northwest corner of Lot 1 in said Block B; thence N13°24'39"E, 65.05 feet to the point of curvature in the south line of Lot 6 in said Block A, and for a point of termination.

Existing public easements, building setbacks, access controls, and dedications, if any, being vacated by virtue of K.S.A. 12-512b, as amended.

Baughman Company, P.A.

\_\_\_\_\_, Surveyor  
Michael G. Conrey



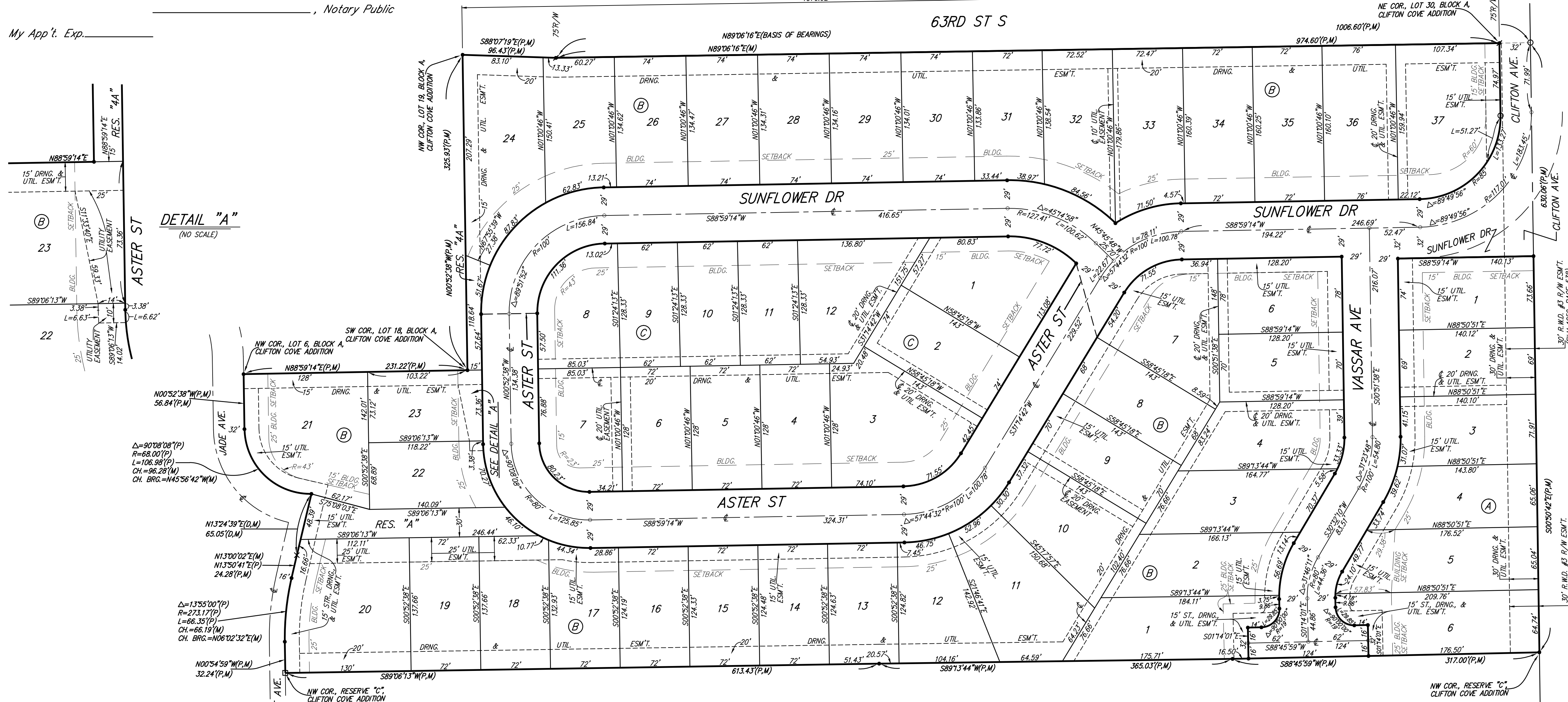
- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
  - = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
  - = MAG NAIL IN CONC. FOOTING
  - = MAG NAIL (FOUND)
  - × = CHISELED CROSS (FOUND)
- (M) = MEASURED  
(P) = PLATTED  
(D) = DESCRIBED

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION
1-6	A	1259.5
1-37	B	1259.5
1-12	C	1259.5

BENCHMARK:  
CHISELED SQUARE ON TOP OF CATCH BASIN, 43.5' N. & 20.4' W. OF THE NORTHWEST CORNER OF LOT 24, BLOCK B, VASSAR ADDITION. ELEV. = 1258.55 NGVD29

BENCHMARK:  
CHISELED CROSS ON TOP OF CATCH BASIN, 48.2' N. & 41.2' W. OF THE NORTHEAST CORNER OF LOT 24, BLOCK B, VASSAR ADDITION. ELEV. = 1258.46 NGVD29

BENCHMARK:  
CHISELED CROSS ON WALK, MOST EASTERLY CORNER (BLOCK CORNER), LOT 4, BLOCK D, CLIFTON COVE ADDITION, 35.2' W. & 8.5' S. OF THE NORTHWEST CORNER, LOT 20, BLOCK B, VASSAR ADDITION. ELEV. = 1258.62 NGVD29



DETAIL "A"  
(NO SCALE)

NOTE:  
PRIOR TO CONSTRUCTION, LOT OWNERS SHALL VERIFY EXISTING LOT ELEVATIONS AS COMPARED TO CORRECT FEMA FLOODPLAIN ELEVATIONS TO DETERMINE IF ANY FEMA REMOVALS OR PERMITTING IS NECESSARY.

NOTE:  
A drainage plan has been developed for the plat and all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City Engineer and unobstructed to allow for the conveyance of stormwater.

NOTE:  
10 FOOT WIDE RIGHT-OF-WAY GRANT, (FILM 189, PAGE 909), IN FAVOR OF CHARLES W. HAWTHORNE AND WINTA M. HAWTHORNE, AND NOW ASSIGNED TO SHELLEY GAS GATHERING, INC., (FILM 350, PAGE 807), AFFECTS A PORTION OF THIS PLAT AND IS IN THE PROCESS OF BEING RELEASED.

NOTE:  
16 FOOT WIDE RIGHT-OF-WAY GRANT, (MISC. BOOK 96, PAGE 969), IN FAVOR OF DONNIE E. COOK AND NORMA J. COOK, AND NOW ASSIGNED TO SHELLEY GAS GATHERING, INC., (FILM 350, PAGE 807), AFFECTS A PORTION OF THIS PLAT AND IS IN THE PROCESS OF BEING RELEASED.

NOTE:  
16 FOOT WIDE RIGHT-OF-WAY GRANT, (MISC. BOOK 86, PAGE 1315), IN FAVOR OF DONNIE E. COOK AND NORMA J. COOK, AND NOW ASSIGNED TO SHELLEY GAS GATHERING, INC., (FILM 350, PAGE 807), AFFECTS A PORTION OF THIS PLAT AND IS IN THE PROCESS OF BEING RELEASED.

We, the undersigned holders of a mortgage on the above described property, do hereby consent to this plat of "VASSAR ADDITION", Wichita, Sedgwick County, Kansas.

Legacy Bank  
\_\_\_\_\_, (Title)

State of Kansas) SS The foregoing instrument acknowledged before me, this \_\_\_\_\_ day of \_\_\_\_\_, by \_\_\_\_\_ of Legacy Bank, on behalf of the bank.  
\_\_\_\_\_, (Title)

\_\_\_\_\_, Notary Public  
My App't. Exp. \_\_\_\_\_

This plat of "VASSAR ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, Secretary  
Wichita-Sedgwick County Metropolitan Area Planning Commission

\_\_\_\_\_, Chair  
Carol Chapman Neugent  
\_\_\_\_\_, Secretary  
Date Miller

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_, Mayor  
Jeff Longwell  
\_\_\_\_\_, City Clerk  
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_.

Tricia L. Robello, L.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_, County Clerk  
Kelly B. Arnold

State of Kansas) SS This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M.; and is duly recorded.

\_\_\_\_\_, Register of Deeds  
Bill Meek  
\_\_\_\_\_, Deputy  
Tonya Buckingham