

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water 1-316-268-4555
City of Wichita Sewer 1-316-268-4073
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Water Distribution Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.
- The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are U.S.G.S. Datum (NAVD 88).
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extend of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- City maintenance of storm sewer ends at right-of-way or easement line. All lines will be maintained by the owner.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.
- Structure location coordinates are to the center of structure and are to be located with a coordinate datum per the provided control points.

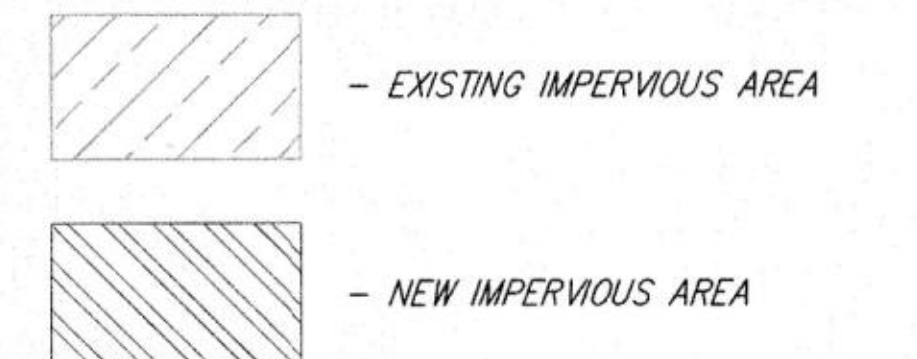
BENCHMARKS

BENCH MARK #1:
Chiseled cross on the top of sidewalk, 65'± east and 30'± south of the centerline of Third street and Bleckley Drive. Elevation = 1357.21 (NAVD88)

BENCH MARK #2:
Chiseled square on the top of curb on the northwest curb return of second street and Bleckley Drive. Elevation = 1354.00 (NAVD88)

Site ERU Information

Total Area:	±174,476 sq. ft. (4.01 acres)
Disturbed Area:	± 73,810 sq. ft. (1.69 acres)
Existing Impervious Area:	±116,862 sq. ft. (2.68 acres)
Prop. Impervious Area	±120,460 sq. ft. (3.77 acres)



STORM SEWER IMPROVEMENTS

to serve

Robinson Middle School

328 N Oliver Ave.

Lot 1, Block A, Robinson Junior High Addition
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
Project Number 0284 PPD (607861)

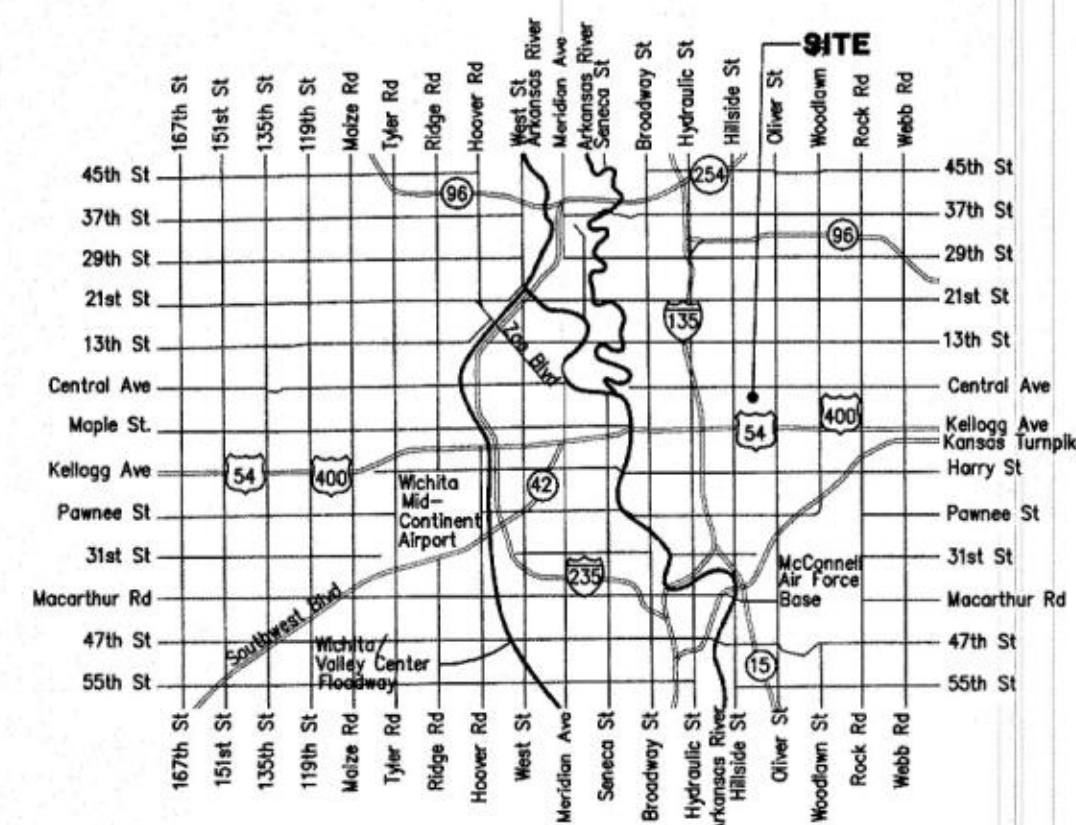
AS BUILT PLANS

Contractor: Dutton Const.
Inspector: David Vansickle, Baughman Co.
pdf's by: KEK, 4/25/16

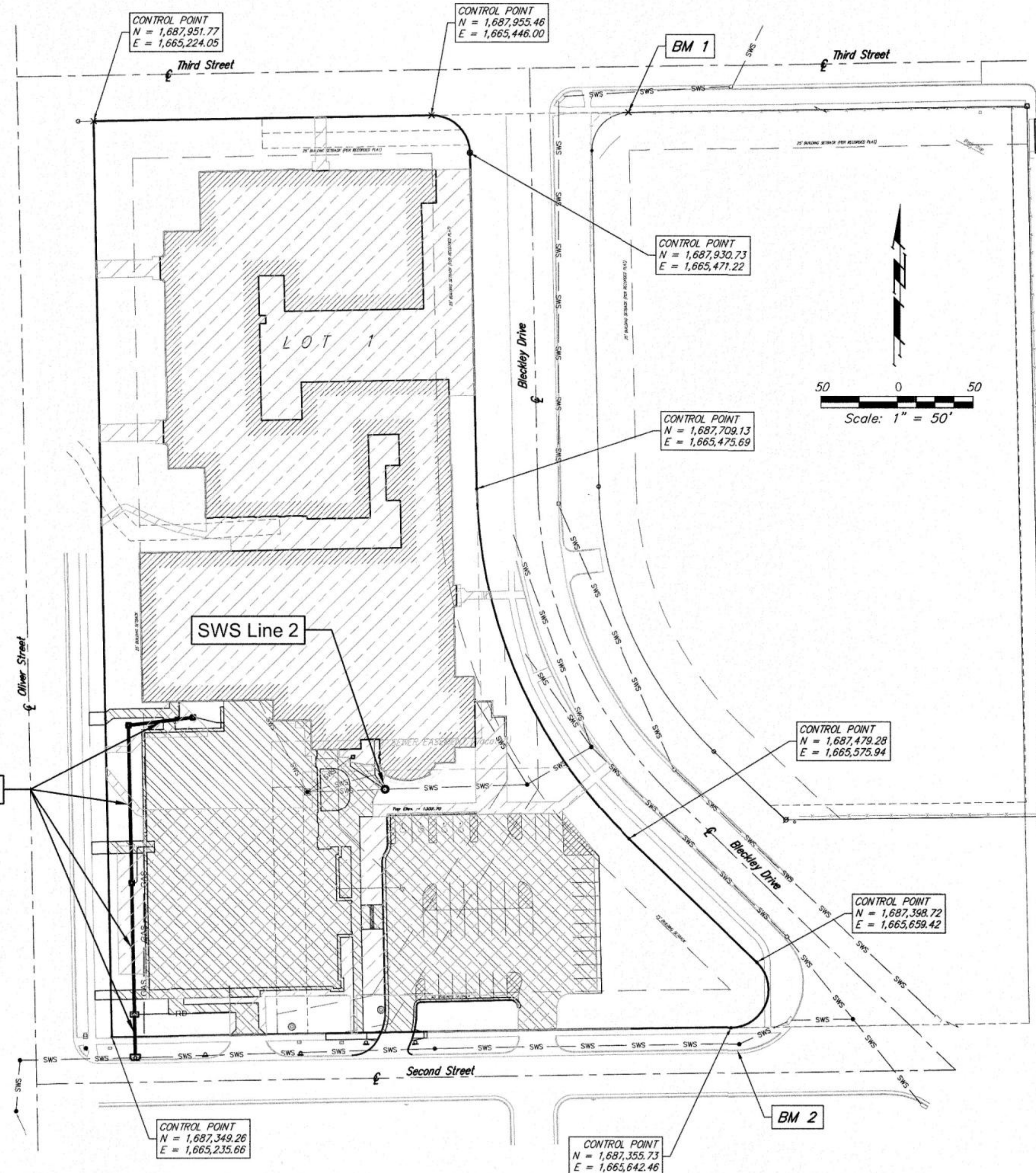
SHEET INDEX:

Title Sheet	1
Line 1	2
Line 2/ERU Plan	3
Reference Grading Plan	4
Reference Erosion Control Plan	5
Reference Utility Plan	6
Copy of Plat	7

*Current Erosion Control Details (SW 101-105) and Stormwater Structure Details are available at City of Wichita web site at <http://www.wichita.gov/Government/Departments/PWU/Pages/Regulations.aspx>



Vicinity Map



Stormwater Narrative & Certification

This improvements were prepared in accordance with the current Storm Water Management Regulations as set forth in the City of Wichita's Storm Water Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Storm Water Manual.

Site Area: 174,476 sq. ft.

Water Quality Treatment:

30% Redeveloped Impervious Plus 100% New Impervious Area = 40,844 (30%) + 4,122 sq. ft. (16,375 sq. ft.)
Treatment Area (SWS line 1) = 32,250 sq. ft. with 50% TSS removal exceeds the required 80% TSS removal for 16,375 sq. ft. by 23 percent.

BMPs used for this development are:

Silt Fence, Area Inlet & curb inlet protection, TRM, Sediment Basin with Faircloth Skimmer.

Downstream Channel Protection

Not Required with Existing Redevelopment.

Detention Requirements

Not required with redevelopments not exceeding 1 acre of added impervious area.

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING
AND STORMWATER DIVISION

Engineering *Rebecca Givl* 11/24/2015
Stormwater *[Signature]* 11/24/15

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

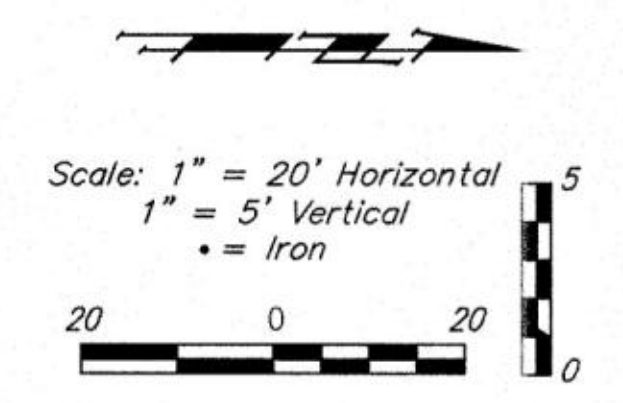
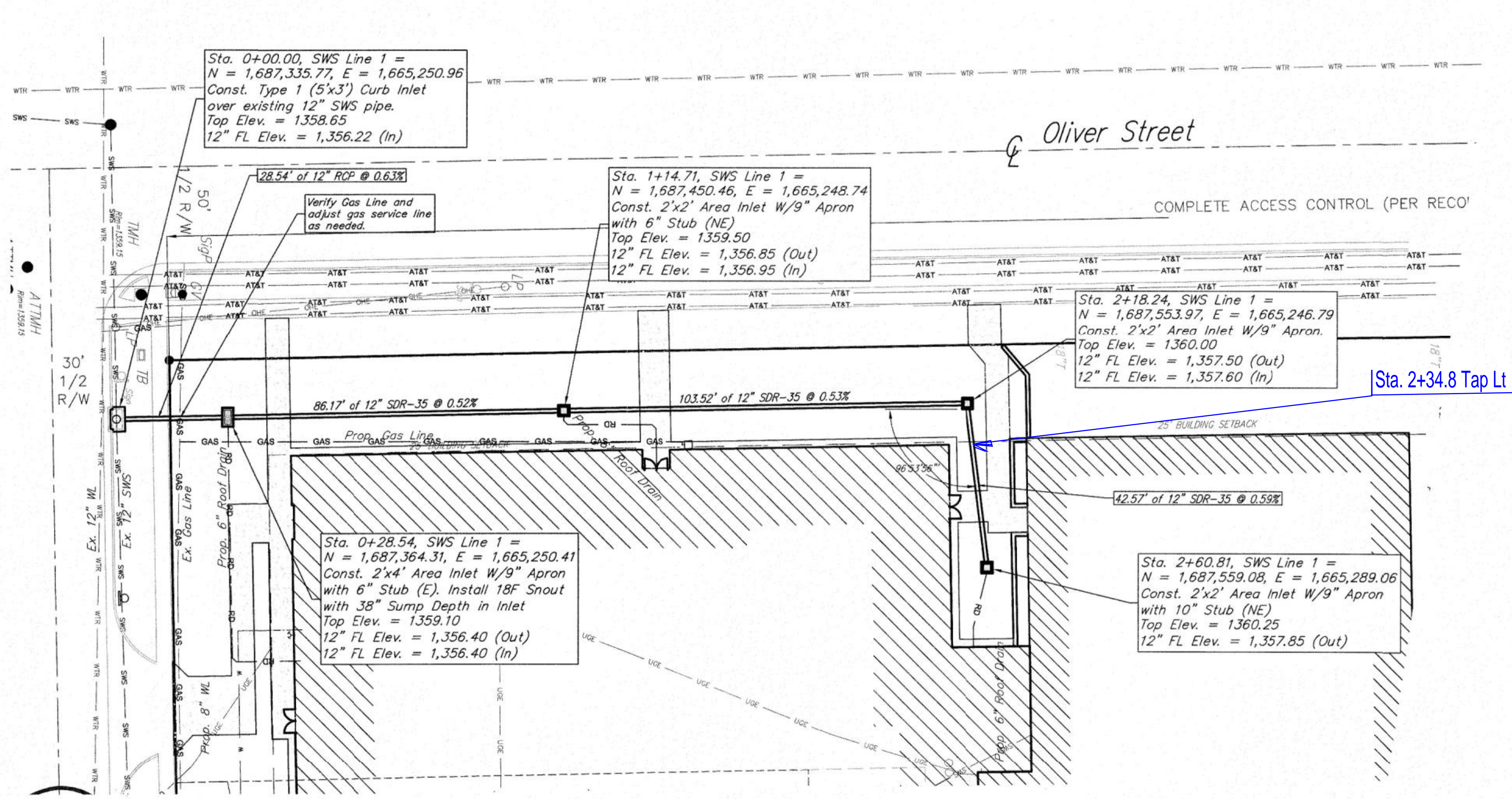
An approved copy of these plans signed by City staff are required on-site.



NOVEMBER 2015



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

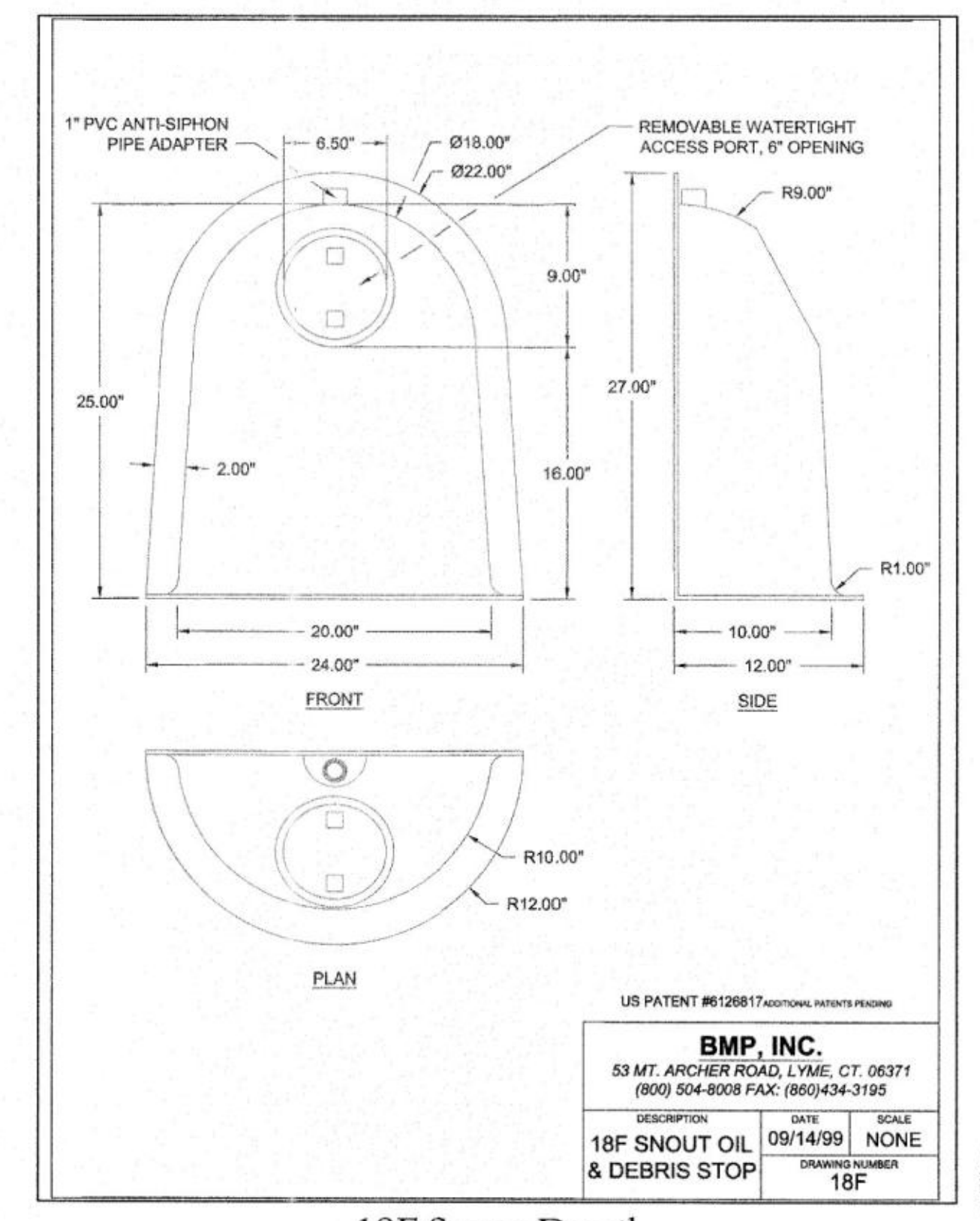
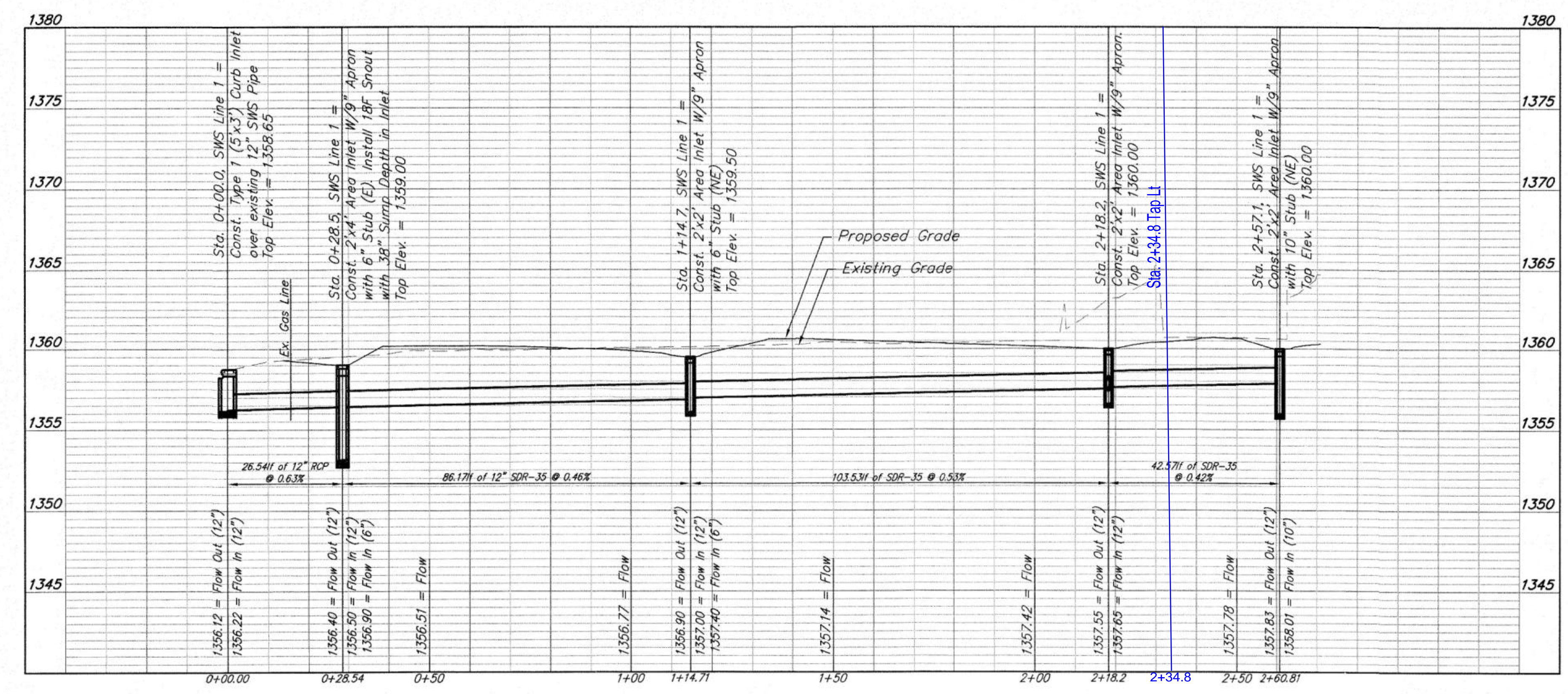


BENCHMARK

BENCHMARK #1: CHISELED CROSS ON THE TOP OF SIDEWALK, 65'± EAST AND 30'± SOUTH OF THE CENTERLINE OF THIRD STREET AND BLECKLEY DRIVE. ELEVATION = 1357.21 (NAVD88)

BENCHMARK #2: CHISELED SQUARE ON THE TOP OF CURB ON THE NORTHWEST CURB RETURN OF SECOND STREET AND BLECKLEY DRIVE. ELEVATION = 1354.00 (NAVD88)

LINE 1



18F Snout Detail
 No Scale

US PATENT #6126817 ADDITIONAL PATENTS PENDING

BMP, INC.
 53 MT. ARCHER ROAD, LYME, CT. 06371
 (800) 504-8008 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
18F SNOOT OIL & DEBRIS STOP	09/14/99	NONE
DRAWING NUMBER	16978	
	18F	

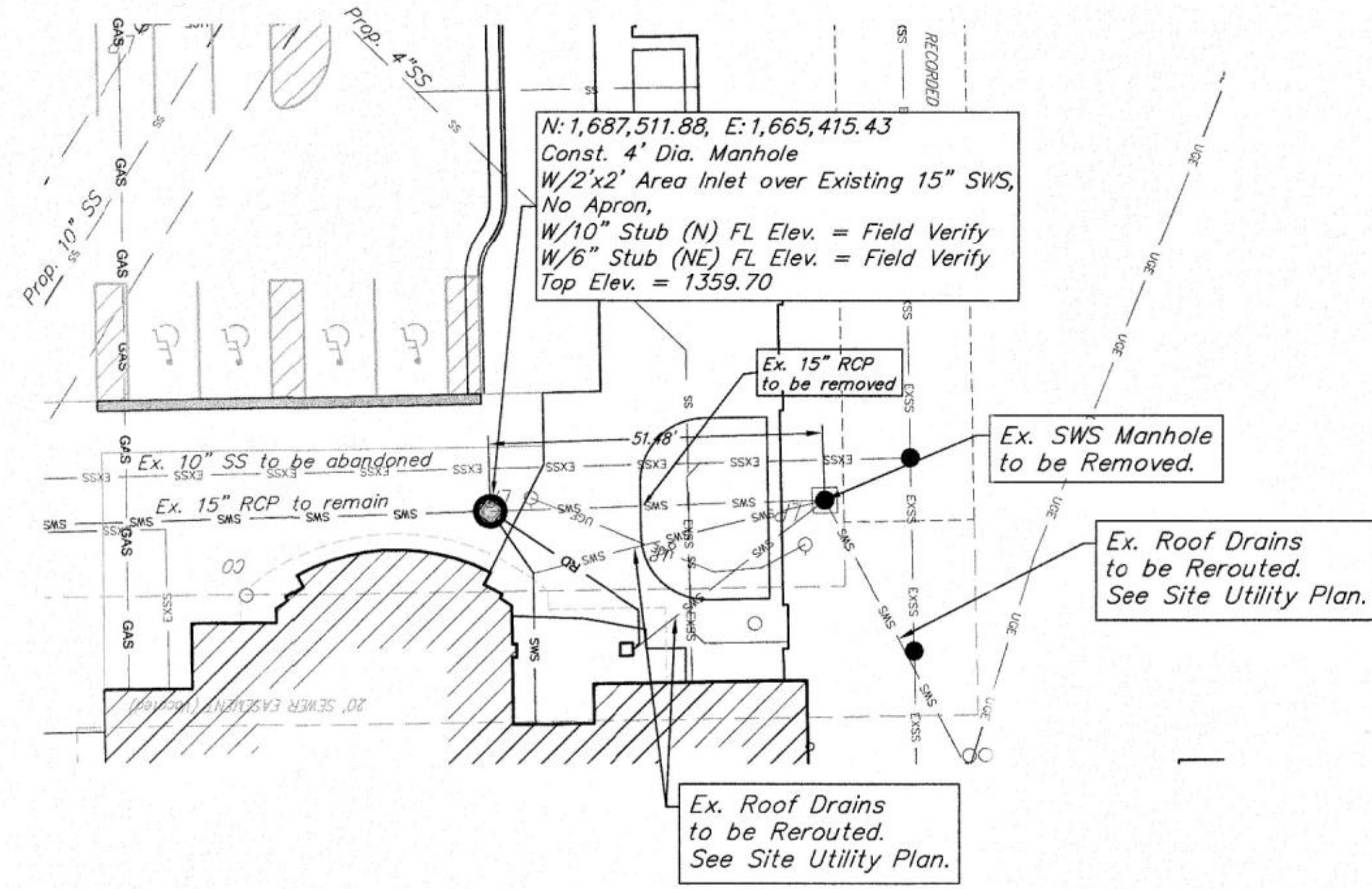
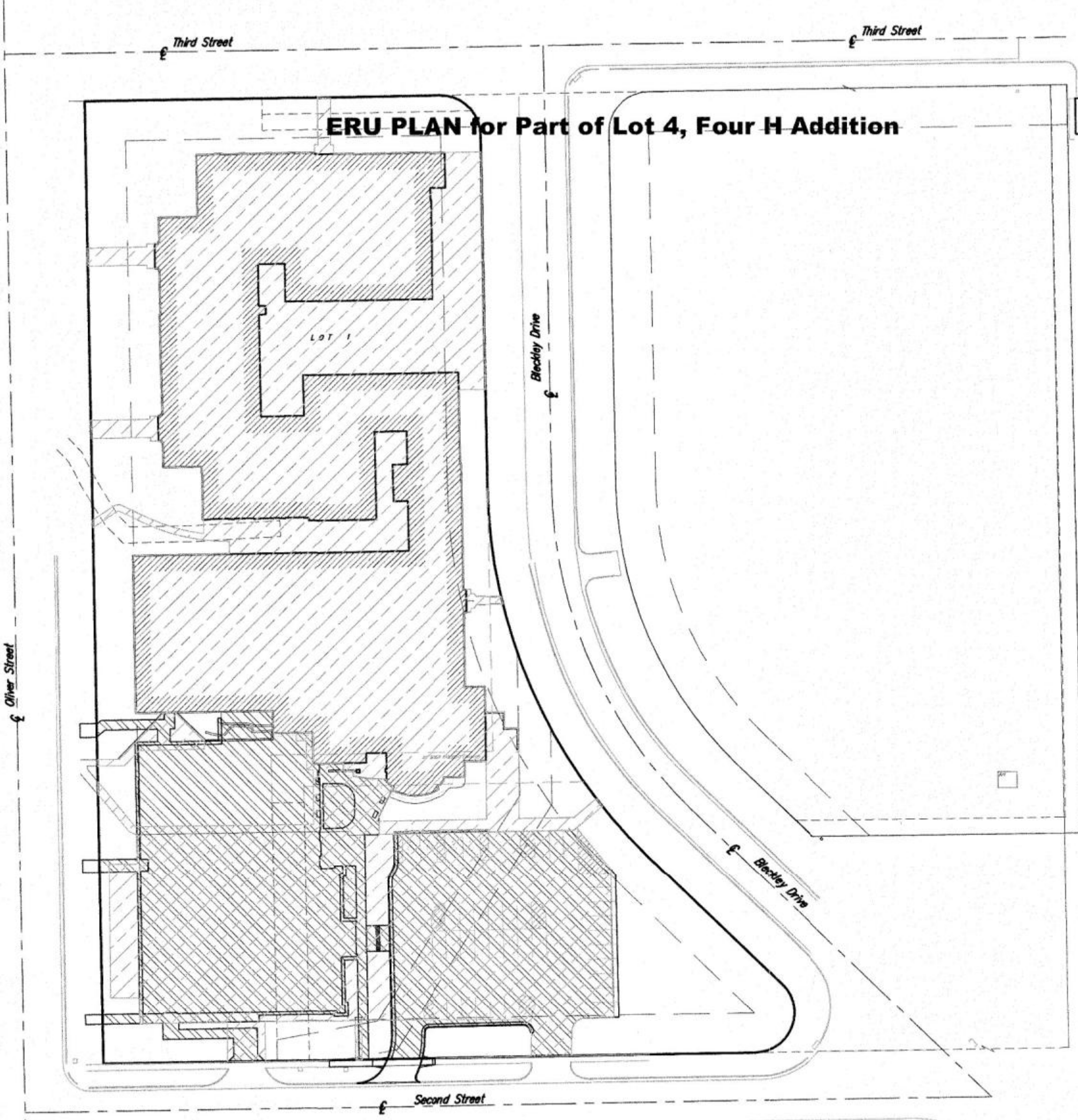
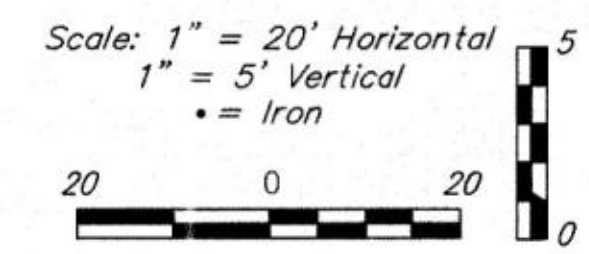


BENCHMARK

BENCHMARK #1: CHISELED CROSS ON THE TOP OF SIDEWALK, 65'± EAST AND 30'± SOUTH OF THE CENTERLINE OF THIRD STREET AND BLECKLEY DRIVE. ELEVATION = 1357.21 (NAVD88)

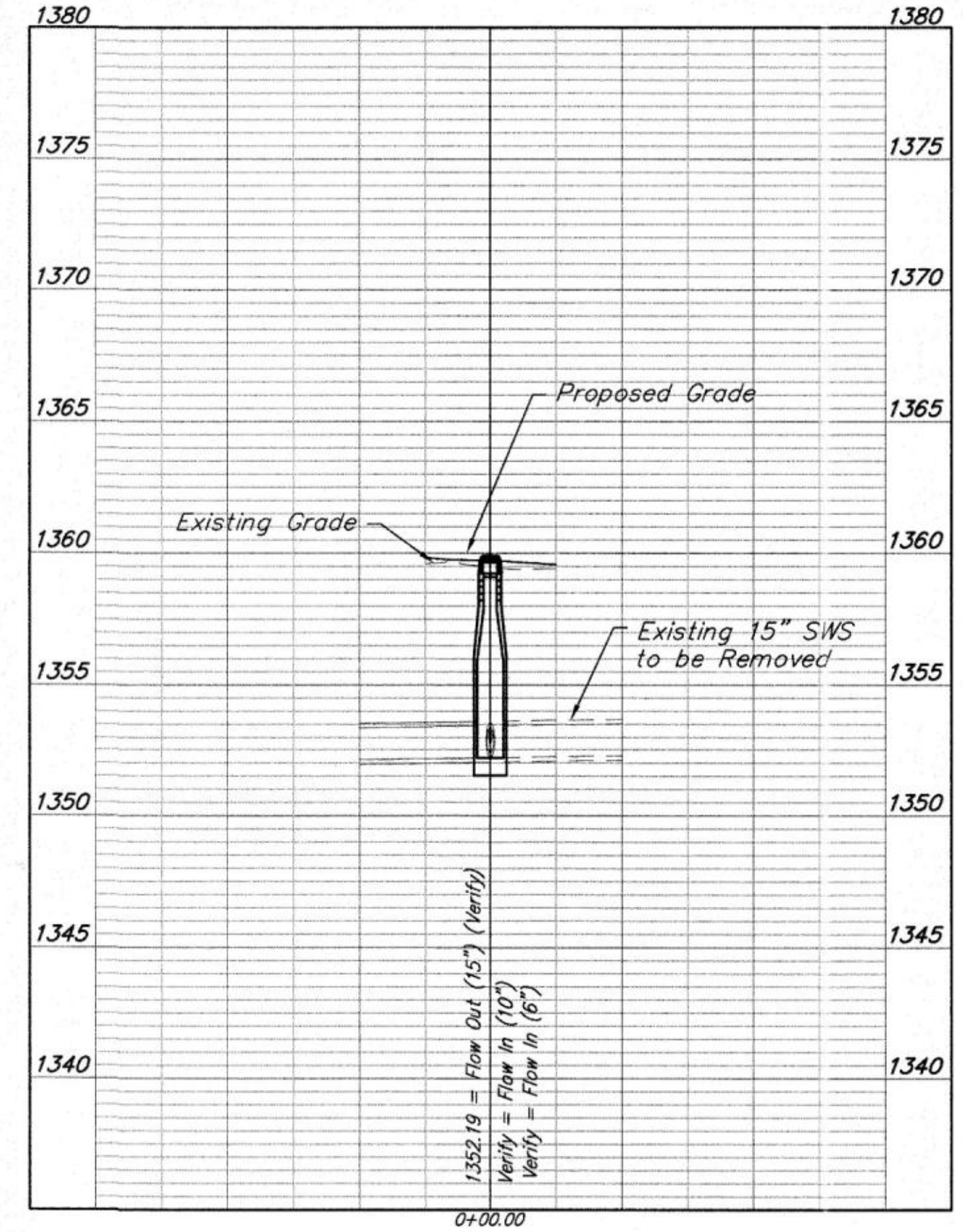
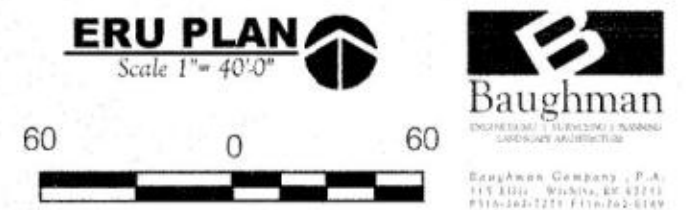
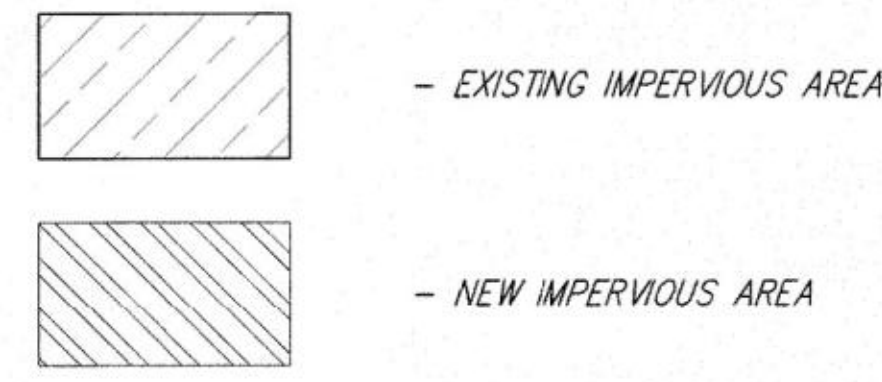
BENCHMARK #2: CHISELED SQUARE ON THE TOP OF CURB ON THE NORTHWEST CURB RETURN OF SECOND STREET AND BLECKLEY DRIVE. ELEVATION = 1354.00 (NAVD88)

Note: Stormsewer lines 1 & 2 will be a private system. Maintenance and inspection will be the owners responsibility, see the O&M manual developed for this system. The noted coordinate locations are in state plan coordinates with North in 1,713,XXX.XX and East in 1,638,XXX.XX.



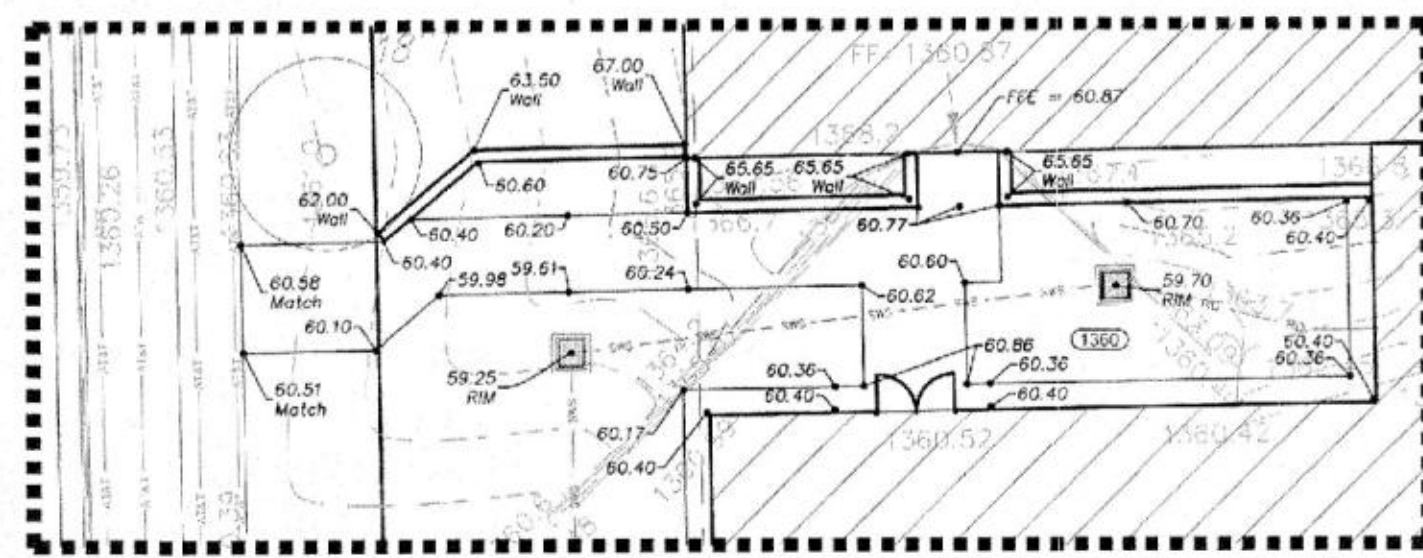
Site ERU Information

Total Area:	±174,476 sq. ft. (4.01 acres)
Disturbed Area:	± 73,810 sq. ft. (1.69 acres)
Existing Impervious Area:	±116,862 sq. ft. (2.68 acres)
Prop. Impervious Area:	±120,460 sq. ft. (3.77 acres)

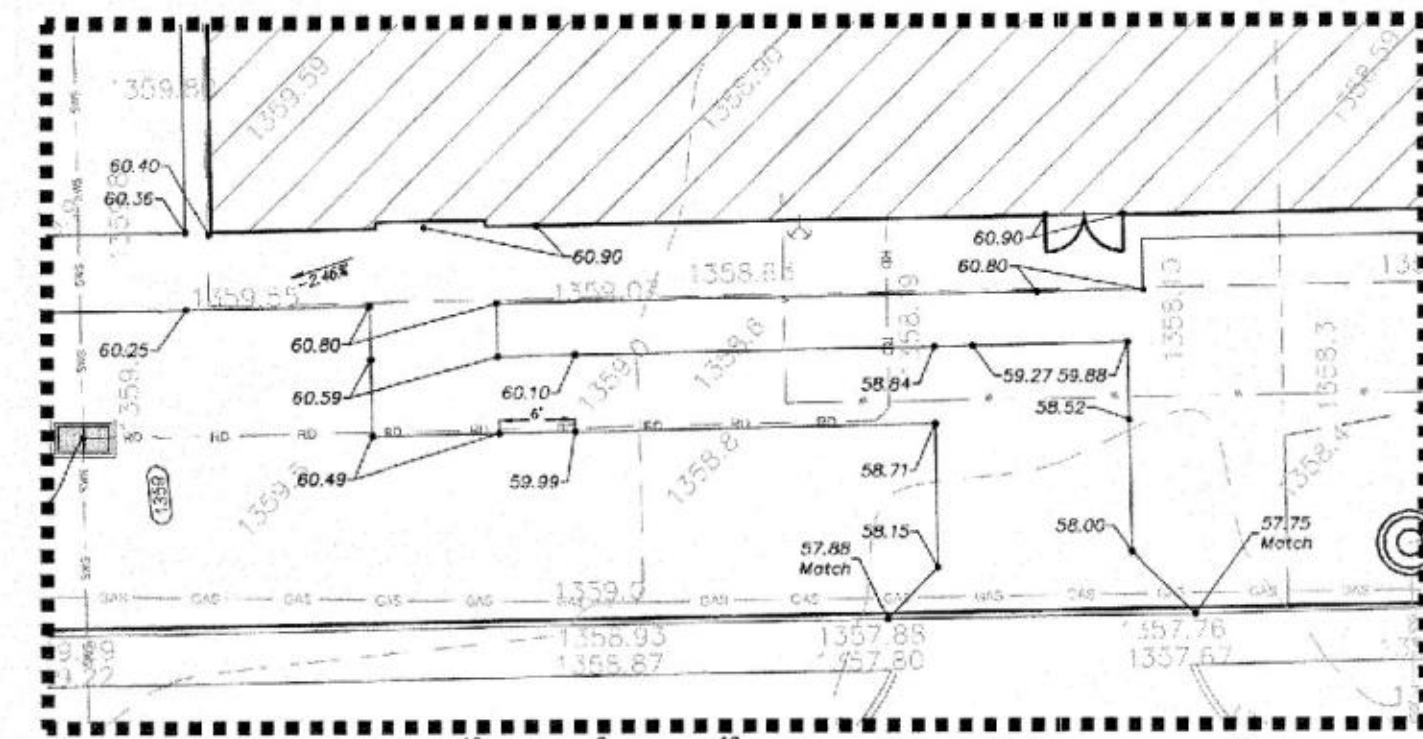


LINE 2

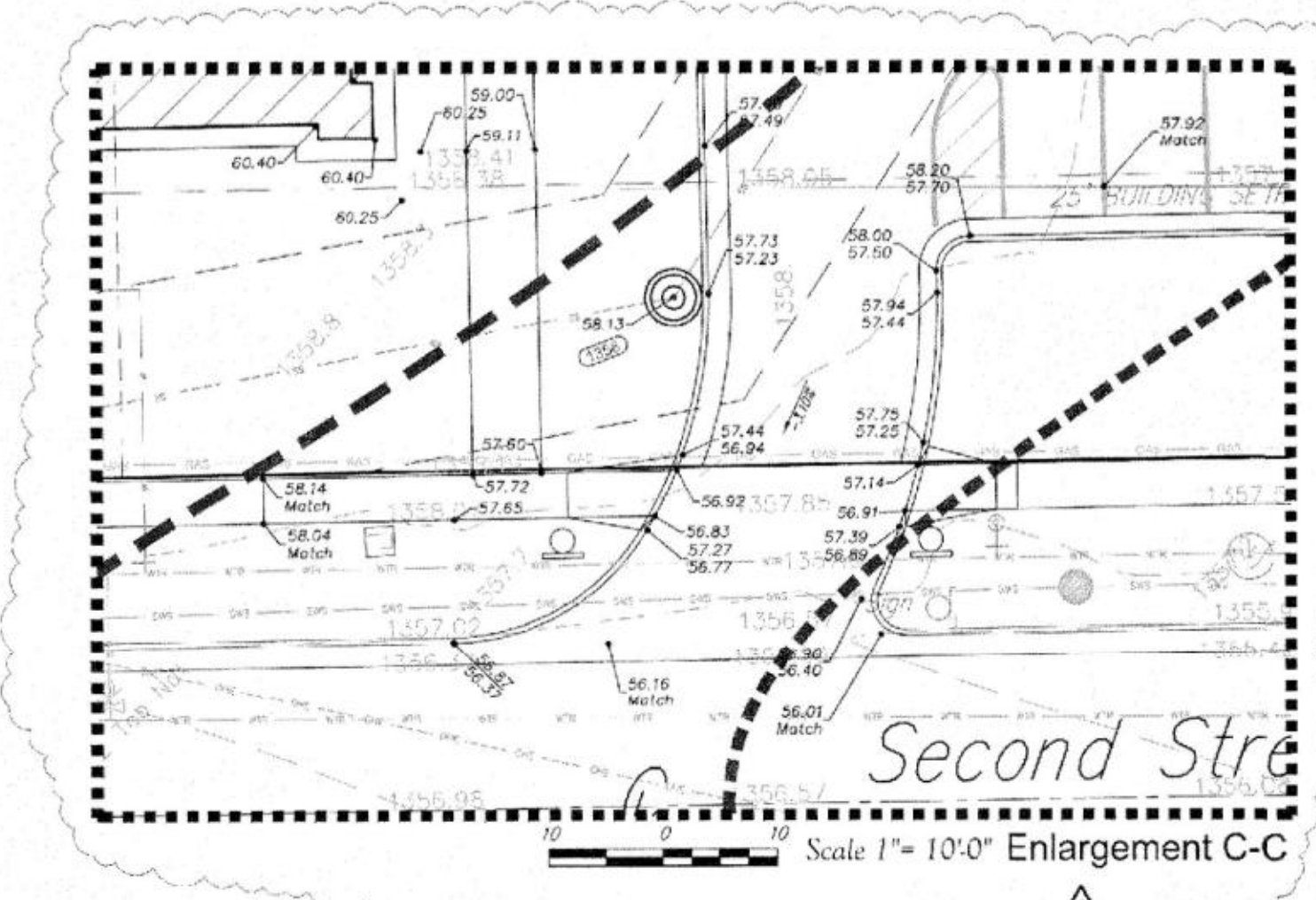




Scale 1" = 10'-0" Enlargement A-A



Scale 1" = 10'-0" Enlargement B-B



Scale 1" = 10'-0" Enlargement C-C

GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
 - Kansas Gas Service (Gas).....1-888-482-4850
 - Block Hill Energy (Gas).....1-800-303-1357
 - Westar Energy (Electric).....383-8850
 - Cox Communications (Telecommunication).....282-4270
 - AT&T (Telecommunication).....268-2759
 - City of Wichita Water Dept. (Water).....268-4563
 - City of Wichita Water Dept. (San. Sewer).....268-4224
 - City of Wichita Storm Sewer Maint. (Storm Sewer).....288-4093
 - City of Wichita Traffic Maint. (Traffic Control).....288-4034
 - Conoco Pipeline Co. (Petroleum).....1-800-231-2500
 - Williams Pipeline Co. (Petroleum).....532-6500 or 1-800-324-9696
 - Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signing and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. See Architectural Site Plan and Geotechnical Report for Pavement and subsurface details.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Water to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%), notify Landscape Architect of any discrepancies prior to forming of walks.
- Landscape Areas adjacent to Building shall be set 4" Below FFE, unless otherwise noted. At areas adjacent to the building and Sidewalk, landscape shall be graded to match the sidewalk section and drain away from the building. Transition landscape to match sidewalk to 4" below with a slope not exceeding 1/2%.

BENCHMARKS

BENCH MARK #1: CHISELED CROSS ON THE TOP OF SIDEWALK, 65'± EAST AND 30'± SOUTH OF THE CENTERLINE OF THIRD STREET AND BLECKLEY DRIVE.
ELEVATION = 1357.21 (NAVD88)

BENCH MARK #2: CHISELED SQUARE ON THE TOP OF CURB ON THE NORTHWEST CORNER RETURN OF SECOND STREET AND BLECKLEY DRIVE.
ELEVATION = 1354.00 (NAVD88)

LEGAL DESCRIPTION

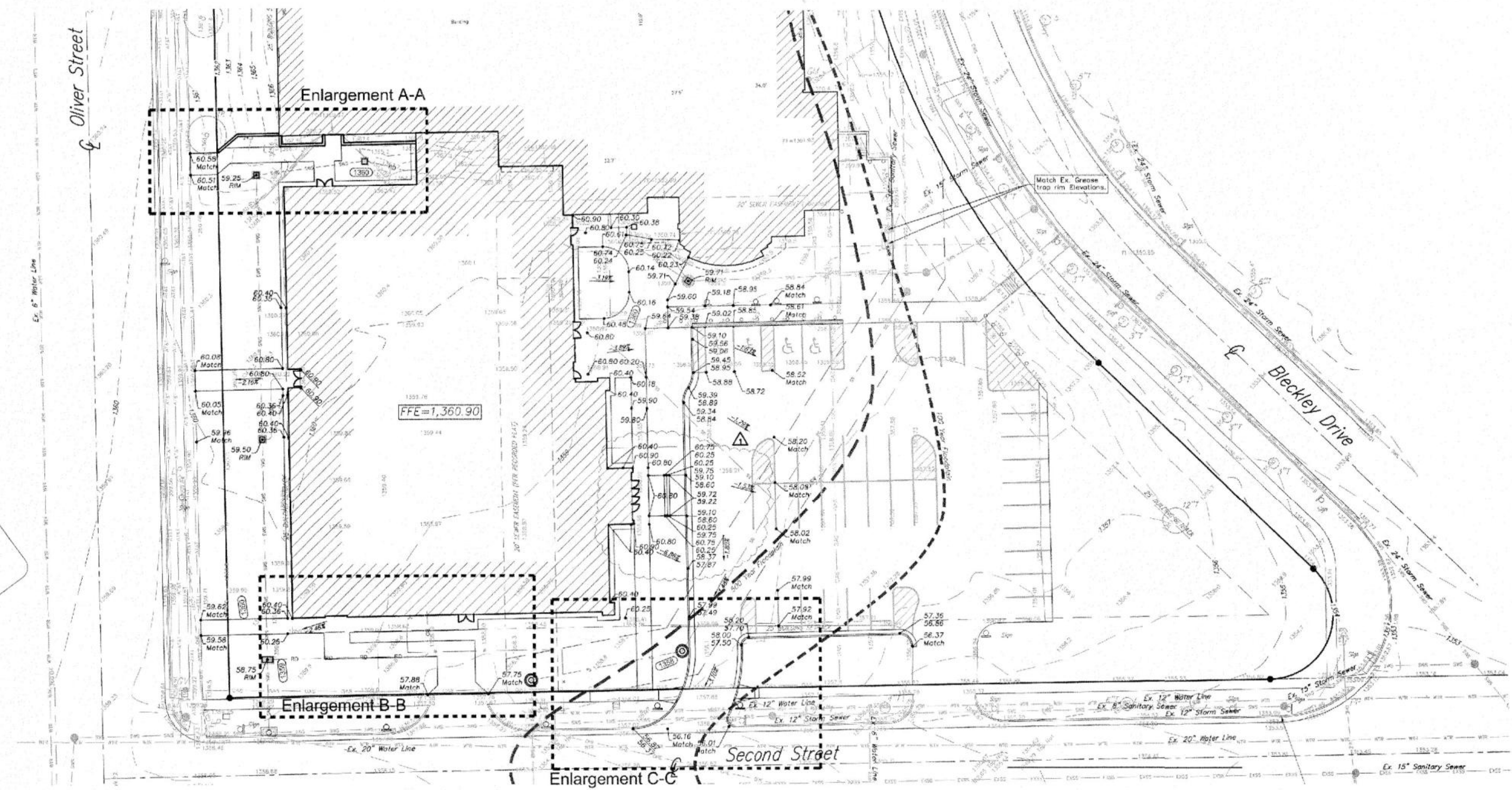
Lot 1, Block A and Lot 1, Block B, Robinson Junior High Addition, Wichita, Sedgewick County Kansas.

SITE INFORMATION

Total Area:	174,476 sq. ft. (4.01 acres)
Disturbed Area:	73,310 sq. ft. (1.69 acres)
Impervious Area:	120,528 sq. ft. (2.77 acres)
Revised Imp. Area:	43,435 sq. ft. (1.00 acres)
Added Impervious Area:	81,148 sq. ft. (1.87 acres)
Proposed Total Imp. Area:	132,275 sq. ft. (3.04 acres)
Parking Provided:	41 Spaces (including 4 Univ. ADA)

LAYOUT LEGEND

Existing Utilities		Proposed Utilities	
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Scale 1" = 20'-0"

SITE GRADING PLAN

For Reference Only
See Site Plans
Not To Scale

For Reference Only
See Site Plans
Not To Scale



JLD ARCHITECTURE
JENNIFER D. GARDNER
P.L.L.C.
1125 S. WILSON ST., SUITE 100
WICHITA, KS 67202
PH: 316-261-2311
FAX: 316-261-2312
WWW.JLDARCHITECTURE.COM



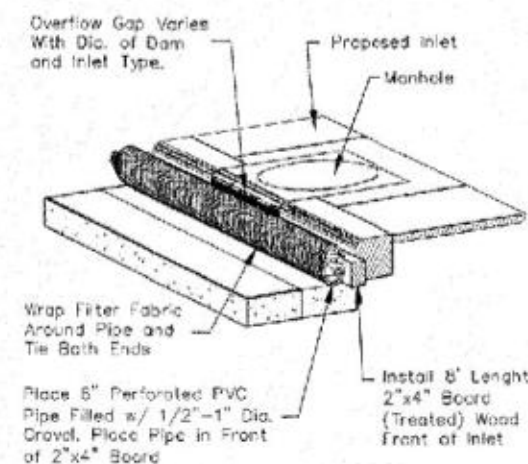
Baughman Company, P.A.
1115 E. 15th St., Wichita, KS 67211
328 N. Oliver Ave., Wichita, KS 67208
PH: 316-261-2311
FAX: 316-261-2312
WWW.BAUGHMANCOMPANY.COM

USD 259
ROBINSON MIDDLE SCHOOL - ADDITION
BID NO. 14-25-056
328 N. Oliver Ave.,
Wichita, KS 67208

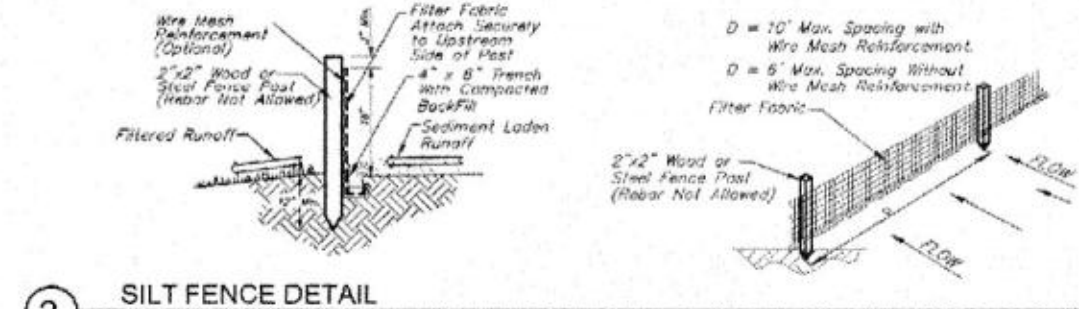
Revisions
Project Number
SJCF 5097.00

Date
NOVEMBER 12, 2014
GRADING
PLAN

1" = 20'-0"
C2.0



1 TYPE 1 INLET PROTECTION
NOT TO SCALE



2 SILT FENCE DETAIL
NOT TO SCALE

BENCHMARKS

BENCH MARK #1: CHISELED CROSS ON THE TOP OF SIDEWALK, 65' EAST AND 30' SOUTH OF THE CENTERLINE OF THIRD STREET AND BLECKLEY DRIVE.
ELEVATION = 1357.21 (NAVD88)

BENCH MARK #2: CHISELED SQUARE ON THE TOP OF CURB ON THE NORTHWEST CURB RETURN OF SECOND STREET AND BLECKLEY DRIVE.
ELEVATION = 1354.00 (NAVD88)

LEGAL DESCRIPTION

Lot 1, Block A, Robinson Junior High Addition,
Wichita, Sedgwick County, Kansas

SITE ERU INFORMATION

Total Area: 174,476 sq. ft. (4.01 acres)
Disturbed Area: 73,810 sq. ft. (1.69 acres)
Ex. Impervious Area: 120,538 sq. ft. (2.77 acres)
Redeveloped Imp. Area: 43,435 sq. ft. (1.00 acres)
Added Impervious Area: 811,749 sq. ft. (18.72 acres)
Proposed Total Imp. Area: 132,272 sq. ft. (3.04 acres)
Parking Provided: 41 Spaces (including 4 Unis. ADA)

Stormwater Compliance:

Downstream Channel Protection: This site does not disturb 5.0 acres. Downstream Channel Protection is not required.

Water Quality Requirements: Water Quality Volume to be treated for this project (WQV=2,355 sq. ft.) shall be addressed with Snaut and additional Sumps installed in three structures, see PPD for this site.

This improvement has been developed to satisfy Section 16.32 of the City Code

EROSION CONTROL NOTES

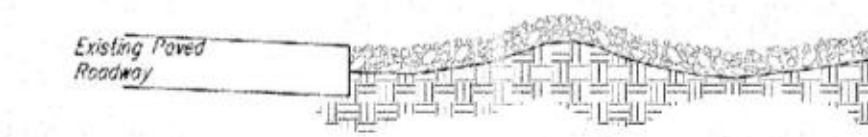
- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 21 days of final GRADING. Seed is to include straw mulch, covered in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approved to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nighttime, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to SWPP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any sites on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

LAYOUT LEGEND

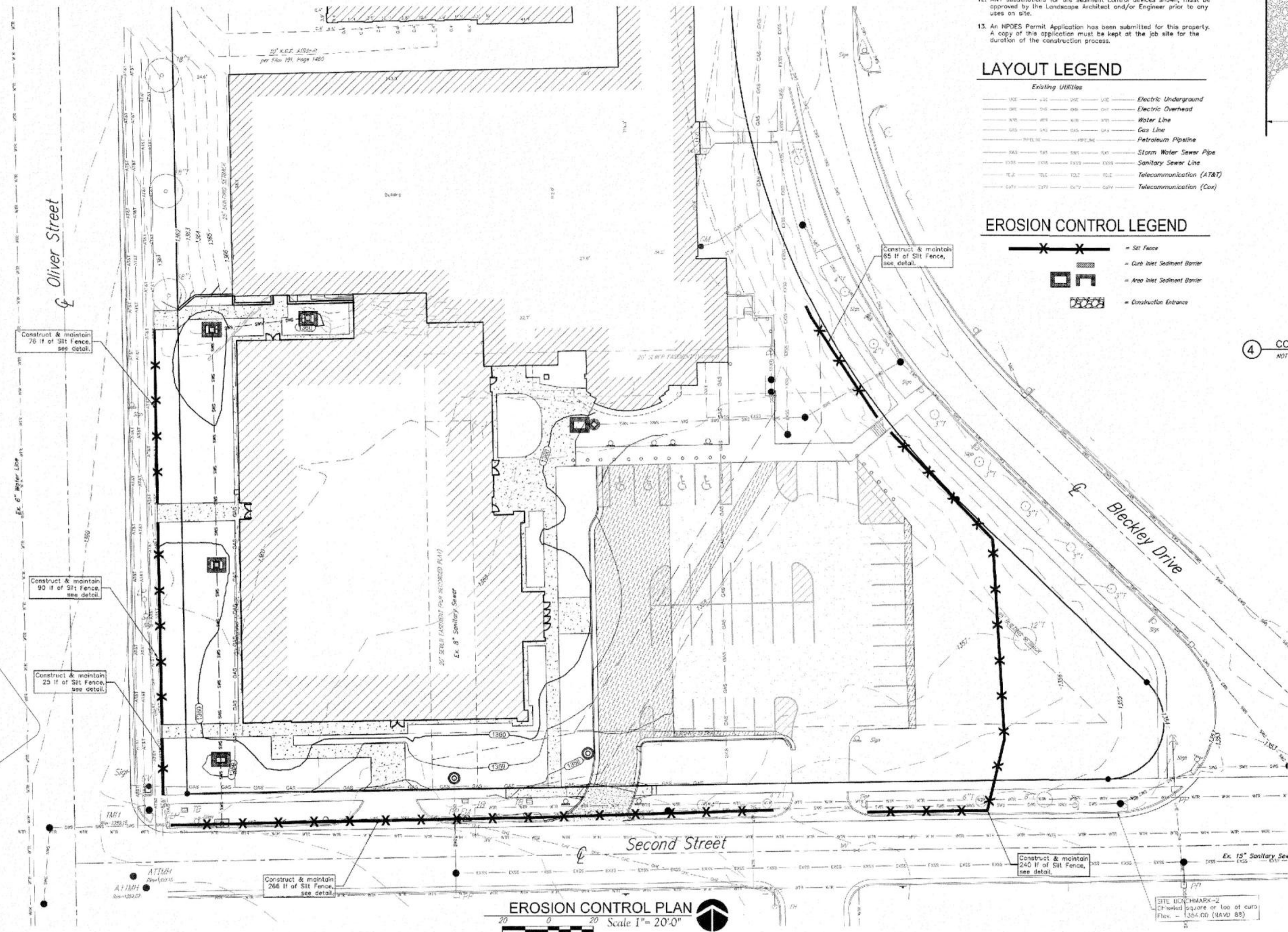
Existing Utilities	
—●—	Electric Underground
—○—	Electric Overhead
—W—	Water Line
—G—	Gas Line
—P—	Petroleum Pipeline
—S—	Storm Water Sewer Pipe
—SS—	Sanitary Sewer Line
—T—	Telecommunication (AT&T)
—C—	Telecommunication (Cox)

EROSION CONTROL LEGEND

—X—	Silt Fence
—○—	Curb Inlet Sediment Barrier
—□—	Area Inlet Sediment Barrier
—○—	Construction Entrance



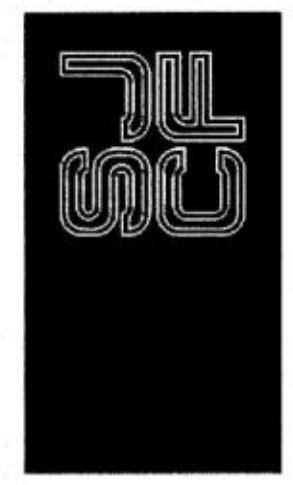
4 CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



EROSION CONTROL PLAN
Scale 1" = 20'-0"

For Reference Only
See Site Plans
Not To Scale

For Reference Only
See Site Plans
Not To Scale



Baughman Company, P.A.
Wichita, Kansas
Baughman
328 N. Oliver Ave.,
Wichita, KS 67208

USD 259
ROBINSON MIDDLE SCHOOL - ADDITION
BID NO. 14-25-056
328 N. Oliver Ave.,
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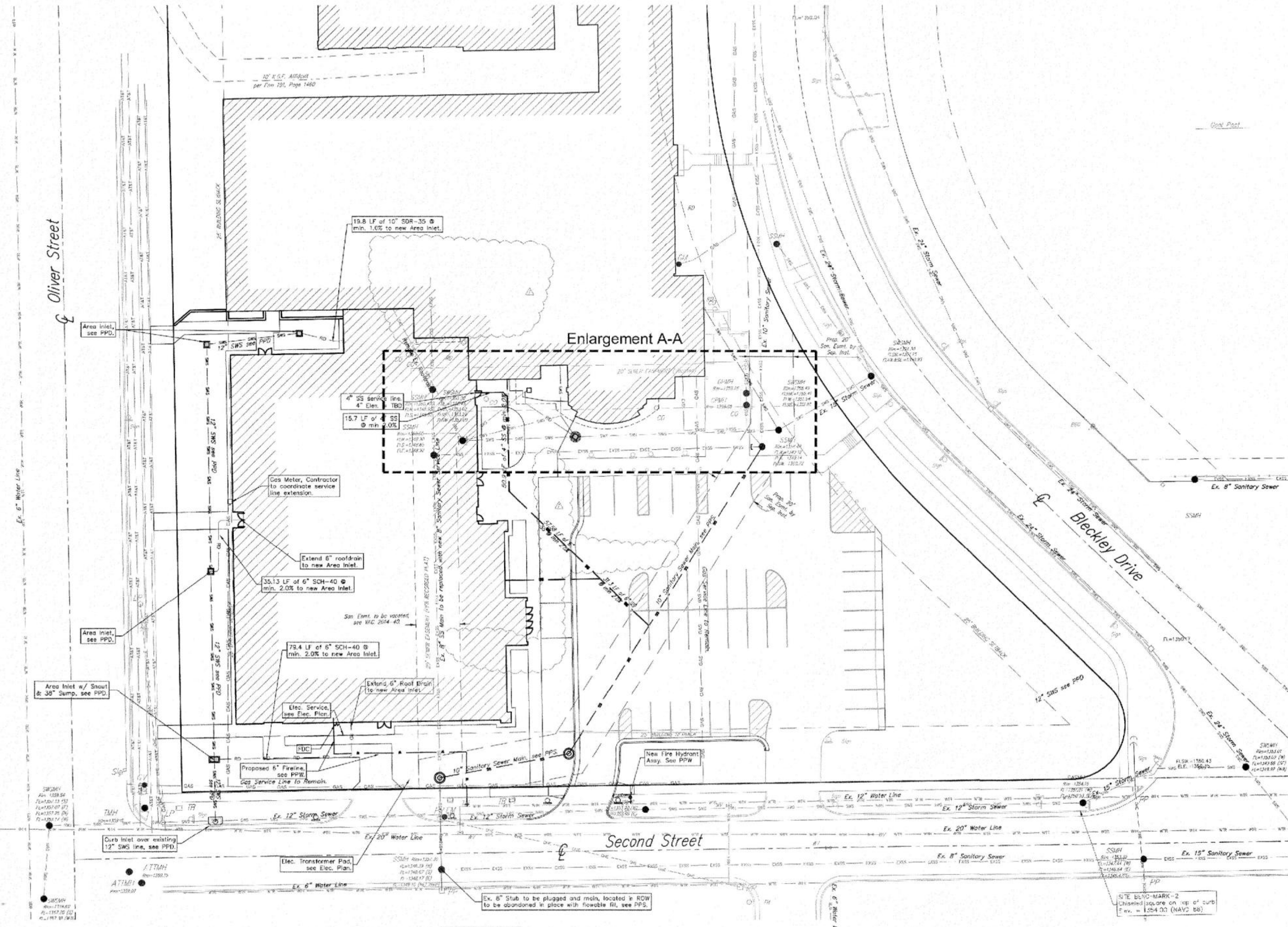
Revisions
Project Number
S/JCF 5087.00

Date
OCTOBER 15, 2014

Erosion Control
& ERU Plan
1" = 20'-0"
C2.1

Baughman Company, P.A.
Wichita, Kansas
Baughman

Lot 1, Blk A, Robinson Junior High Addition
Ref. Erosion Plan
Storm Water Drain Improvements



BENCHMARKS

BENCH MARK #1: CHISELED CROSS ON THE TOP OF SIDEWALK, 65' EAST AND 30' SOUTH OF THE CENTERLINE OF THIRD STREET AND BLECKLEY DRIVE. ELEVATION = 1357.21 (NAVD88)

BENCH MARK #2: CHISELED SQUARE ON THE TOP OF CURB ON THE NORTHWEST CORNER RETURN OF SECOND STREET AND BLECKLEY DRIVE. ELEVATION = 1354.00 (NAVD88)

LEGAL DESCRIPTION

Lot 1, Block A, Robinson Junior High Addition, Wichita, Sedgewick County Kansas.

SITE INFORMATION

Total Area: 174,476 sq. ft. (4.01 acres)
 Disturbed Area: 75,810 sq. ft. (1.89 acres)
 Ex. Impervious Area: 120,526 sq. ft. (2.77 acres)
 Redeveloped Imp. Area: 43,435 sq. ft. (1.00 acres)
 Added Impervious Area: 211,749 sq. ft. (0.27 acres)
 Proposed Total Imp. Area: 132,275 sq. ft. (3.02 acres)
 Parking Provided: 41 Spaces (including 4 Univ. ADA)

UTILITY NOTES

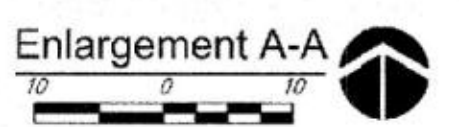
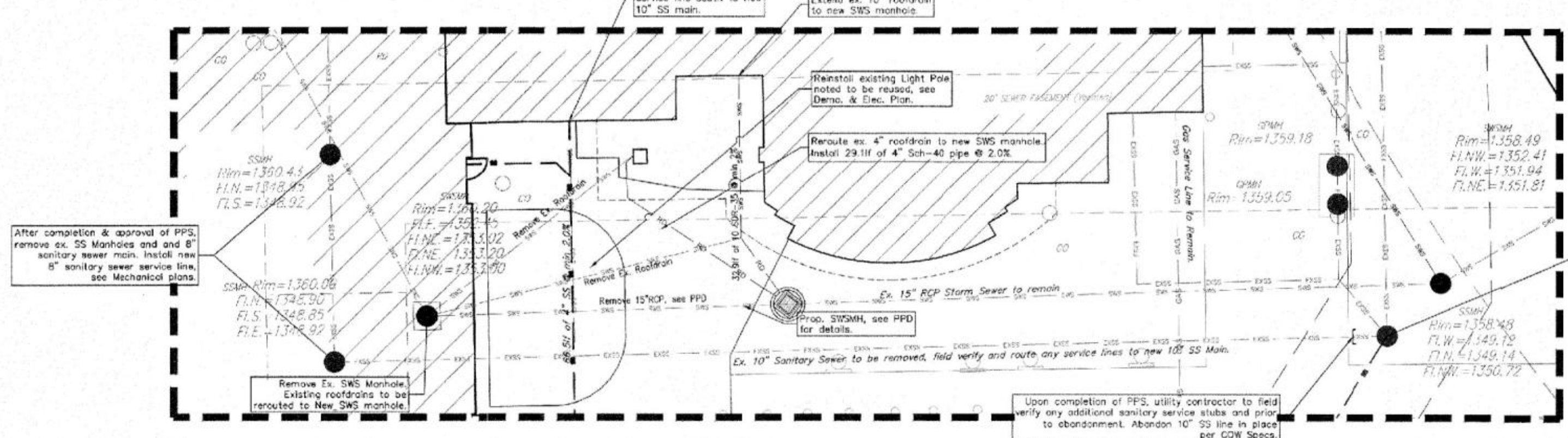
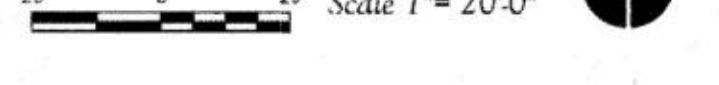
- Contractor shall be required to provide notice to Kansas One Call at 887-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify in case of an emergency:
 Kansas Gas Service (Gas).....1-888-483-4350
 Black Hills Energy (Gas).....1-800-321-0357
 Weater Energy (Electric).....363-6650
 Cox Communications (Telecommunication).....262-6272
 AT&T (Telecommunication).....268-2729
 City of Wichita Water Dept. (Water).....268-4963
 City of Wichita Sewer Maint. (San. Sewer).....268-4908
 City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4974
 City of Wichita Traffic Maint. (Traffic Control).....268-4334
 Conoco Pipeline Co. (Petroleum).....1-800-233-2561
 Williams Pipeline Co. (Petroleum).....299-6600
 Phillips Pipeline Co. (Petroleum).....1-800-324-9996
 or 1-800-756-8222
- Existing utilities and their locations, as shown on the plan, best information available for design. Location information obtained from the various utility companies and is either from record drawings or company provided field locations. The Contractor is required to locate and mark all utilities prior to construction. The Contractor shall be responsible for any damage to existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for treatment of disturbed areas.
- Proposed Water Main and Fire Hydrants shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The Water Main and Fire Hydrants shall be designed separately, and undergo Local City review and approval. The installation of the Water Main and Fire Hydrants are required to be done by a bonded contractor, inspected and certified. Refer to Separate Water Main and Fire Hydrants Plan Set. The Contractor shall construct the Water Main and Fire Hydrants only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall receive written approval from adjacent landowners prior to proceeding with any construction work on adjoining property.
- Gas service tie-ins to new meters shall be per service provider standards. Tie-ins are to be above ground at the meter.
- Utility service connections are to be installed per applicable Local City Codes.
- Contractor shall be responsible for coordination of all utility service connections and all permits.
- Water tests to be made by Local City Water Department. Contractor to reimburse City for testing costs.

**For Reference Only
 See Site Plans
 Not To Scale**

LAYOUT LEGEND

Existing Utilities	
---	Electric Underground
---	Electric Overhead
---	Water Line
---	Gas Line
---	Petroleum Pipeline
---	Storm Water & Roofdrain Pipe
---	Sanitary Sewer Line
---	Telecommunication (AT&T)
---	Telecommunication (Cox)
Proposed Utilities	
---	Electric Underground
---	Electric Overhead
---	Water Line
---	Gas Service Line
---	Storm Water Sewer Pipe (see PPD)
---	Sanitary Sewer Serv. Line
---	Telecommunication (AT&T)
---	Roofdrain

SITE UTILITY PLAN



**For Reference Only
 See Site Plans
 Not To Scale**



BAUGHMAN COMPANY, P.A.
 ARCHITECTURE
 328 N. OLIVER AVE.
 WICHITA, KANSAS
 PHONE: 316-261-5171
 FAX: 316-261-5172
 WWW.BAUGHMANPA.COM



Baughman Company, P.A.
 328 N. OLIVER AVE.
 WICHITA, KANSAS 67208
 PHONE: 316-261-5171
 FAX: 316-261-5172
 WWW.BAUGHMANPA.COM

**USD 259
 ROBINSON MIDDLE SCHOOL - ADDITION
 BID NO. 14-25-056**

328 N. OLIVER AVE.
 WICHITA, KS 67208

Revisions:

No.	Description
1	11-21-14
2	11-21-14
3	11-21-14
4	11-21-14
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100	11-21-14

Project Number: **SJCF 5037.00**

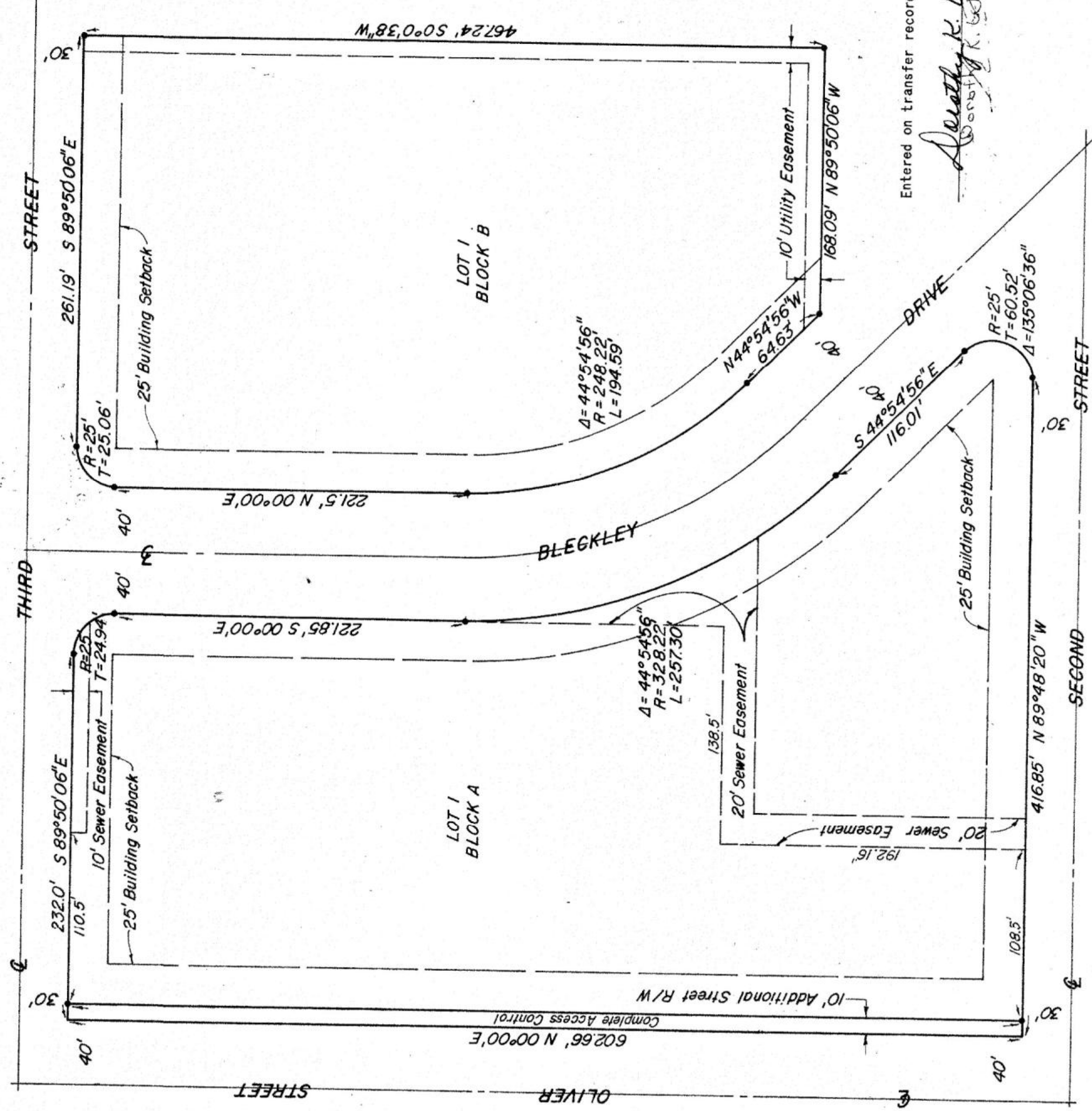
Date: **OCTOBER 15, 2014**

UTILITY PLAN

1" = 20'-0"

C3.0

ROBINSON JUNIOR HIGH ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



N
↑
1" = 60'
• = Iron

Minimum Building Pad Elevation
174.00 (City of Wichita Datum)

F 2-24

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

I, Don C. Moehring II, a Civil Engineer in said State and County, do hereby certify that I have surveyed and platted "ROBINSON JUNIOR HIGH ADDITION" to Wichita, Sedgwick County, Kansas, into Lots, Blocks, and a Street, the same being accurately set forth on the accompanying plat and described as follows: A Replat of Lots 4, Block 5, and Blocks 3, 4, and 10, East Boulevard Addition to Wichita, Kansas; and Reinhardt Place and that part of Glendale Boulevard lying North of Second Street and South of Linden Place (now Bleckley Drive), as platted in said East Boulevard Addition; said part of Glendale Boulevard and Reinhardt Place are hereby vacated by virtue of KSA 1970 Supp. 12-512(b).



Don C. Moehring II
Consulting Engineer

Know all men by these presents that we the undersigned, property owners of the land as above set forth in the Civil Engineer's certificate, have caused the same to be surveyed and platted into Lots, Blocks, and a Street, the same to be known as "ROBINSON JUNIOR HIGH ADDITION" to Wichita, Sedgwick County, Kansas. Easements for the construction and maintenance of public utilities, as indicated on the accompanying plat, are hereby granted. The street is hereby dedicated to and for the use of the public. All abutter's rights of access to and from Oliver Street, over and across the West line of Block A, are hereby granted to the City of Wichita.



Seal of the Unified School District No. 259 (Wichita), Sedgwick County, Kansas.
Daniel R. Glickman, President
Martin Hartley, Clerk

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

Be it remembered that on this 13th day of April, 1976, before me, a Notary Public in and for said State and County, came Unified School District No. 259 (Wichita), Sedgwick County, Kansas, by Daniel R. Glickman, President, and Martin Hartley, Clerk, together, to me personally known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.



Charlotte Bugmaster, Notary Public
Commission expires April 16, 1977

#379546

Entered on transfer record this 13 day of April, 1976.

Deed Clerk
Dorothy K. White



This plat of "ROBINSON JUNIOR HIGH ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, dated this 8th day of January, 1976.

Wichita-Sedgwick County Metropolitan Area Planning Commission
David Bayouth, Chairman
Robert A. Lakin, Secretary

This plat has been approved and all dedications shown hereon, if any, accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 13th day of March, 1978.

Mayor
Tony Cosado
City Clerk
Donald C. Gisick

This plat has been approved and all dedications shown hereon, if any, accepted by the Board of County Commissioners of Sedgwick County, Kansas, this 13th day of April, 1978.

Chairman
Everett Patrick
Commissioner
Tom Scott
Commissioner
John Hold

Attest
Dorothy K. White, County Clerk

STATE OF KANSAS, COUNTY OF SEDGWICK, SS:

This is to certify that this instrument was filed for record in the Register of Deeds Office at 2:00 PM on the 14th day of April, 1978.

Bette F. McCort, Register of Deeds
Amelia Seal, AMELIA FEIL

