

GENERAL NOTES:

1. The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.

2. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T 1-800-246-8464
 Black Hills Energy 1-800-694-8989
 City of Wichita Water 1-316-268-4555
 City of Wichita Sewer 1-316-268-4073
 City of Wichita Stormwater 1-316-268-4090
 City of Wichita Traffic 1-316-268-4034
 Cox Communications 1-888-249-3530
 Kansas Gas Service 1-888-482-4950
 Westor Energy 1-800-544-4857

3. Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.

4. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.

5. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.

6. The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

7. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

8. The Water Distribution Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades.

9. The Contractor shall notify the consultant engineer and Tom Mason with the City at 316-268-4574 with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.

10. If traffic is impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov, before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.

11. All elevations shown are NAVD 88.

12. All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

14. A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.

15. Geotechnical report available upon request.

16. Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.

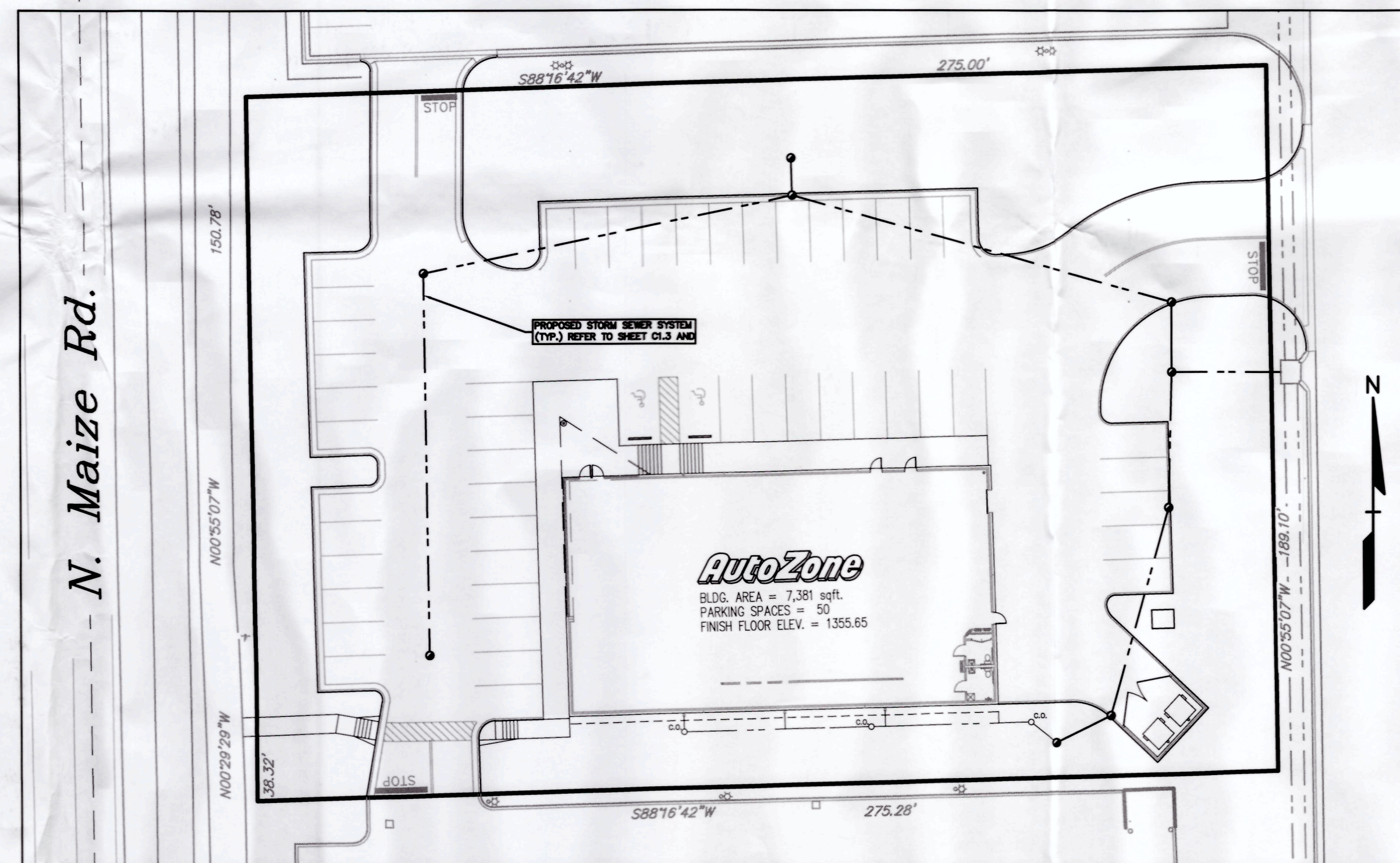
17. Contractor shall provide positive drainage away from all manhole covers.

18. City maintenance of storm sewer ends at right-of-way or easement line.

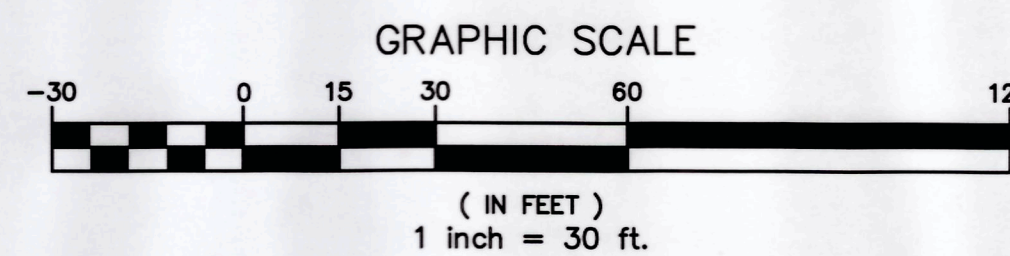
19. Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.

20. The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.

W. 37TH St. N.



BENCHMARKS: (DATUM=NAVD88)
 BM-1
 MAG NAIL W/ WASHER IN CONCRETE
 APPROX. 4 FT SE OF DMH A AND
 9.5 FT EAST OF AN ELECTRICAL
 RISER
 ELEVATION: 1353.90'
 BM-2
 SANITARY SEWER "A" RIM, NORTH
 OF SITE IN ARBY'S PARKING LOT.
 ELEVATION: 1355.07'



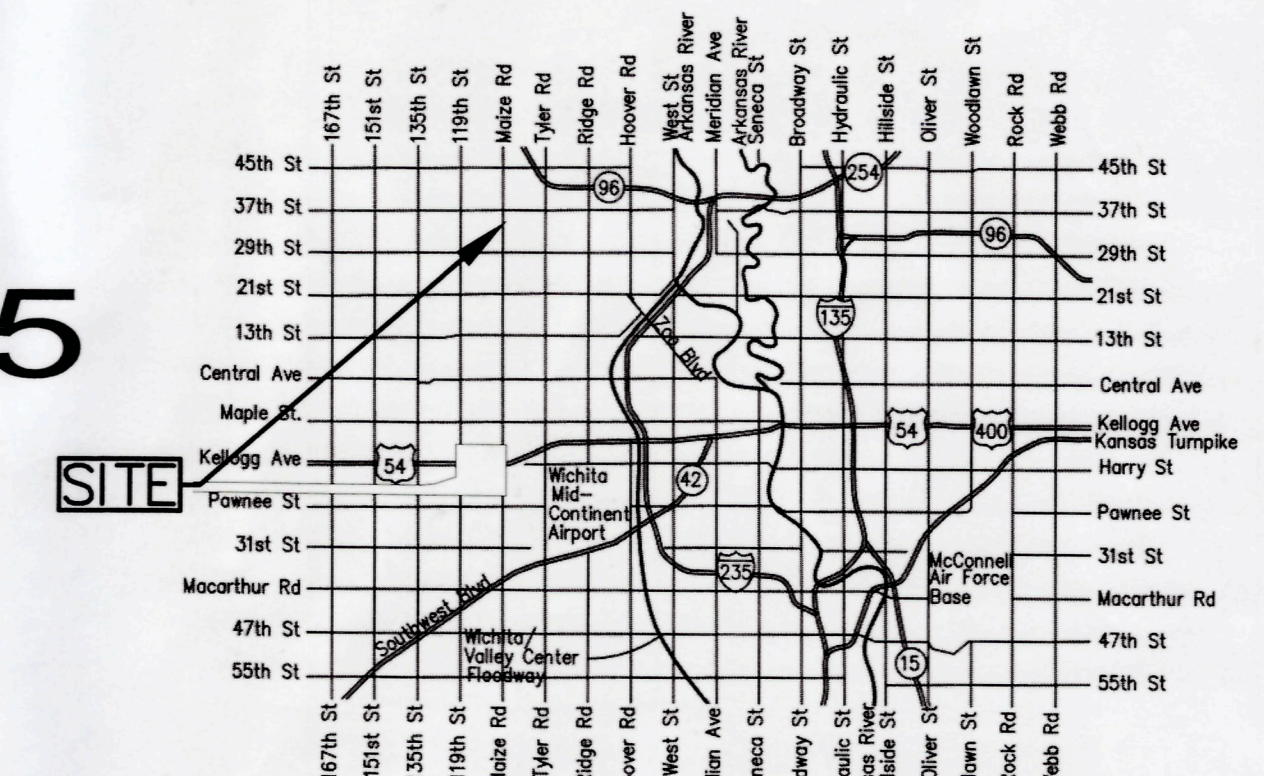
STORM SEWER IMPROVEMENTS to serve **STONEBRIDGE DP-295** **3710 N. MAIZE ROAD** **CITY OF WICHITA, KANSAS**

Gary Janzen, P.E. City Engineer

Project Number

0415 PPD

OCA #607861



Vicinity Map

SHEET INDEX

C0.0	COVER SHEET
C1.3	STORM WATER MANAGEMENT PLAN
C1.4	STORM SEWER PROFILES
C1.1A	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C1.1	GRADING PLAN
1 OF 1	ERU SHEET
C1.C	CONSTRUCTION DETAILS CUP DP-295 STONEBRIDGE

STORMWATER CERTIFICATION:

NEW DEVELOPMENT

- THESE CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE CURRENT STORMWATER MANAGEMENT REGULATIONS AS SET FORTH IN THE CITY OF WICHITA'S STORMWATER MANAGEMENT ORDINANCE 16.32 AND THE POLICIES/GUIDELINES PRESENTED IN THE WICHITA/SEDGWICK COUNTY STORMWATER MANUAL.
- DISTURBED AREA = 1.25 ACRES.
- WATER QUALITY TREATMENT: EXISTING REGIONAL DETENTION BASIN.
- DOWNSTREAM CHANNEL PROTECTION: EXISTING REGIONAL DETENTION BASIN.
- DETENTION: EXISTING REGIONAL DETENTION BASIN.
- THE BMP USED FOR THIS DEVELOPMENT IS: ENROLLMENT INTO THE OFF-SITE BMP PROGRAM.

APPROVED AS NOTED
 BY WICHITA PUBLIC WORKS ENGINEERING
 AND STORMWATER DIVISION

Engineering *Robert Drey* 9/29/2016
 Stormwater *Joe Heible PE* 9/29/16

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

AS BUILTS

Contractor: Wilks Underground
 Inspector: Matt Perez
 Date: 02/07/2017

KEMILLER
 ENGINEERING PA

117 E. Lewis,
 Wichita, KS 67202



(316)264-0242

SEPTEMBER 2016

PEA, Inc.

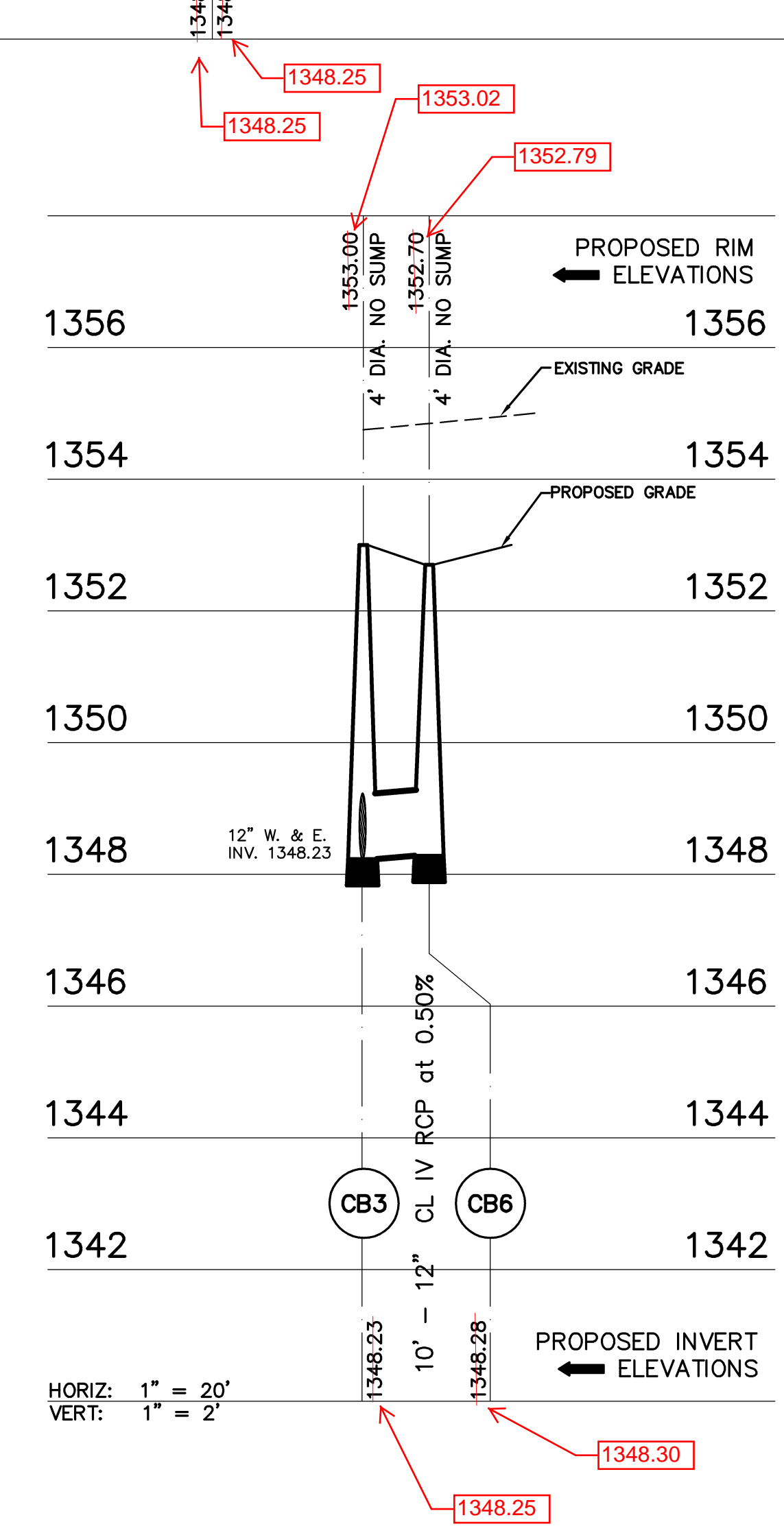
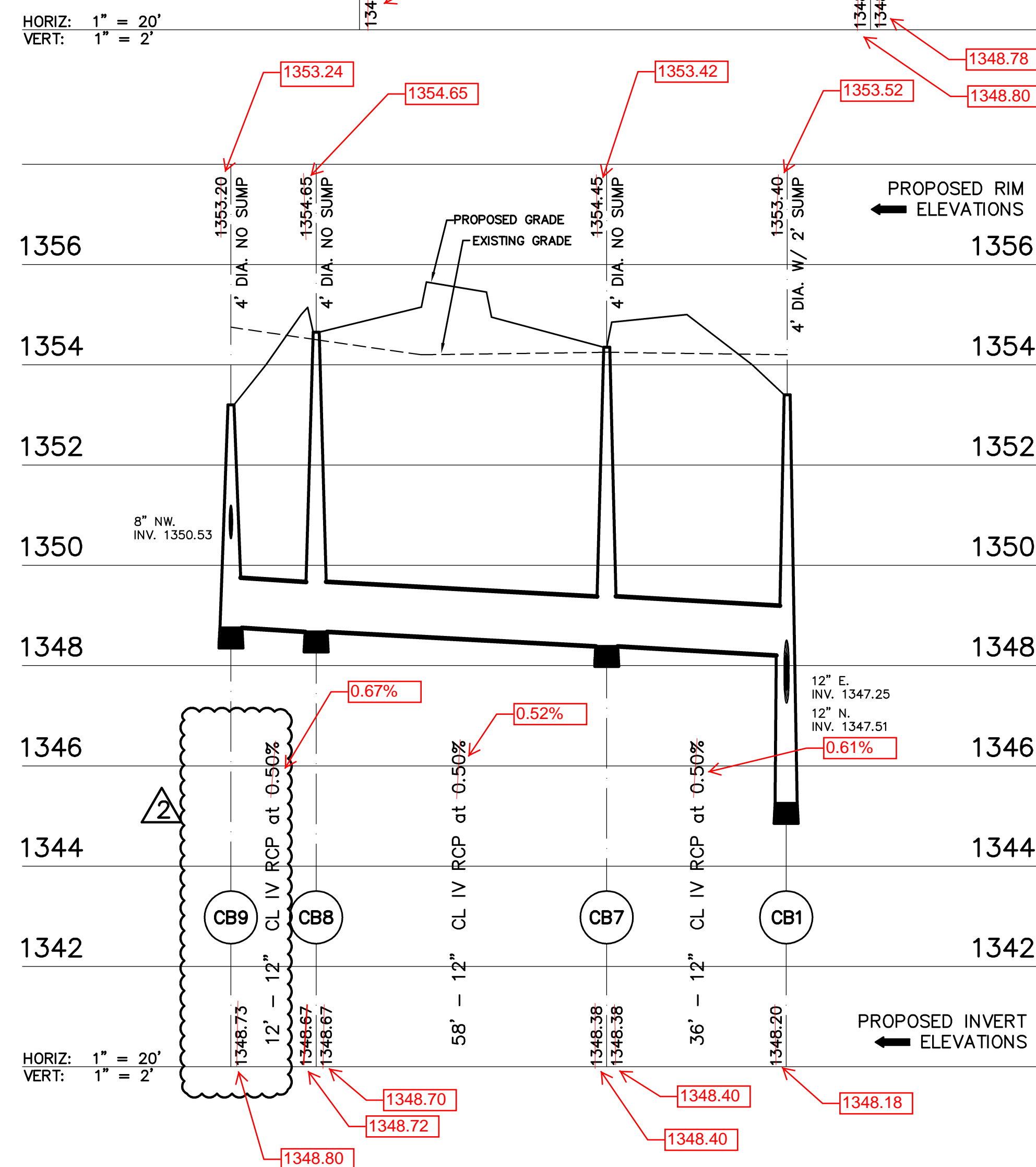
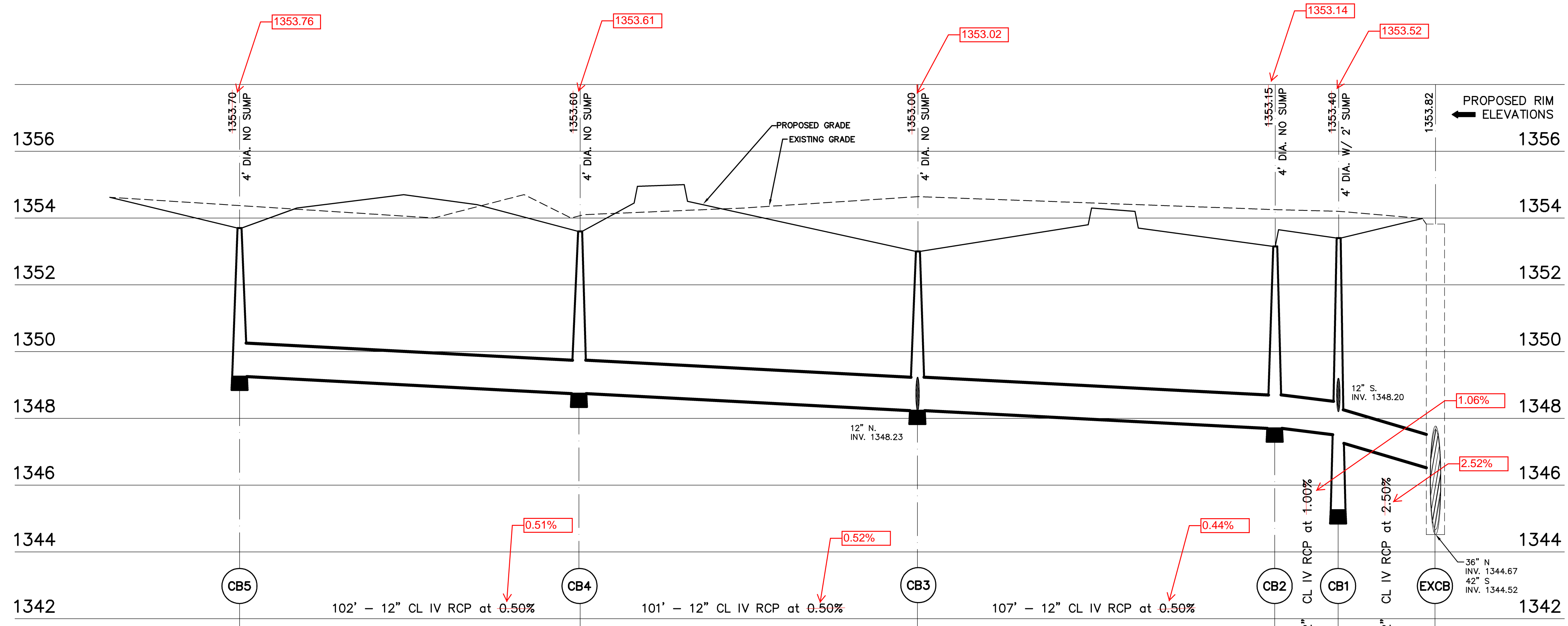
7927 Nemco Way, Suite 115

Brighton, Michigan, 48116

(517) 546-8583 x 225

BENCHMARKS: (DATUM=NAVD88)
 BM-1
 MAG NAIL W/ WASHER IN CONCRETE
 APPROX. 4 FT SE OF DMH A AND
 9.5 FT EAST OF AN ELECTRICAL RISER
 ELEVATION: 1353.90'

FLOOD NOTE:
 THIS PROPERTY IS LOCATED IN ZONE "X"
 WHICH ARE AREAS OF 0.2% CHANCE FLOOD
 AND NOT LOCATED WITHIN ANY PRESENTLY
 ESTABLISHED 100-YEAR FLOODPLAIN AS
 DETERMINED BY THE NATIONAL FLOOD
 INSURANCE PROGRAM, FLOOD INSURANCE
 RATE MAP FOR SEDGWICK COUNTY, KANSAS.
 MAP NUMBER: 20173C0330F
 MAP REVISED: MAY 2, 2012 AND
 MAP NUMBER: 20173C0190E
 MAP REVISED: FEBRUARY 2, 2007



AS BUILTS

Contractor: Wilks Underground
 Inspector: Matt Perez
 Date: 02/07/2017

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117 E. Lewis,
 Wichita, KS 67202 (316)264-0242

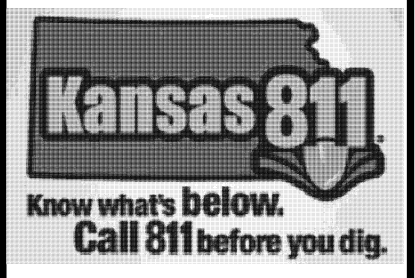
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1			ISSUED FOR PERMITS
2			REVISION PER MARCH
3			REVISION PER MARCH
4			REVISION PER MARCH
5			REVISION PER MARCH
6			REVISION PER MARCH
7			REVISION PER MARCH
8			REVISION PER MARCH
9			REVISION PER MARCH
10			REVISION PER MARCH



CAUTION!
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CONTRACTOR/CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS AGREEMENT SHALL BE TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND HOLD DESIGN PROFESSIONAL LIABILITY FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.



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 www.peainc.com

AUTOZONE PARTS, INC.
 122 S FRONT ST
 MEWPHIS, TN 38103

STORM SEWER PROFILES
CITY OF WICHITA, KANSAS #4471
 N. MAIZE ROAD, NEAR W. 37TH ST. N.
 CITY OF WICHITA, SEDGWICK COUNTY, KS

DES. WRB DN. SAPIWRB SUR. CEI P.M. WRB

ORIGINAL
 ISSUE DATE: JULY 20, 2016
 PEA JOB NO. 2016-060
 SCALE: AS SHOWN
 DRAWING NUMBER:
C1.4

BENCHMARKS: (DATUM=NAVD88)
B.M. 1
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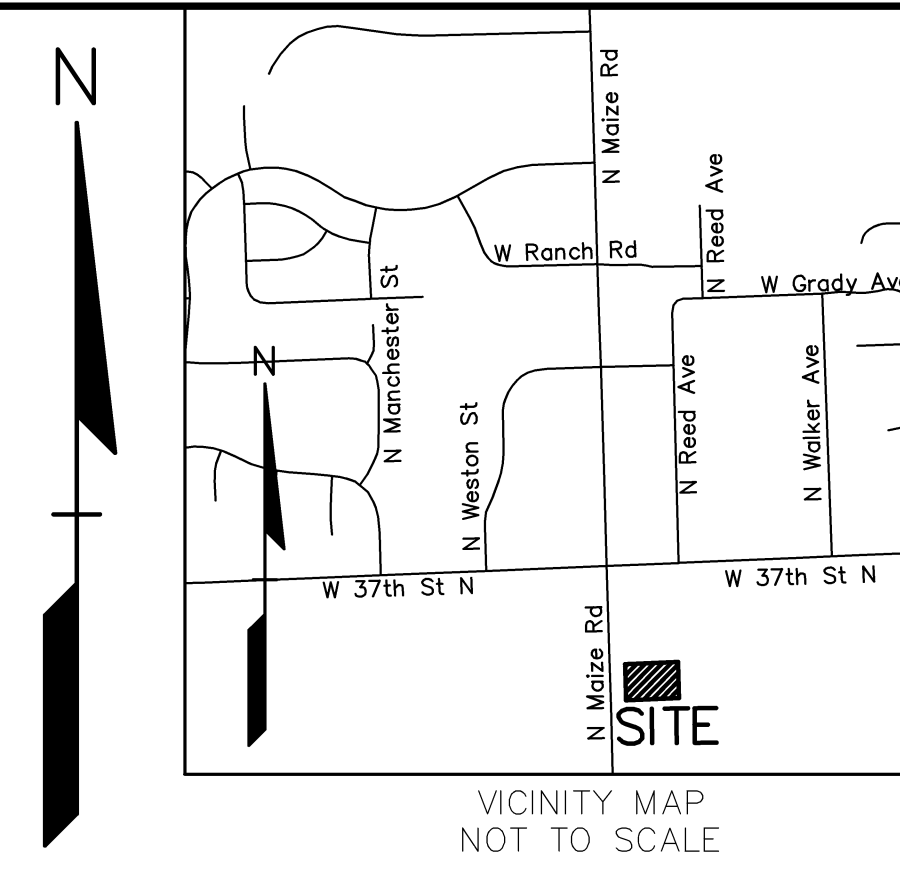
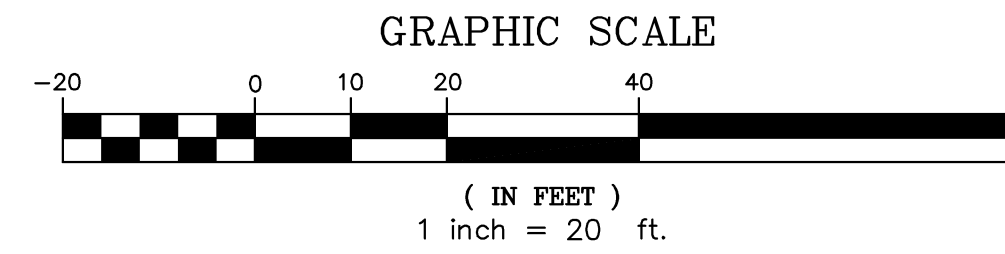
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RATE MAP FOR SEDGWICK COUNTY, KANSAS.
MAP NUMBER: 20173C0330F
MAP REVISED: MAY 2, 2012 AND
MAP NUMBER: 20173C0190E
MAP REVISED: FEBRUARY 2, 2007

AS BUILTS

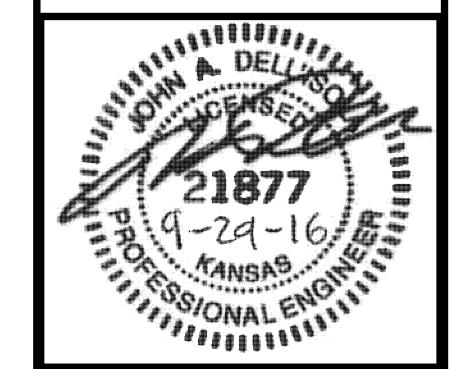
Contractor: Wilks underground
Inspector: Matt Perez
Date: 02/07/2017

KEMILLER
ENGINEERING PA
117 E. Lewis,
Wichita, KS 67202 (316)264-0242

THE CONSTRUCTION INDICATED IN THESE PLANS
SHALL BE PERFORMED IN COMPLETE COMPLIANCE
WITH THE SPECIFICATIONS OF THE STATE OF
KANSAS, KANSAS DEPARTMENT OF
TRANSPORTATION, CITY OF WICHITA, SEDGWICK
COUNTY, INDEPENDENT UTILITY OWNERS, AND
AUTOZONE PROJECT SPECIFICATIONS.



NO.	DATE	BY	REVISION
1	02-07-17	MP	ISSUE FOR PERMITS
2	02-07-17	MP	REVISION PER MARCH
3	02-07-17	MP	REVISION PER MARCH
4	02-07-17	MP	REVISION PER MARCH
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18	02-07-17	MP	REVISION PER MARCH
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20	02-07-17	MP	REVISION PER MARCH



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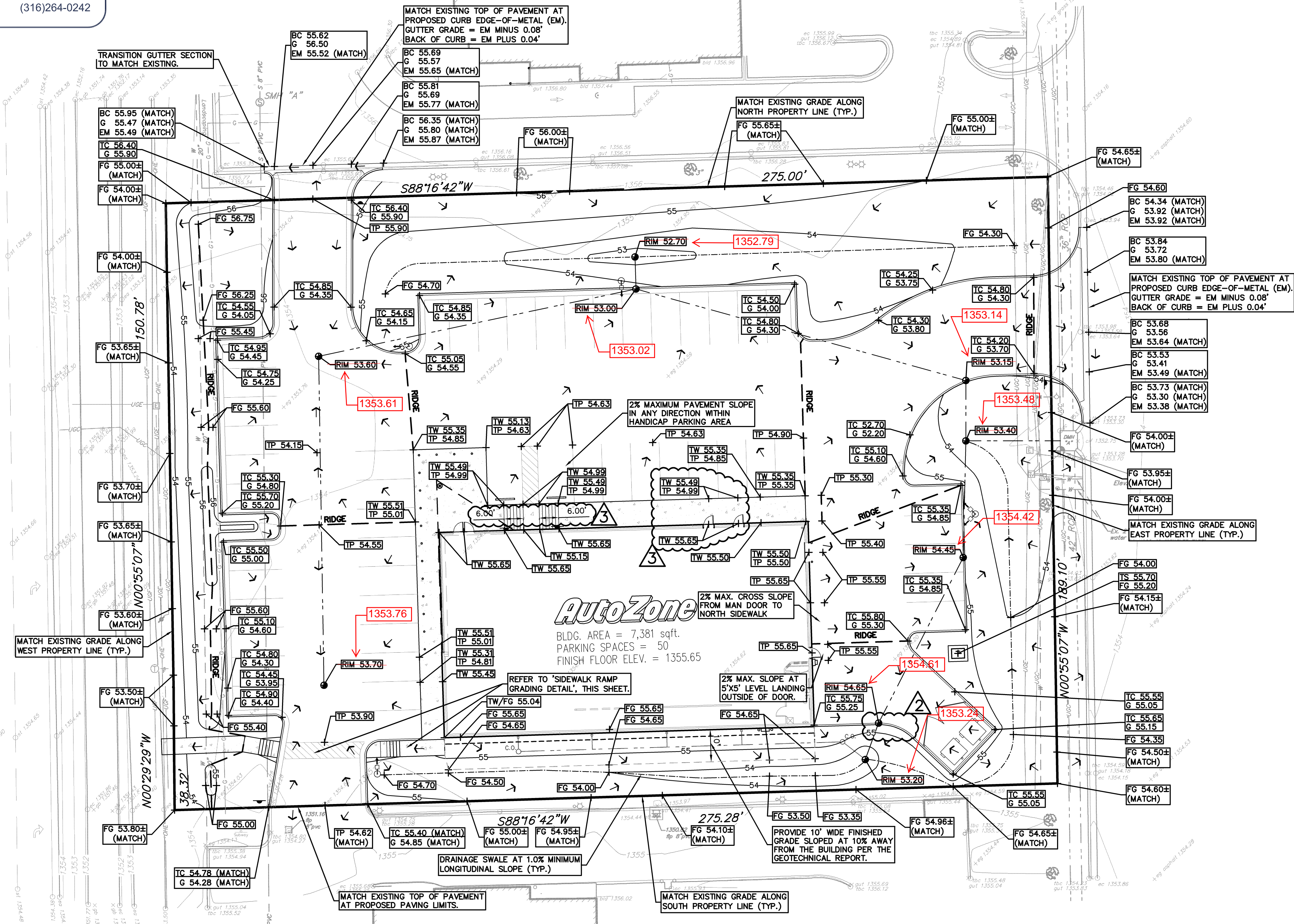
Kansas 811
Know what's Below.
Call 811 before you dig.



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AUTOZONE PARTS, INC.
122 S FRONT ST
MEMPHIS, TN 38103
GRADING PLAN
CITY OF WICHITA, KANSAS #4471
N MAIZE ROAD, NEAR W 37TH ST, N
CITY OF WICHITA, SEDGWICK COUNTY, KS
DES: WRB DN: SAPIWRB SUR: CEI P.M. WRB
MEMPHIS, TN 38103

ORIGINAL
ISSUE DATE: JULY 20, 2016
PEA JOB NO. 2016-060
SCALE: 1" = 20'
DRAWING NUMBER:
C1.1

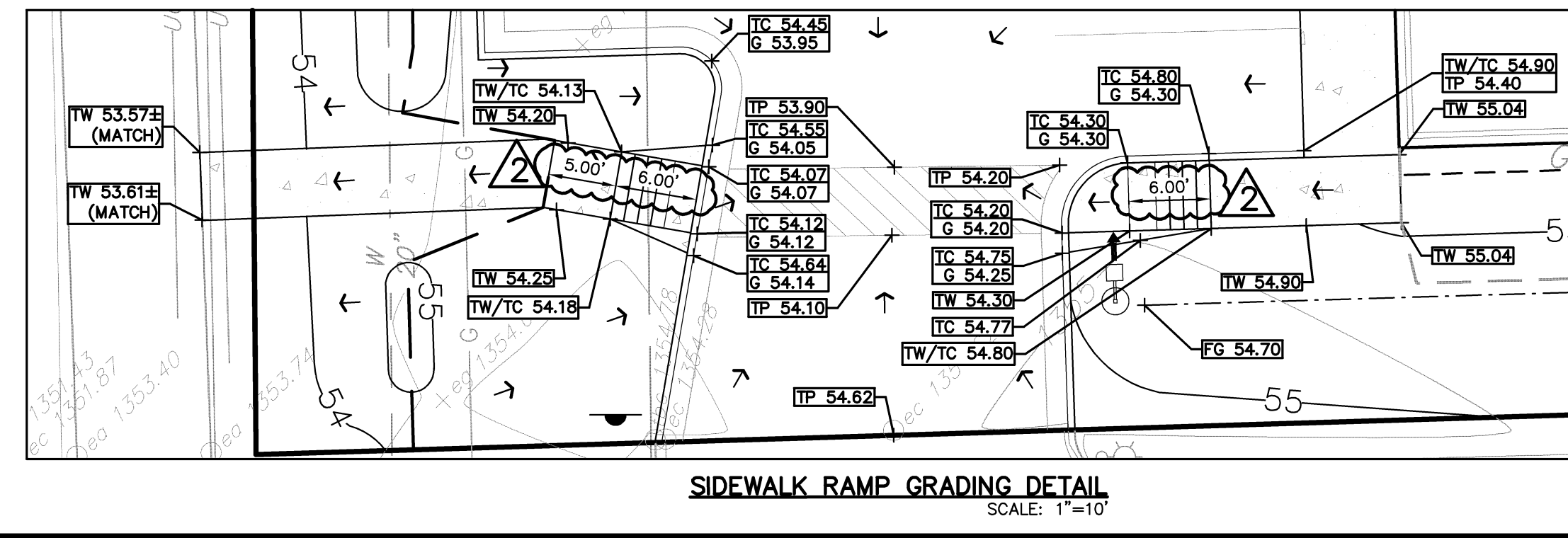


GRADING AND DRAINAGE LEGEND:

TP	= TOP OF PAVEMENT
TW	= TOP OF WALK
TC	= TOP OF CURB
G	= GUTTER
EM	= EDGE OF METAL (CURB)
FG	= FINISH GRADE
FF	= FINISH FLOOR
TS	= TOP OF TRANSFORMER SLAB
→	= OVERLAND FLOW DIRECTION

PROPOSED

Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Catch Basin	Catch Basin
Sign	Sign



EARTHWORK BALANCING NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING
ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO
THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE
CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL
QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF
ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

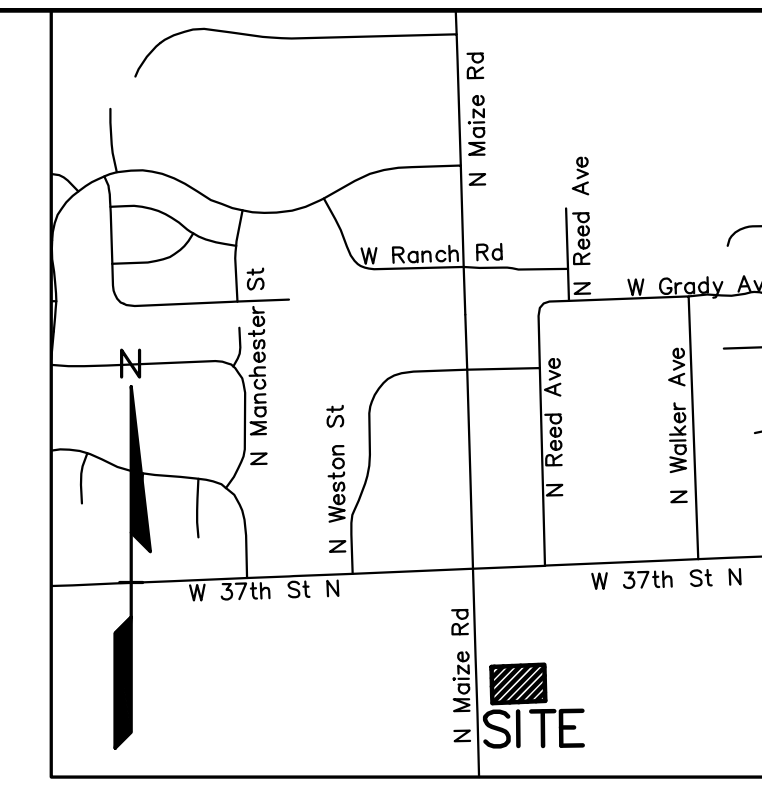
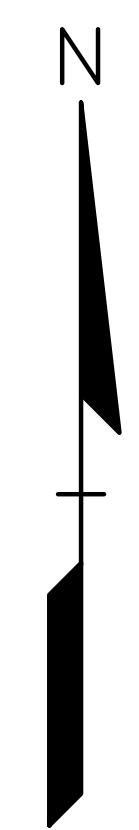
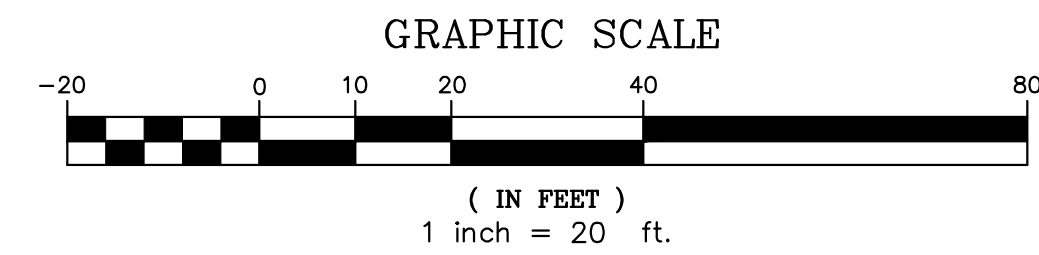
RESTORATION NOTE:
THE CONTRACTOR SHALL RESTORE AREAS DISTURBED FROM HIS
CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION AT NO
ADDITIONAL COST TO THE OWNER, AND TO THE SATISFACTION OF
THE OWNER. LANDSCAPE AREAS REQUIRING RESTORATION SHALL
INCLUDE MIN. 3" TOPSOIL AND SOD. PAVEMENT AREAS SHALL BE
RESTORED TO THEIR ORIGINAL CONDITION, WITH THE APPLICABLE
CROSS-SECTION TO MATCH EXISTING.

LEGEND

Property Line	Telephone Manhole
Adjoining Property Line	Fire hydrant assembly
Easement Line	Fiber optic tv
Barbed	Barbed
Overhead Electric Line	Overhead Electric Line
Underground Electric Line	Underground Electric Line
Natural Gas Pipe	Natural Gas Pipe
Water Pipe (Per Record Drawings)	Water Pipe (Per Record Drawings)
Underground Gas Line	Underground Gas Line
Sanitary Sewer Pipe	Sanitary Sewer Pipe
Storm Drainage Pipe	Storm Drainage Pipe
Found rebar (as noted)	Found rebar (as noted)
Found brass cap	Found brass cap
Clear cut	Clear cut
Sewer manhole	Sewer manhole
Drainage manhole	Drainage manhole
Storm man/culvert	Storm man/culvert
File cabinet	File cabinet
Building corner	Building corner
Edge of concrete	Edge of concrete
Slab wall	Slab wall
Slab broken	Slab broken
Slip and fall hazard	Slip and fall hazard
Sign	Sign
Overhead Electric	Overhead Electric
Overhead Gas	Overhead Gas
Building corner	Building corner
Black wall	Black wall
Black floor	Black floor
Curb Inlet Row	Curb Inlet Row
Sign	Sign
Flow line pipe	Flow line pipe
Drainage manhole	Drainage manhole
Drain inlet square	Drain inlet square
Back-to-back of curb	Back-to-back of curb
Department of Transportation	Department of Transportation
Record Measurement	Record Measurement

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 MAP REVISED: FEBRUARY 2, 2007



NO.	DATE	BY	DESCRIPTION
1	7-28-16	SAP	REMOVED ON-SITE BMP
2	8-12-16	SAP	REVISED PPD PER CITY

REVISIONS



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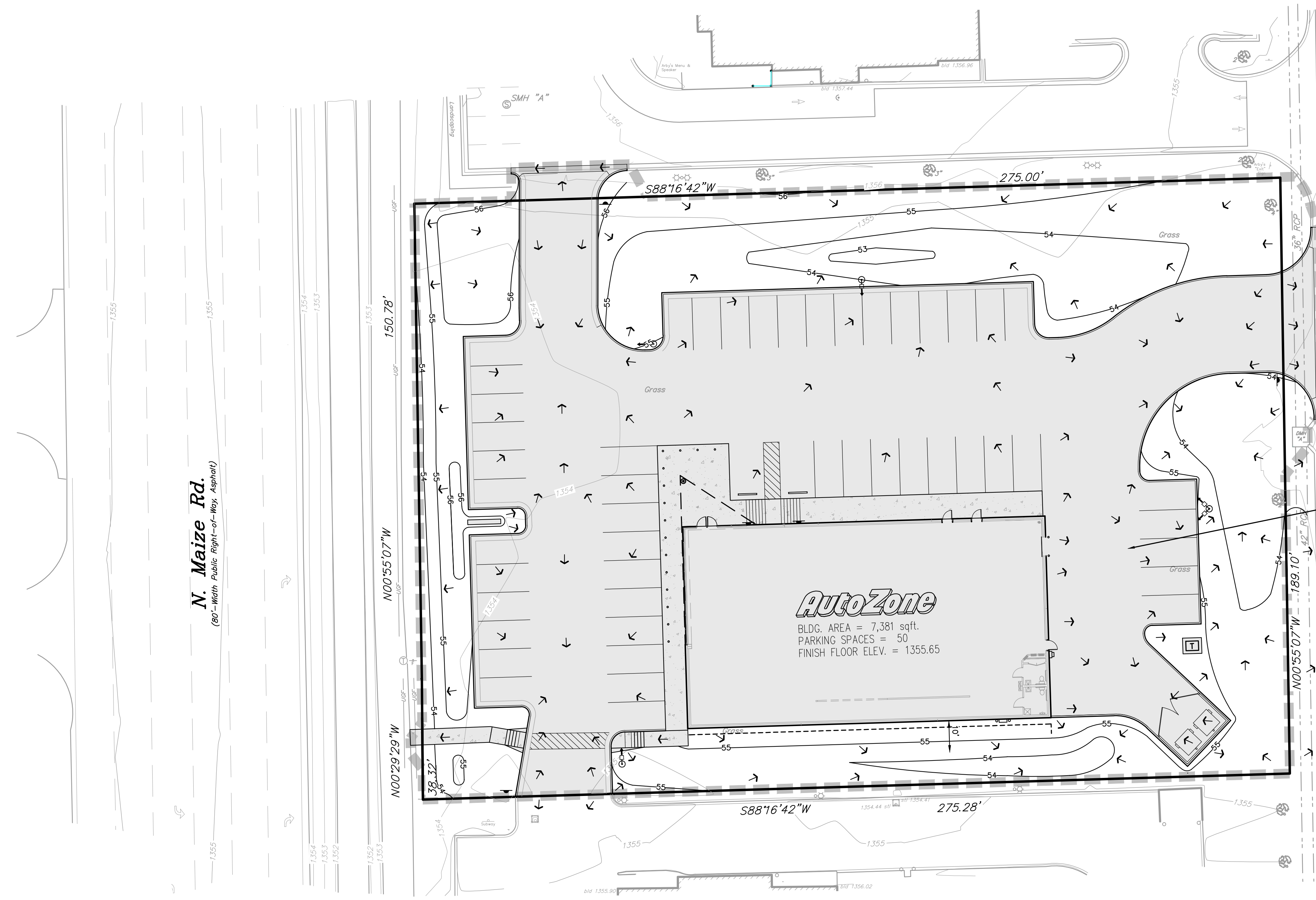
DES: WRB | DN: SAP/WRB | SUR: CEI | P.M. | WRB
 SA: PPD/CEI/SAP/WRB/CEI | 2016-06-09 | AUTOZONE, WICHITA, KS #4471 | WER/DWG/CONSTRUCTION/PPD | REV/ATZ | 2016-07-20

ORIGINAL ISSUE DATE: JULY 20, 2016
 PEA JOB NO. 2016-060

SCALE: 1" = 20'
 DRAWING NUMBER:

STORMWATER SITE ERU INFORMATION
 SITE AREA = 52,003 SF (1.19 AC.)
 EXISTING IMPERVIOUS AREA = 0 SF (0 AC.)
 PROPOSED IMPERVIOUS AREA = 33,762 SF (0.77 AC.)
 PERVIOUS AREA = 18,241 SF (0.42 AC.)

PPD PLANS 1 OF 1

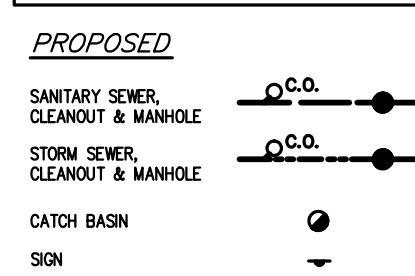


APPROXIMATE DISTURBANCE LIMITS (TYP.) TOTAL AREA = 1.25 AC.

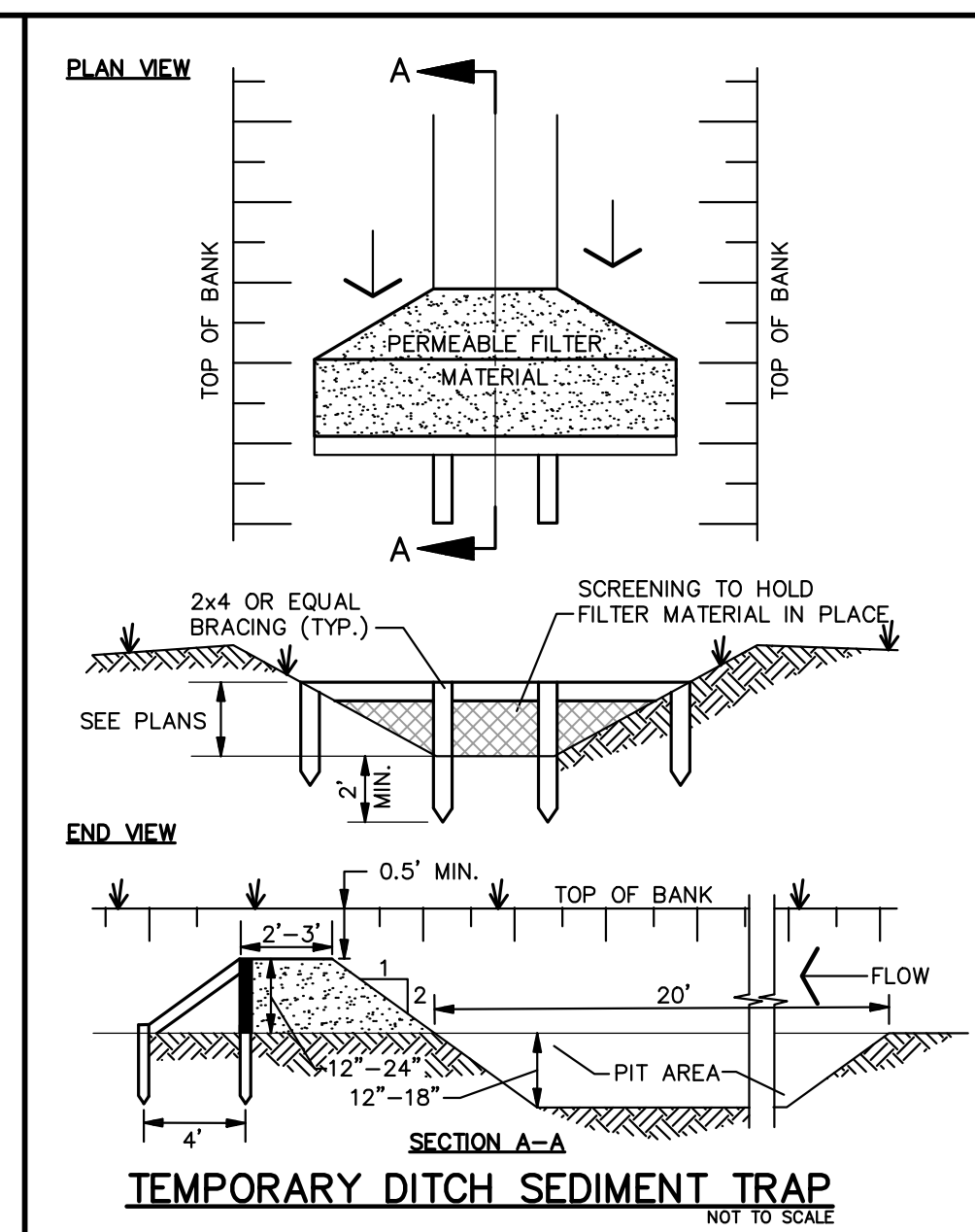
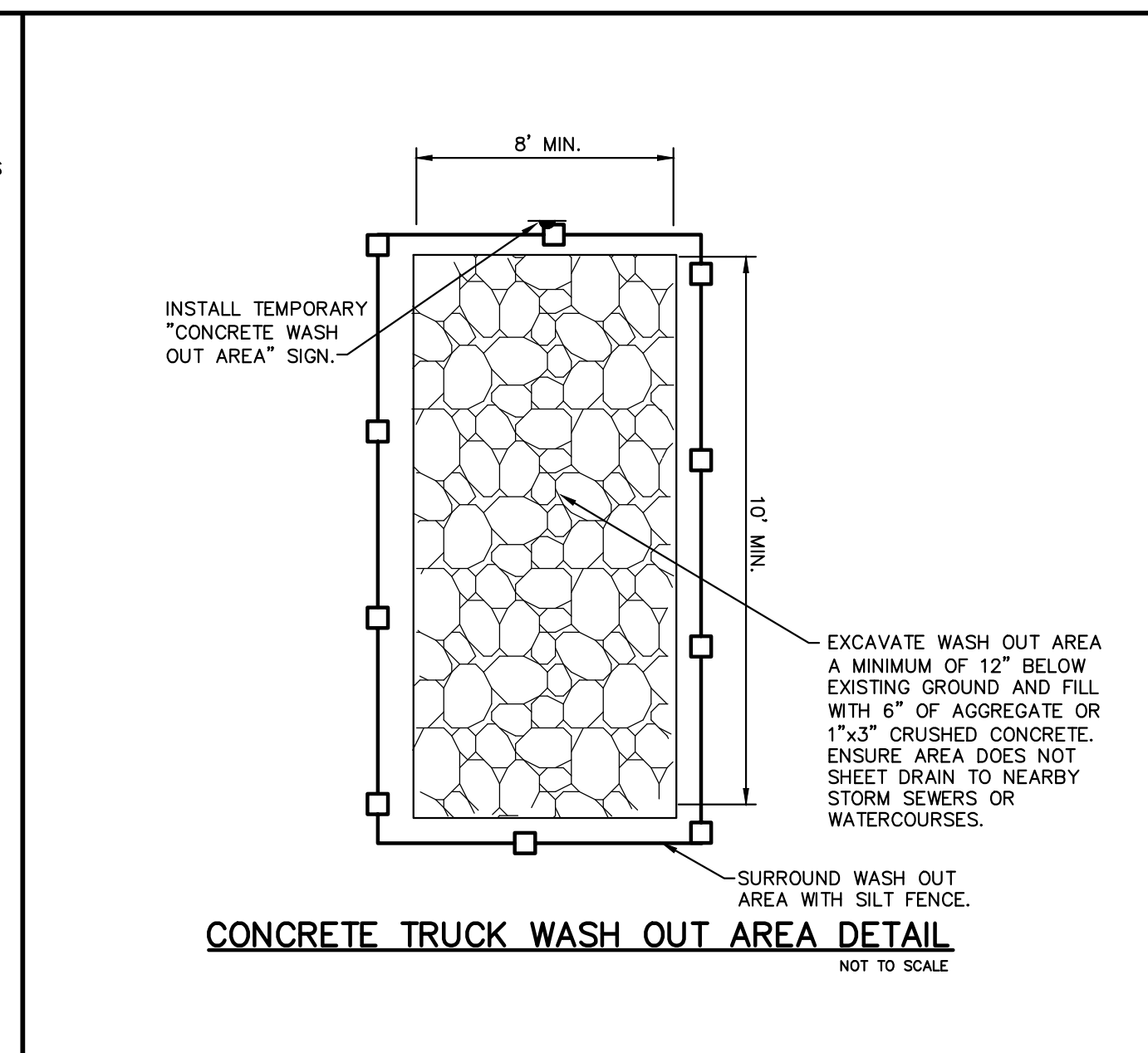
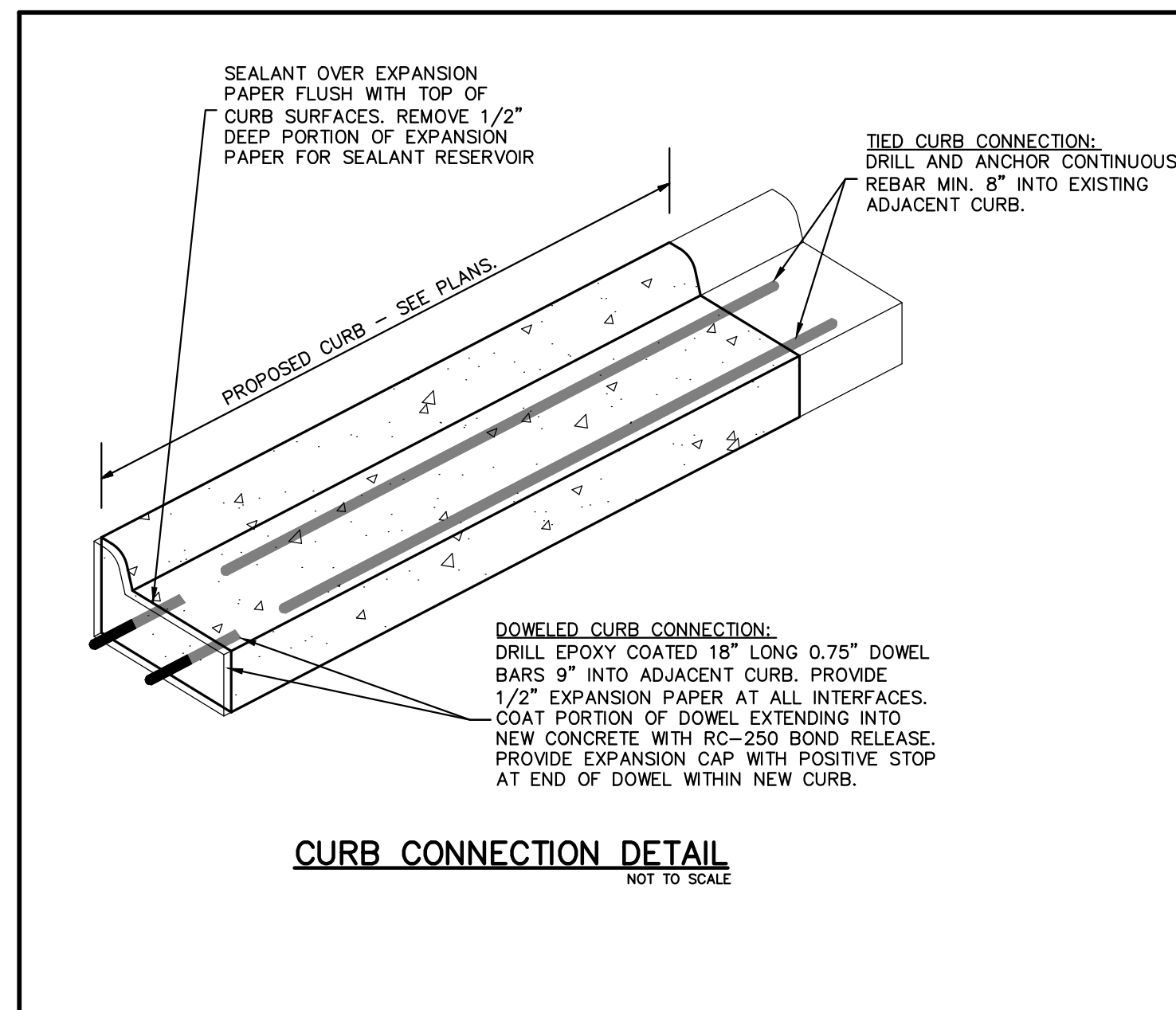
PROPOSED IMPERVIOUS AREA SHOWN WITH HATCH.

AutoZone
 BLDG. AREA = 7,381 sqft.
 PARKING SPACES = 50
 FINISH FLOOR ELEV. = 1355.65

LEGEND	
—	Property Line
- - -	Adjoining Property Line
—	Easement Line
—	Building Line
—	Barrier
—	Overhead Electric Line
—	Underground Electric Line
—	Water Pipe (Per Record Drawings)
—	Water Pipe (Field Located)
—	Underground Cable Line
—	Underground Fiber Optic Line
—	Sanitary Sewer Pipe
—	Storm Drainage Pipe
—	Found rebar (as noted)
—	Found service cap
—	Chain link
—	Sewer manhole
—	Drainage manhole
—	Grate Int(Escape)
—	Fire hydrant
—	Drainage controller
—	Water meter
—	Water valve
—	Gas meter
—	Light pole straight-1 lamp
—	Light pole straight-2 lamps
—	Electrical riser
—	Utility pole
—	Reinforced Concrete Pipe
—	Polyethyl Chloride Pipe
—	Telephone manhole
—	Fiber optic warning sign
—	Fiber optic tv
—	Debris free
—	Existing ground
—	Grate drain
—	Top Back Curb
—	Outlet
—	Edge of asphalt
—	Center road
—	Edge of concrete
—	Stipe solid
—	Stipe broken
—	Stipe solid and broken
—	Sewer manhole
—	Overhead Electric
—	Debris free
—	Building corner
—	Block wall
—	Finish floor
—	Curb inlet flow
—	Pipe branch
—	Flow line pipe
—	Drainage manhole
—	Grate inlet-square
—	Back-to-Back of Curb
—	Department of Transportation
—	Record Measurement



LEGAL DESCRIPTION
 (AS SURVEYED BY CEI ENGINEERING ASSOCIATES, INC)
 The land referred to in the Commitment is described as follows:
 LOT 3, BLOCK 1, STONEBRIDGE COMMERCIAL ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, EXCEPT THE SOUTH 110.00 FEET THEREOF; TOGETHER WITH LOT 4, SAID BLOCK 1, EXCEPT THE NORTH 140.92 FEET THEREOF.



NOTE:
REFER TO CITY OF WICHITA STANDARD EROSION CONTROL DETAILS SW501 TO SW505 FOR MORE INFORMATION ON SESC MEASURES.

NO.	DATE	BY	DESCRIPTION
1	7-28-16	SAP	REMOVED ON-SITE BMP
2	8-12-16	SAP	REVISE PPD PER CITY



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR THE DESIGN OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE CLEARLY AND PROMINENTLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REASON OR WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.



PEA, Inc.
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AUTOZONE PARTS, INC.
123 S FRONT ST
MEMPHIS, TN 38103

CONSTRUCTION DETAILS
CITY OF WICHITA, KANSAS #4471
N. MAIZE ROAD, NEAR W 37TH ST. N.
CITY OF WICHITA, SEDGWICK COUNTY, KS

DES. WRB | DN. SAP/WRB | SUR. CEI | P.M. WRB

ORIGINAL
ISSUE DATE: JULY 20, 2016

PEA JOB NO. 2016-060

SCALE: NTS

DRAWING NUMBER:
C1.C

DEVELOPMENT GUIDELINES

General Provisions

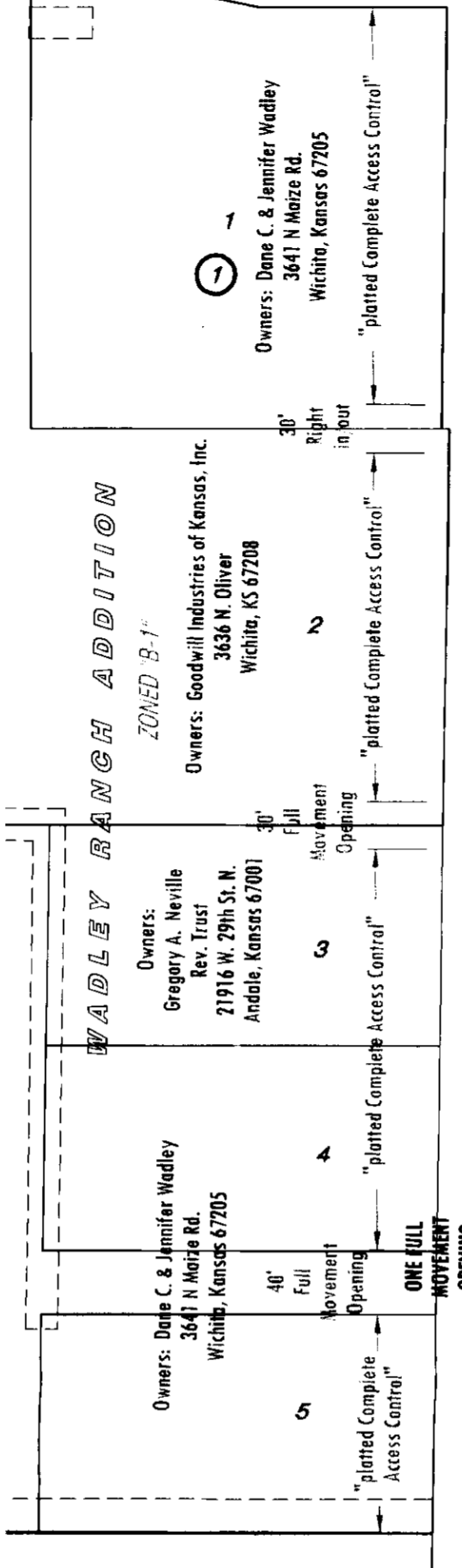
- Areas: The total development contains 36.3 acres of land more or less with a net land area of 35.93 acres of land more or less.
- Parcel Descriptions:
 - Summary:
 - Total allowable buildings = 18 (excluding accessory structures)
 - Total allowable floor ratio = .32 (may be adjusted from parcel to parcel)
 - Minimum Building Setbacks (applies to all parcels as shown)
 - Arterial Street setback = 35'
 - Interior side setback = 15'
 - Interior side setback = 35'
 - Exterior boundary setback = 100'
 - ** (If building has a gross floor area greater than 100,000 s.f.) Also see G.P.9 hereon.
- Parcel 1a: Gross Area= 0.71 Ac. or 30,936 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 10,828 s.f. Floor Area Ratio=0.35
- Parcel 1b: Gross Area= 0.71 Ac. or 30,822 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 10,788 s.f. Floor Area Ratio=0.35
- Parcel 2a: Gross Area= 0.70 Ac. or 30,729 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 10,755 s.f. Floor Area Ratio=0.35
- Parcel 2b: Gross Area= 0.71 Ac. or 30,899 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 10,815 s.f. Floor Area Ratio=0.35
- Parcel 3: Gross Area= 0.70 Ac. or 30,331 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 10,616 s.f. Floor Area Ratio=0.35
- Parcel 4a: Gross Area= 1.19 Ac. or 52,009 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 18,203 s.f. Floor Area Ratio=0.35
- Parcel 4b: Gross Area= 0.89 Ac. or 38,755 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 1 Max. Gross Floor Area=35% or 13,564 s.f. Floor Area Ratio=0.35
- Parcel 5: Gross Area= 1.92 Ac. or 83,775 s.f. Maximum Height=35 feet Max. Building Coverage=35% Maximum Building(s)= 2 Max. Gross Floor Area=35% or 29,321 s.f. Floor Area Ratio=0.30
- Parcel 6: Gross Area= 1.29 Ac. or 56,243 s.f. Maximum Height=35 feet Max. Building Coverage=30% Maximum Building(s)= 1 Max. Gross Floor Area=30% or 16,873 s.f. Floor Area Ratio=0.30
- Parcel 7: Gross Area= 0.97 Ac. or 42,500 s.f. Maximum Height=35 feet Max. Building Coverage=30% Maximum Building(s)= 1 Max. Gross Floor Area=30% or 14,875 s.f. Floor Area Ratio=0.30
- Parcel 8: Gross Area= 0.97 Ac. or 42,500 s.f. Maximum Height=35 feet Max. Building Coverage=30% Maximum Building(s)= 1 Max. Gross Floor Area=30% or 14,875 s.f. Floor Area Ratio=0.30
- Parcel 9: Gross Area= 0.97 Ac. or 42,500 s.f. Maximum Height=35 feet Max. Building Coverage=30% Maximum Building(s)= 1 Max. Gross Floor Area=30% or 14,875 s.f. Floor Area Ratio=0.30
- Parcel 10: Gross Area= 0.90 Ac. or 42,500 s.f. Maximum Height=35 feet Max. Building Coverage=30% Maximum Building(s)= 1 Max. Gross Floor Area=30% or 14,875 s.f. Floor Area Ratio=0.30
- Parcel 11a: Gross Area= 11.02 Ac. or 479,861 s.f. Maximum Height=45 feet Max. Building Coverage=11a+11b=30% 304,127 s.f. Maximum Building(s)= 5 Floor Area Ratio=11a+11b=0.30
- Parcel 11b: Gross Area= 12.26 Ac. or 533,895 s.f. Maximum Height=45 feet Max. Building Coverage=11a+11b=30% 304,127 s.f. Maximum Building(s)= 5 Floor Area Ratio=11a+11b=0.30
- The following uses are permitted for all Parcels within the C.U.P.:
 - A. Parcels 1a, 1b, 2a, 2b, 3, 4a, 4b, 5, 6, 7, 8, 9, 10, and 11a allow for all uses permitted within the Limited Commercial Zoning District (LC), except the uses listed below:
 - Correctional placement residential limited and general, adult entertainment establishment, pawn shop, asphalt or concrete plant-limited, and storage-outdoor. Additionally, the following uses are prohibited within the east 150 feet of Parcels 10 and 11a and the south 200 feet of Parcels 1a and 11a, if the adjoining parcels are specifically zoned for residential: convenience stores, service stations, auto repair, car washes (further prohibited to 200 feet of residential uses as stated below), restaurants with drive-in or drive-through windows, and taverns and drinking establishment on-out-parcels. Car Washes in the CUP shall be subject to the supplementary use regulations of Sec. III-D.6.f. of the Unified Zoning Code.
 - B. Parcel 11b allows for the following General Commercial Zoning District (GC), uses listed below:
 - Construction sales and services and outdoor storage of materials and equipment ordinarily associated with construction sales and services activities, and also home improvement stores, and also all the uses permitted in Parcel 11a.
 - C. The uses permitted by the C.U.P. are only those uses permitted by right and not by conditional use unless specifically identified.
- Architectural Controls:
 - With exception to Parcel 11b, all buildings within the C.U.P. shall share a uniform architectural character, color, and some predominant exterior building material, as determined by the Director of Planning. The building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas. The building(s) walls shall not utilize metal as a predominant exterior facade material, unless approved by the Director of Planning.
- Title:
 - The transfer of the title on all or any portion of the land included in the Community Unit Plan does not constitute a termination of the plan or any portion thereof; but said plan shall run with the land for commercial development and be binding upon the present owners, their successors and assigns and amended. However, the Director of the MAPD, with the concurrence of the Zoning Administrator, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.
- Landscaping for this site shall be required as follows:
 - A. Landscaped street yards, buffers, and parking lot landscaping and screening - Shall be in accordance with the City of Wichita Landscape Ordinance.
 - B. A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Metropolitan Area Planning Department (MAPD) for its review and approval prior to issuance of any building permit(s).

- A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
- Lighting:
 - A. Lighting shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV.
 - B. All Parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps and etc.), as approved by the Director of the MAPD.
 - C. All lighting shall be shielded to direct light disbursement in a downward direction and directed away from residential areas.
 - D. Light poles including above ground base shall be limited to 27 feet tall, except 15 feet tall when within 100 feet of residential zoning with residential use. School is not a residential use.
 - E. Extensive use of back lit canopies and neon or fluorescent tube lighting on buildings is not permitted.
- Screening for this site shall be required as follows:
 - A. Rooftop mechanical equipment shall be screened from ground level view per Wichita-Sedgwick County Unified Zoning Code.
 - B. Trash receptacles, loading docks, outdoor storage, and loading areas shall be appropriately screened to reasonably hide them from ground view.
 - C. Unless otherwise noted Screening shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV and Section III-C.2.b.
 - D. Outdoor display and storage shall be subject to all conditions of Section III-B.1.4.e for all Parcels, except Parcel 11b. Parcel 11b is allowed outdoor storage in conformance with the GC zoning regulations.
 - E. Masonry walls consisting of a solid or semi-solid wall constructed of brick, stone, masonry, architectural tile, or other similar material (not including wood or woven wire) are required along the south line of Parcel 1a, along the northeastern most boundary of Parcel 11a (40.00 feet), and along the east line of Parcel 10. The masonry walls shall not be less than six feet and not more than eight feet high. Construction of the masonry wall will require a building permit. Wall openings may be permitted allowing pedestrian access. The wall opening shall be determined and approved by the director of planning prior to the issuance of the building permit.
 - F. The masonry wall along the southern boundary of Parcel 1a will not be required to build, if the adjoining property to the south is redeveloped for commercial uses. Parcel 1a is granted a ten year grace period after the approval of Amendment #1, unless however the said adjoining property is developed for residential uses first. Upon the expiration of the ten year grace period, if Parcel 1a is developed the owners shall have 60 days to commence construction of the wall.
 - G. A wood screening wall with brick column features every fifty feet shall be built on or near the southern line of Parcel 11b from 35' west of the east line of Parcel 11b to a point equal to a line extended south from the western facade of the main building built on Parcel 11b. A wood screening wall with brick column features every fifty feet shall be built on or near the 35' building setback line located along the eastern property line of Parcel 11b (an accessory building may replace a portion of this wall provided its height is a minimum of 14'). The 35' setback area shall be landscaped to provide additional screening. The wood screening wall shall be a minimum of 14' tall.
 - H. Landscape screening and berming will be provided within the 35 foot setback area of the southwest most 565 feet of Parcel 11a, as indicated.
- Setbacks:
 - Setbacks are as follows and or as specified in Wichita-Sedgwick County Unified Zoning Code. If contiguous Parcels are to be developed under the same ownership, setbacks between those Parcels are not required. Within Parcel 11b buildings greater than 100,000 square feet shall adhere to a 100 foot rear or east building setback. Within Parcel 11b, a 35 foot rear or east building setback is required for an accessory building less than 30,001 square feet. Also see Parcel Descriptions for building setbacks.
- Signs: As permitted under the current Sign Code of the City of Wichita. Additionally, the following conditions apply:
 - A. Parcels 1a through 11a, are subject to the requirements of the Sign Code for the City of Wichita for Limited Commercial (LC) Zoning District, except as noted herein with (10, B, thought 10, J).
 - B. No flashing, moving, portable, billboard, banner, or pennant signs shall be permitted (except for signs showing time and temperature).
 - C. All freestanding signs adjoining Maize Road and 37th Street roadways shall be monument type signs with a maximum height of 20 ft., with the exception of three 30 ft. development marker/monument type signs. The maximum sign area for the 30 ft. signs shall be 200 sq. ft. and shall be used for development identification as well as tenant signs for tenants within the C.U.P.
 - D. The minimum distance between signs shall be 150 ft., except for those signs adjacent to the development marker/monument signs, the minimum distance between these signs is 100 ft.
 - E. Along Maize Road, Parcels 1a through 5, and Parcel 11a and 11b shall be permitted a total of 7 monument signs including the development sign(s). The monument signs shall not exceed 20 feet in height with a maximum sign area of 150 sq. ft. each. These signs may be used for tenants within the C.U.P.
 - F. Along 37th Street, Parcels 5 through 11a shall be permitted a total of 7 monument signs including the development sign(s). The maximum sign area is 150 sq. ft. These signs may be used for tenants within the C.U.P.
 - G. Building signage shall be permitted within the C.U.P. and per the current Sign Code.
 - H. Accent lighting of monument signs shall be permitted.
 - I. Window signage shall be limited to 25% of window area.
 - J. The total amount of sign face area of freestanding signage along each arterial street shall not exceed 0.8 times the linear frontage.
 - K. Parcel 11b is subject to the requirements of the Sign Code for the City of Wichita for General Commercial (GC) Zoning District.
- Parking:
 - A. All Parcels, shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV-A, unless otherwise specified.
 - B. Parcels 11a and 11b shall be reviewed as one parcel in consideration to parking requirements. On Parcels 11a and 11b, a minimum of 450 parking stalls is required; a waiver from the standard 4 per 1000 square feet.
- Reserves:
 - The location, uses, and size of reserves shall be determined at the time of final platting.
 - No occupancy permits shall be issued for any development without services by municipal water and sewer services.
- The following transportation Improvements and Parcel access shall be provided:
 - A. Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement between Parcels within the C.U.P.
 - B. Guarantees for specific street and or signalization improvements for Maize Road shall be further reviewed and determined at the time of final platting.
 - C. Access controls shall be as shown on the Final Plat and revised upon the C.U.P.
 - D. An overall site circulation plan shall be submitted for review and approval by the Director of Planning, in concurrence with the Zoning Administrator and Traffic Engineer. The circulation plan shall assure smooth internal vehicular and pedestrian movements, pedestrian connectivity to major arterial and within buildings on the CUP and may provide connections to adjoining properties, and ensure that the main drives are not blocked by parking spaces directly backing onto the main drive aisles.
- Grading Plan:
 - A lot grading plan will be prepared in conformance with the Drainage Concept Plan for review prior to the issuance of a Building Permit.
 - All proposed new utilities shall be installed underground.
- Final determination of minimum pad elevations (at least 2 feet higher than the 100 year flood elevation), street right(s)-of-way, easements, and pavement widths on public private streets shall be resolved at the time of platting.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator and the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.
- Any major changes within this Community Development Plan shall be submitted to the Planning Commission and the Governing Body for their consideration. Amendments, adjustments, or interpretations to the C.U.P. shall be done in accordance with the Unified Zoning Code.

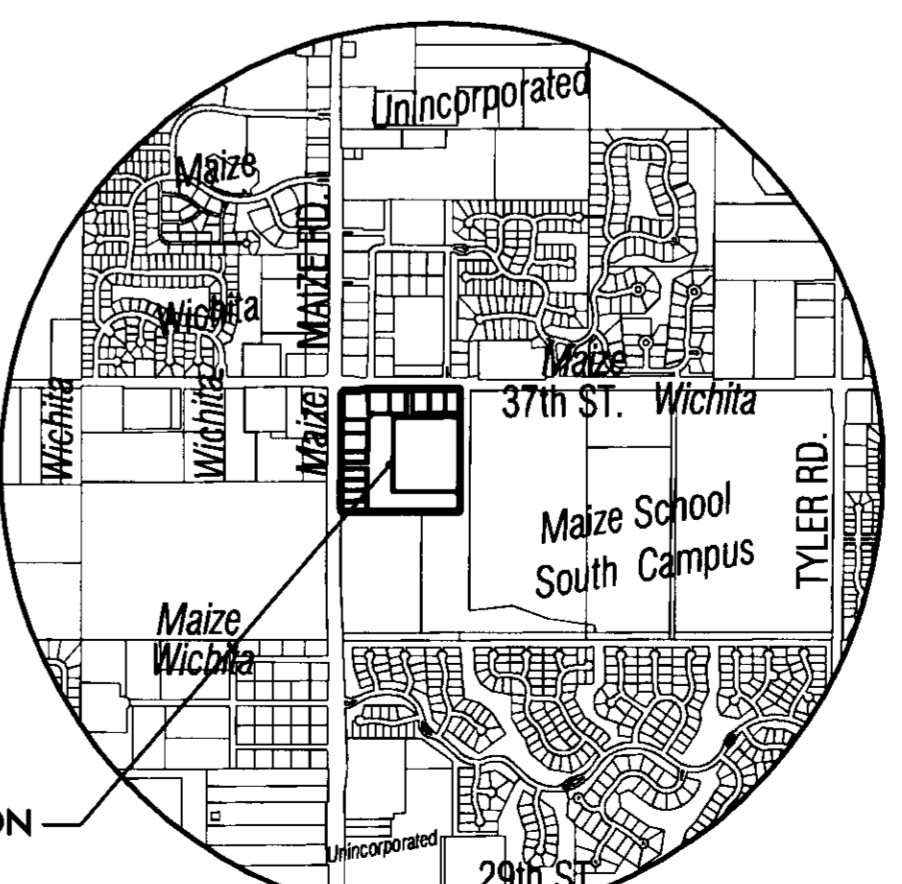
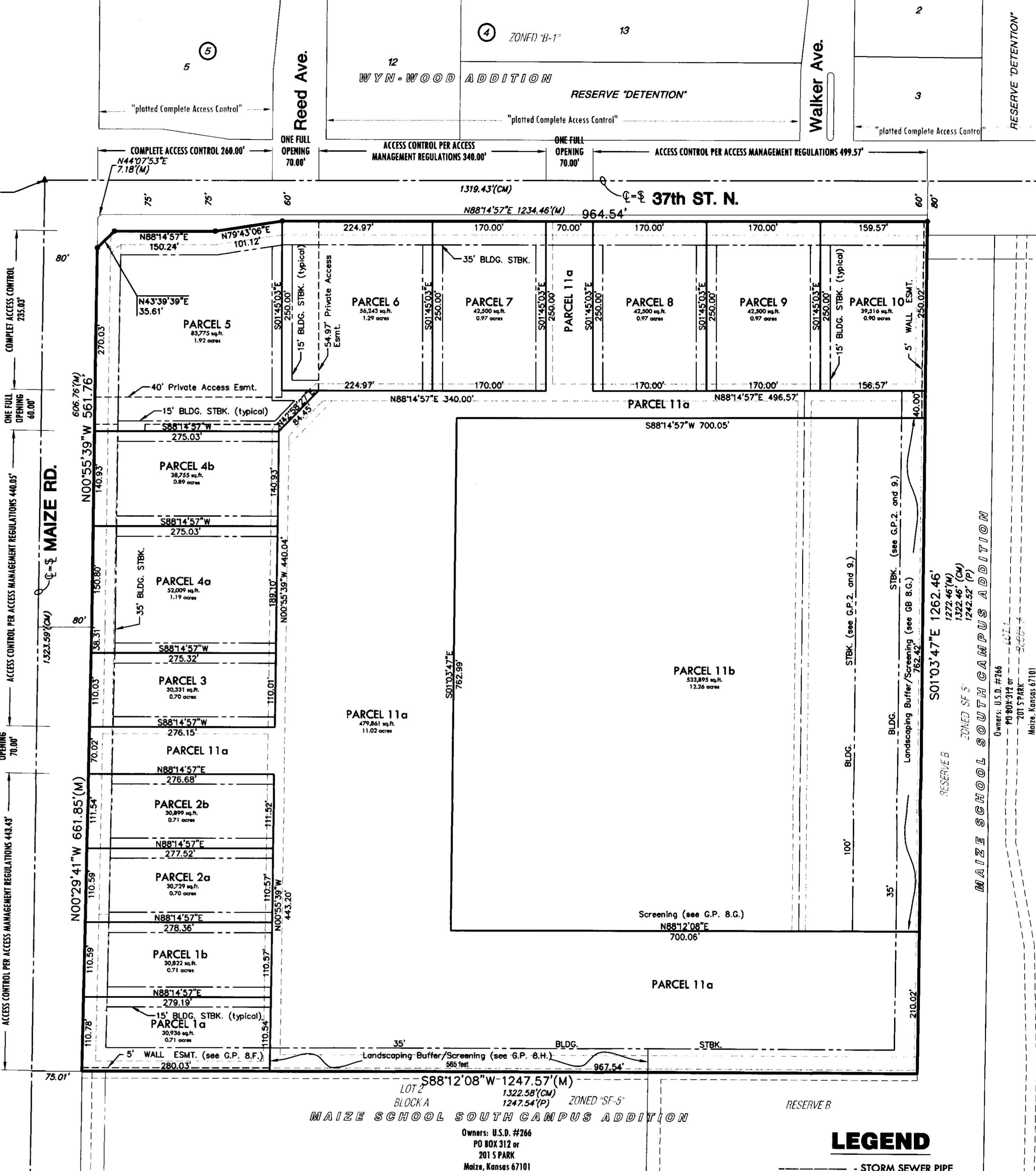
HAMPTON SQUARE ADDITION

ZONED '1-C'
ZONING OVERLAY: CUP DP-263

NW. Cor., Sec. 32, T26S, R1W



ZONED 'SF-5'
UNPLATTED
Owners: David D. Cranmer
6121 N. 119th St. W.
Maize, Kansas 67101

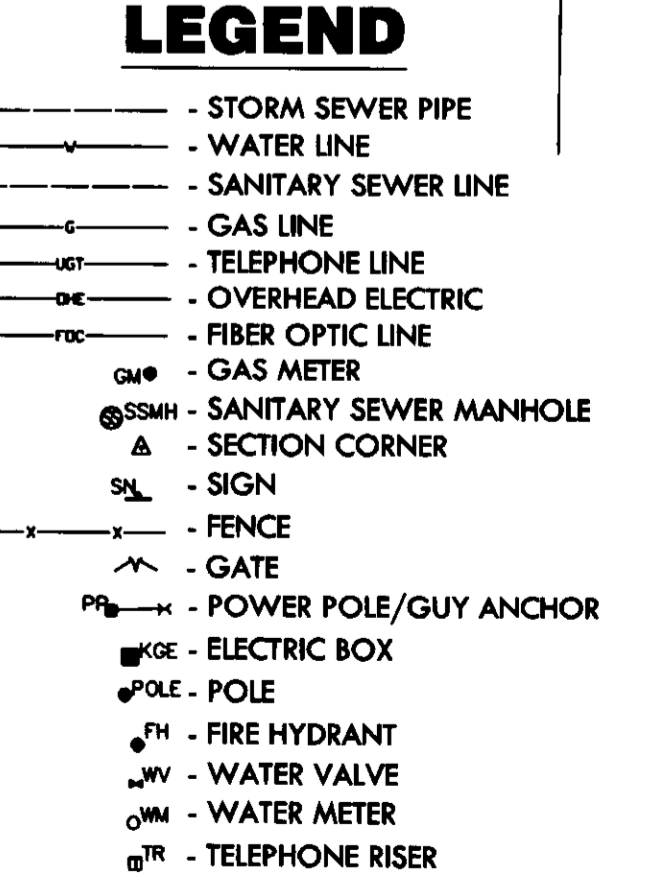


NOTES

- ZONING: LC & GC w/ restrictions
- ANNEXATION: Subject property lies within the City of Wichita and adjoins the City of Maize to the North and West.

LEGAL DESCRIPTION

The North 1/2, NW. 1/4, NW. 1/4, Section 32, Township 26 South, Range 1 West, Sedgwick County Kansas, EXCEPT, road right-of-way on the West and North. TOGETHER WITH, The South 1/2, NW. 1/4, NW. 1/4, Section 32, Township 26 South, Range 1 West, Sedgwick County Kansas, EXCEPT, road right-of-way on the West.



COMMUNITY UNIT PLAN DP-295

STONEBRIDGE

OWNER / DEVELOPER: North 37th, LLC 1625 N. Waterfront Pky. Ste. 100 Wichita, KS 67206 316-634-6600

APPROVED CUP
MAY 11-20-08
NOV 1-27-09
Adjustment #3: November 4th, 2013
Adjustment #2: March 11, 2013
Amendment #1: May, 2012
Amendment #1: Nov., 2008



Wichita, KS • 316.684.9600