

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:

Kansas One-Call (316)687-2470

The Contractor must notify the following in case of an emergency:

Cox Communications (316)262-4270  
or (316)263-2061

Westar Energy/ (800)482-4950  
Kansas Gas & Electric Company 1-555-1212  
AT&T (316)268-4908  
City of Wichita Water Department (316)268-4071  
City of Wichita Sewer Department (316)941-1608  
Aquila Natural Gas (800)303-0357  
or

- Exist. utilities and their locations, as shown on the plans, represent the best information attainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company-provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed constructions.

- The Contractor to verify utility locations prior to construction of this project.

- Utility service and installation shall be coordinated with the respective utility owner. Contacts are:

Kansas Gas Service Jim Coe (316)832-3126  
Westar Energy Miles Capps (316)261-6251  
Aquila Networks Calvin Briggs (316)942-8811  
Wichita Water & Sewer Kerry Gibson (316)268-4555  
AT&T Jim Toben (316)268-2759  
Cox Communications Mark Anaya (316)262-4270

- All lawn/turf areas disturbed by construction of proposed improvements shall be restored with the same grass as existing. Restoration of disturbed areas shall include, but not limited to, soil preparation, fertilizing, seeding, mulching (all seeded areas, outside the limits of erosion mat placement), and/or reseeding, and installation of erosion control mat. All seeding work shall be in accordance with the City of Wichita Standard Specifications and the City of Wichita Administrative Regulations No. AR 6.5 which governs cleanup and respiration or replacement following construction. All cost for the soil preparation, seeding and mulching (all seeded areas, outside the limits of erosion mat placement) shall be paid for through the lump sum bid item for "Seeding." All seeded areas within eight feet of the back of new curb shall be covered with an approved erosion mat, which shall be paid for by the measured quantity bid item "Back of Curb Protection (8' wide)."

- Traffic affected by the construction of this project shall be handled in accordance with the latest edition of the Manual on Uniform Traffic Control Devices.

- It is the contractor's responsibility to visit this site to better understand the extent of site clearing and restoration to be performed. Site Clearing and Restoration shall include all costs for removal of items which a pay item is not provided.

- The contractor shall be responsible for preserving property irons. The contractor will be required to re-establish any property irons which are damaged or destroyed by the construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

- Properties within the project limits may have underground sprinkler systems in public right-of-way which conflict with new construction. Contractor will be required to remove such improvements should they not be removed by their owner at the time of construction of the project. The contractor will be required to salvage all sprinkler heads and/or valves and give such material to owner. Portions of underground sprinkler systems not in conflict with new construction shall be protected from damage and shall remain in place. All work in connection with underground sprinkler systems shall be considered as subsidiary to the contract pay items for work.

- Cuts made in paved surfaces on public property will be repaired by the City's Contractor and charged against the contractor. Unit Repair prices are available from the city at 268-4418. A surcharge may be applicable. Call 268-4418 for details. Repair costs to be paid prior to release of utility service if utilities are effected.

# LATERAL 14, MAIN 11, War Industries Sewer Lots 1-24, Block A, Harry's Landing Addition

Project No. 468-85113

OCA: 744423

CITY OF WICHITA, KANSAS  
Gary Janzen, P.E., City Engineer

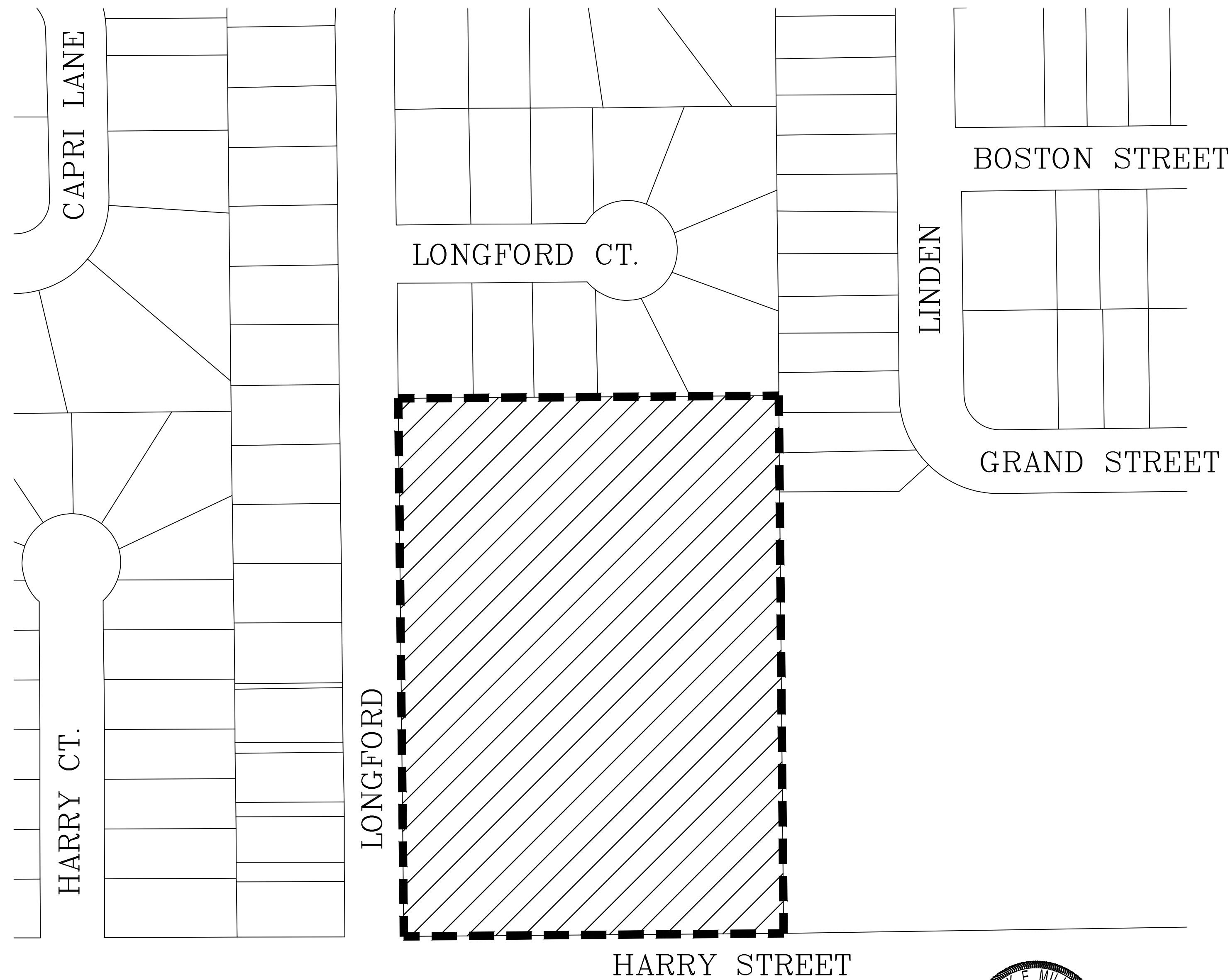
Danco Enterprises - Contractor  
J. Wagner - City of Wichita, Field Project Engineer  
T. Collins - City of Wichita, Inspector  
As-built  
Release Date: 03/03/2017  
Completion Date: 7/10/2017  
pdf: apr 03/06/2017



LOCATION MAP  
(For Visual Use Only)

INDEX OF SHEETS:

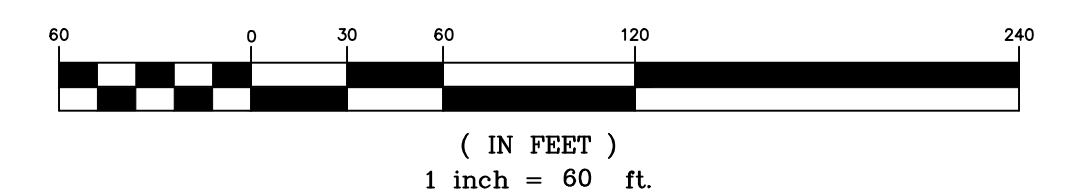
- |      |                           |
|------|---------------------------|
| 1    | Cover Sheet               |
| 2    | Control Map/Plan Sheet    |
| 3-4  | Plan and Profile          |
| 5    | Standard Sanitary Details |
| 6    | Standard Sanitary Details |
| 7    | Erosion Control Plan      |
| 8-12 | Erosion Details           |
| 13   | Copy of Plat              |



BENCHMARKS:

"□" cut TC, 34.7ft N. & 50.3ft W. of the NE corner of Reserve A, Harry & Webb Commercial Addition.  
Elev. = 1354.80 NAVD88

Top of Rebar marking the southwest property corner.  
Elev. = 1346.44 NAVD88

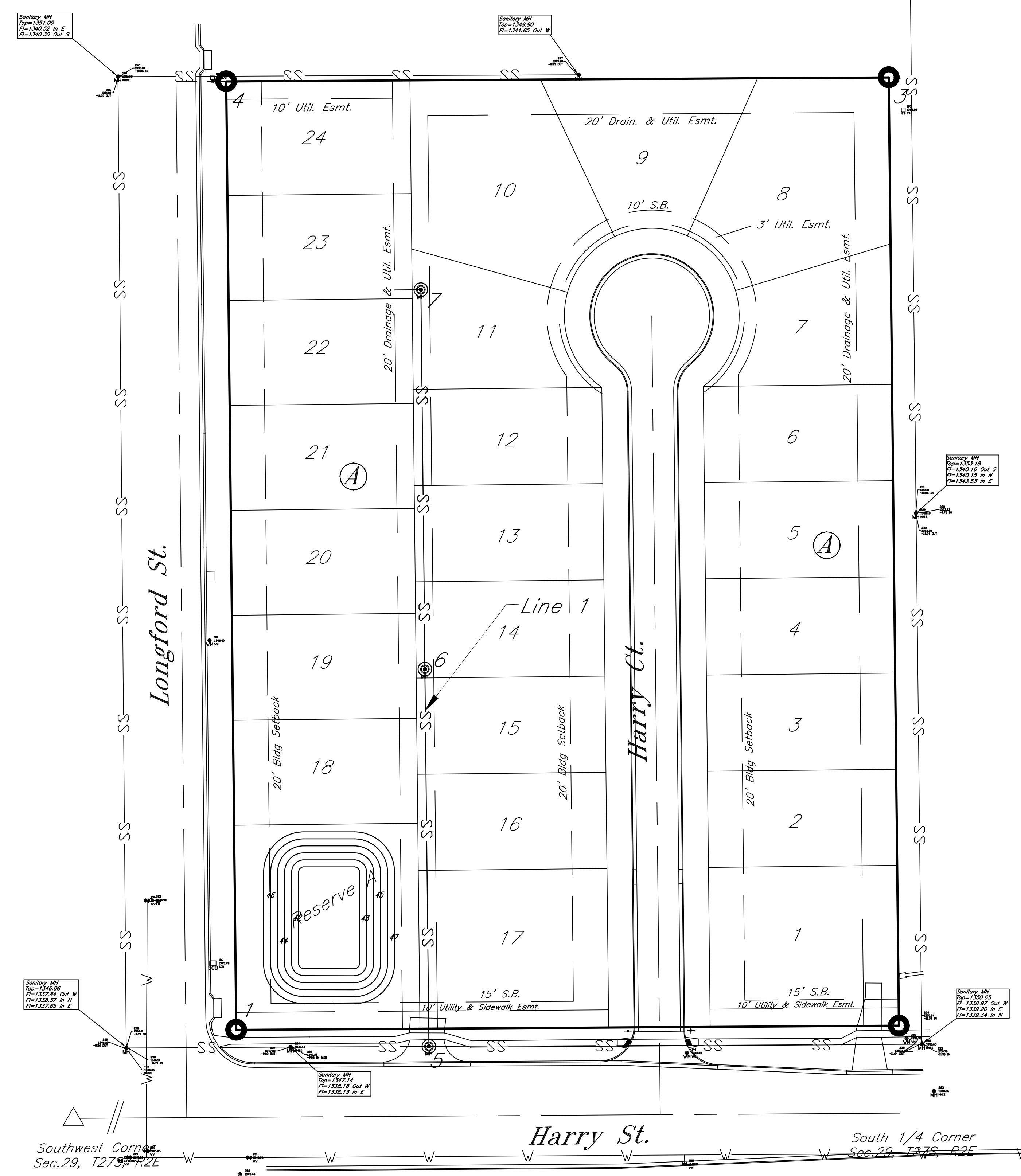


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THIS SHEET HAS BEEN  
SIGNED, SEALED AND  
DATED ELECTRONICALLY

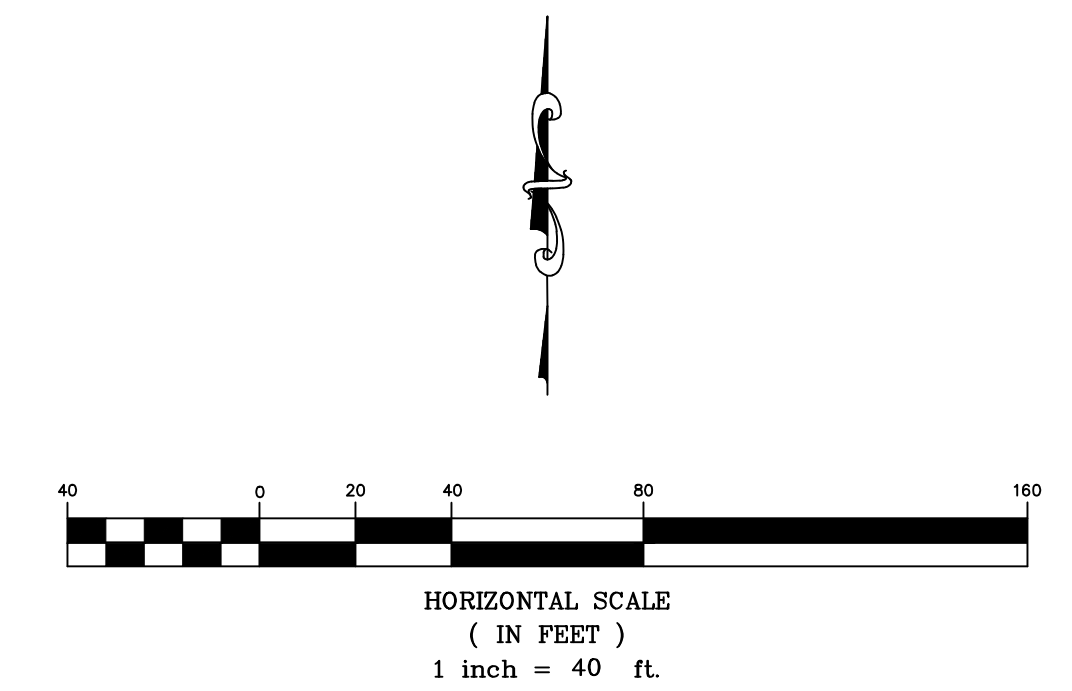
May 2016

**KEMILLER**  
ENGINEERING PA  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

Point #	Northing	Easting	Desc.
1	1678249.52	1678020.30	Control Point
2	1678251.75	1678399.01	Control Point
3	1678794.02	1678393.25	Control Point
4	1678791.68	1678014.53	Control Point
5	1678239.99	1678130.40	Sta 0+00.00 Line 1
6	1678455.61	1678128.11	Sta 2+15.63 Line 1
7	1678672.60	1678125.81	Sta 4+32.63 Line 1



DATE: 7.19.2016  
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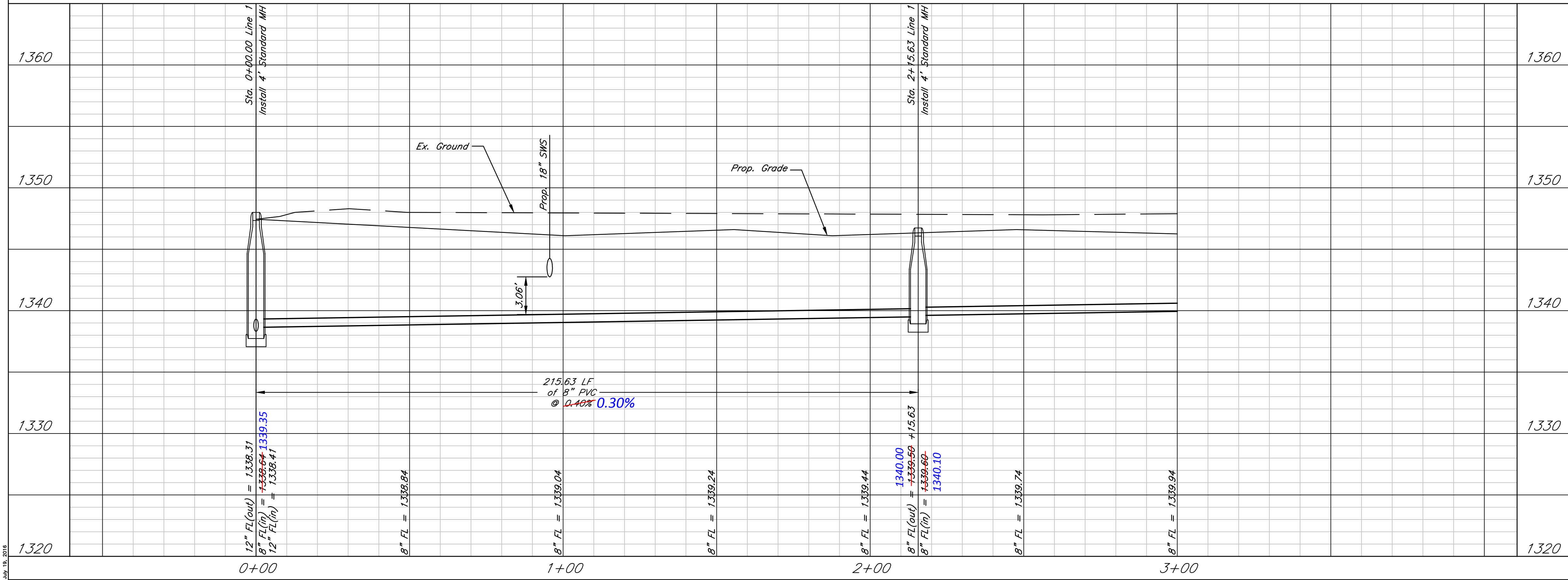
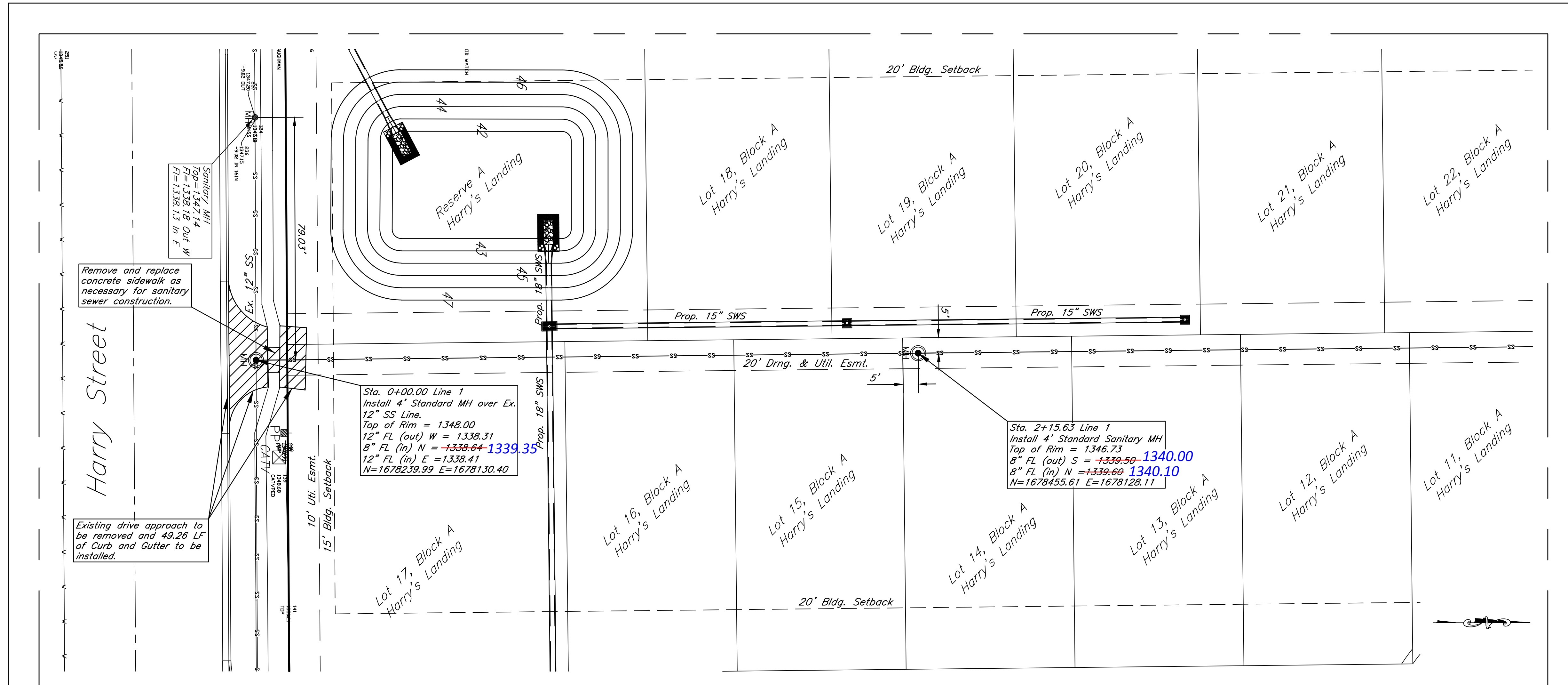


Harry's Landing  
 Control Map/Plan Sheet  
 Wichita, Kansas

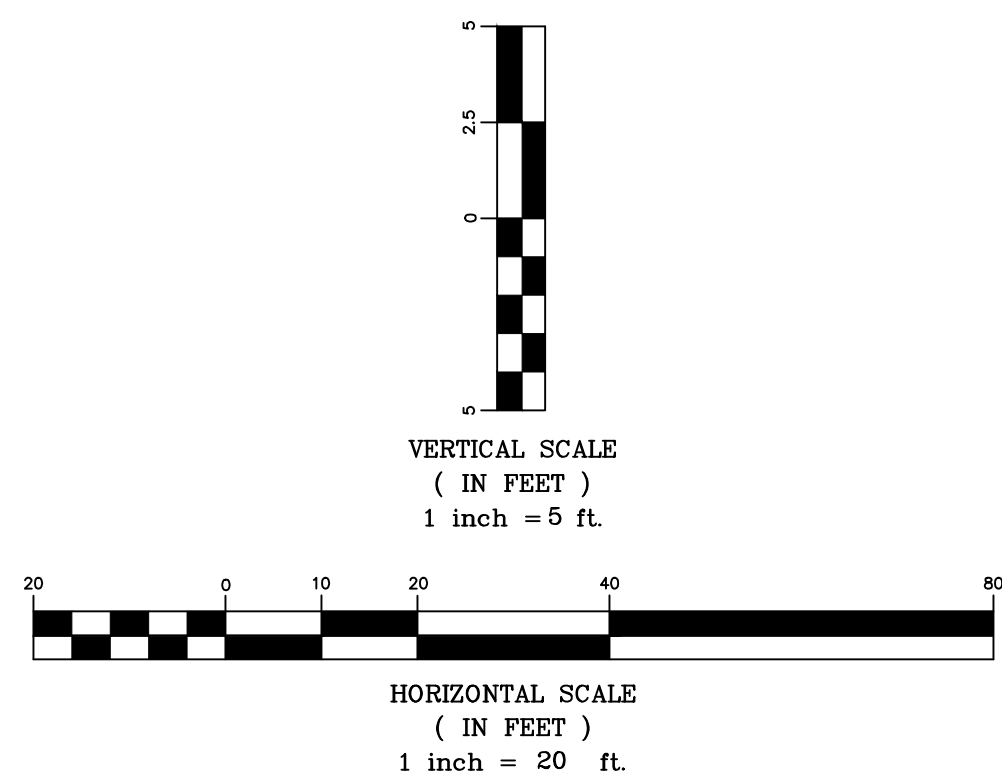


PROJECT NUMBER 468-85113 (744432)			
KEM NO. 15184	FILE	DATE 03/2016	SHEET 2
DESIGN KM	DRAWN AHS	REVISED	

July 19, 2016



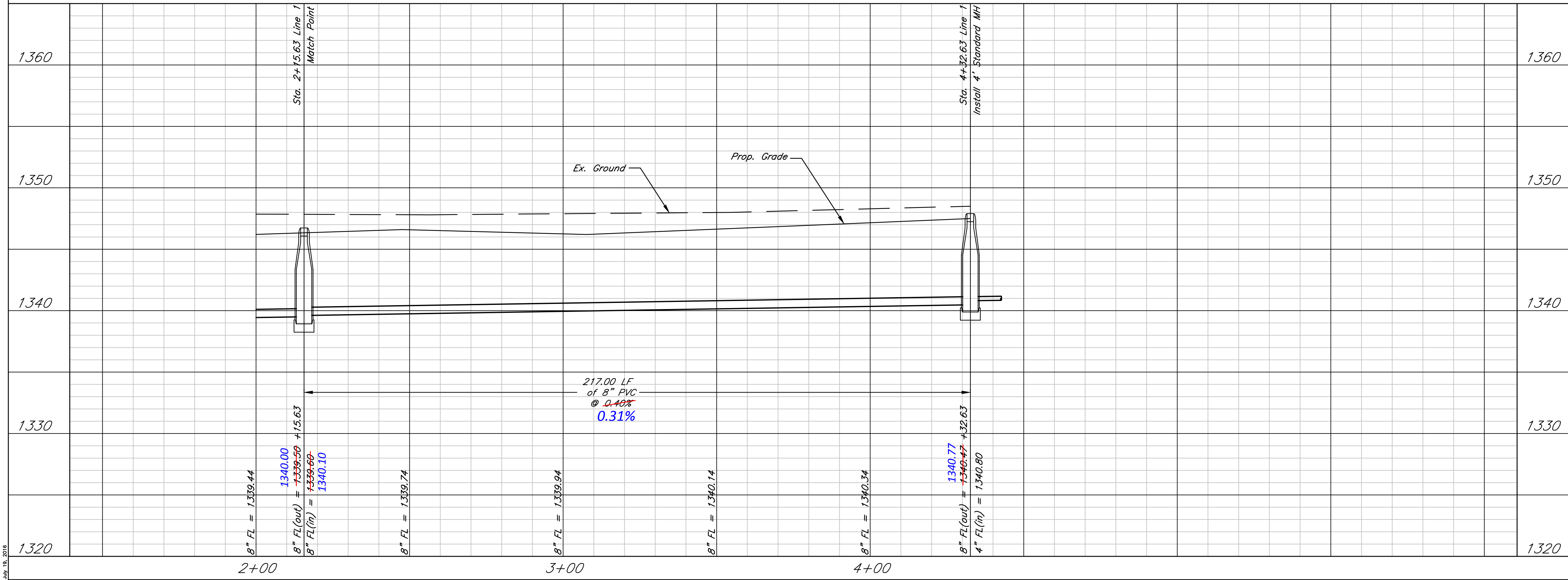
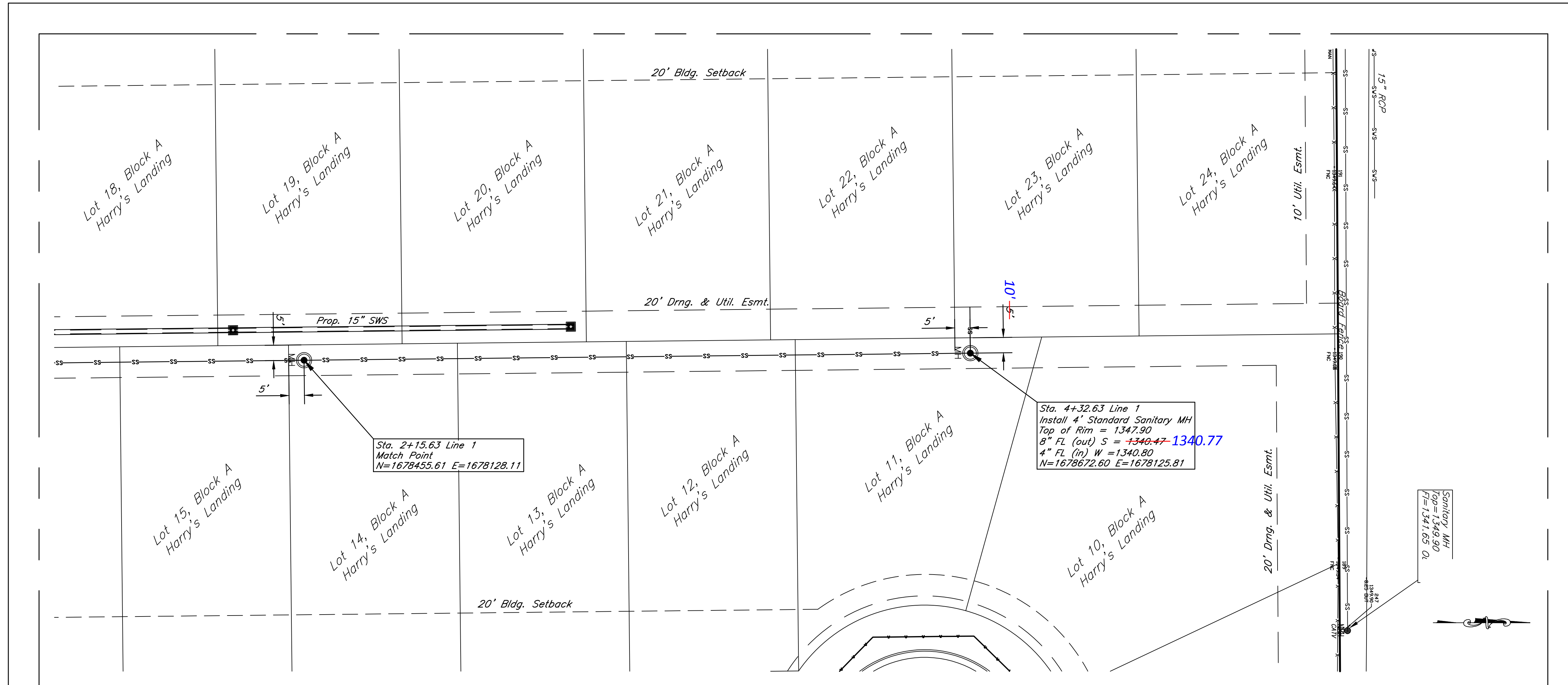
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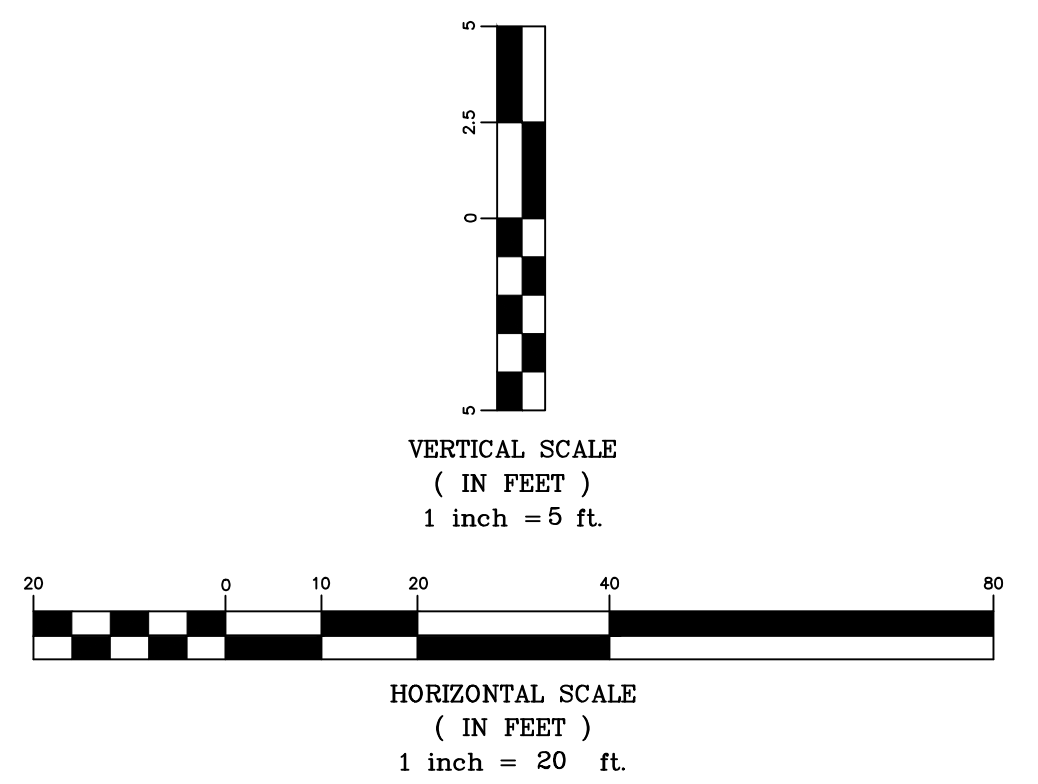
Harry's Landing  
 Line 1  
 Wichita, Kansas

	PROJECT NUMBER 468-85113 (744432)			SHEET <b>3</b>
	KEM NO. 15184	FILE	DATE 03/2016	
DESIGN KM	DRAWN MP	REVISED		

July 19, 2016



DATE: 7.19.2016  
THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY



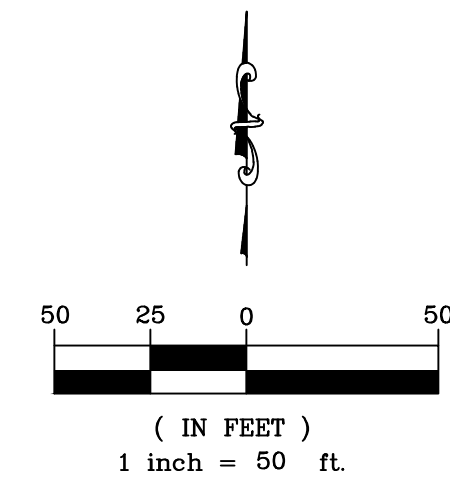
Harry's Landing  
Line 1  
Wichita, Kansas

	PROJECT NUMBER 468-85113 (744432)			SHEET 4
	KEM NO. 15184	FILE	DATE 03/2016	
DESIGN KM	DRAWN AHS	REVISED		

117 E. Lewis, Wichita, KS 67202 (316)264-0242

# One-Step Final Plat Harry's Landing Wichita, Sedgwick County, Kansas

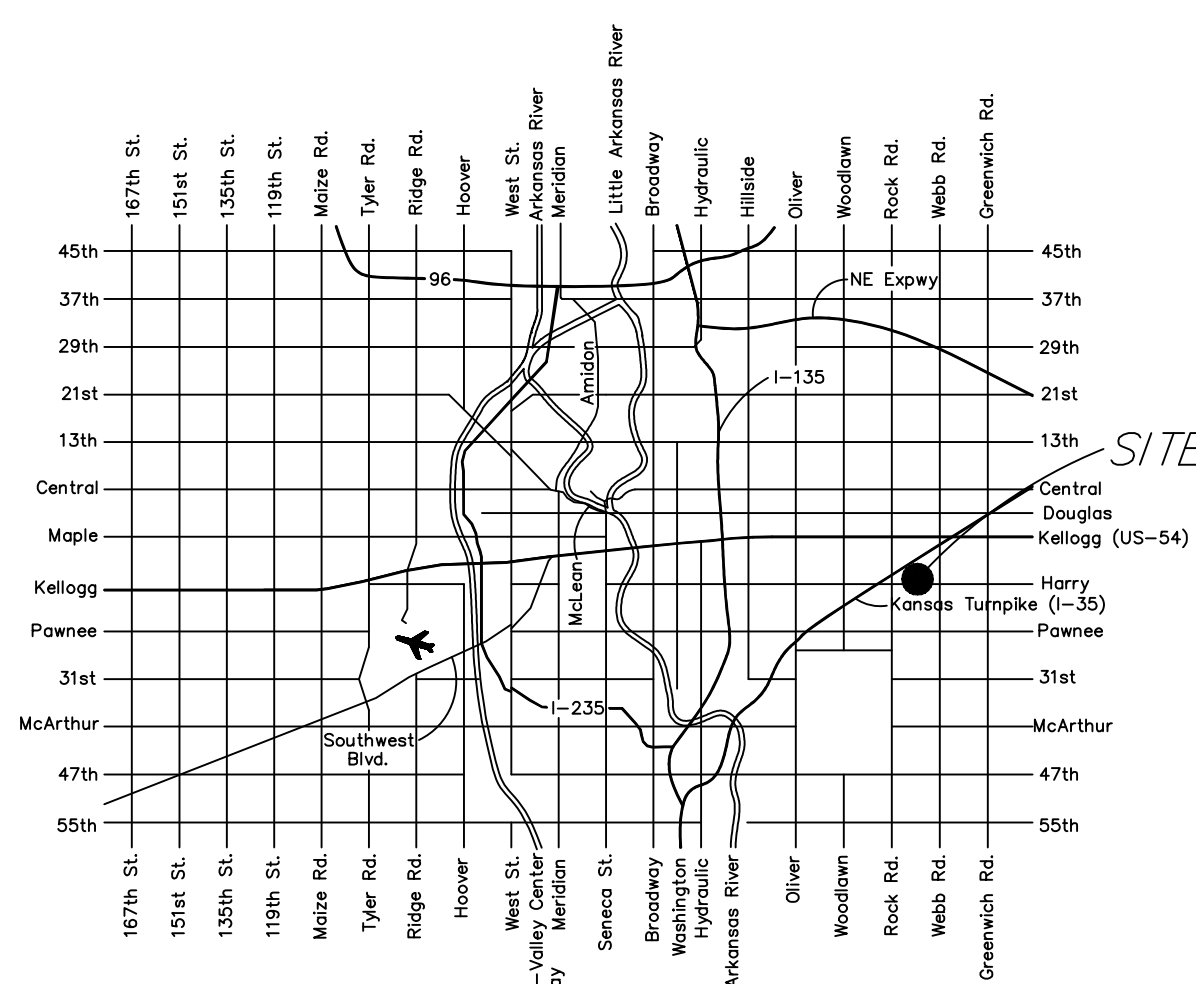
Part of the SW 1/4, Section 29, Township 27 South, Range 2 East of the 6th. P.M.



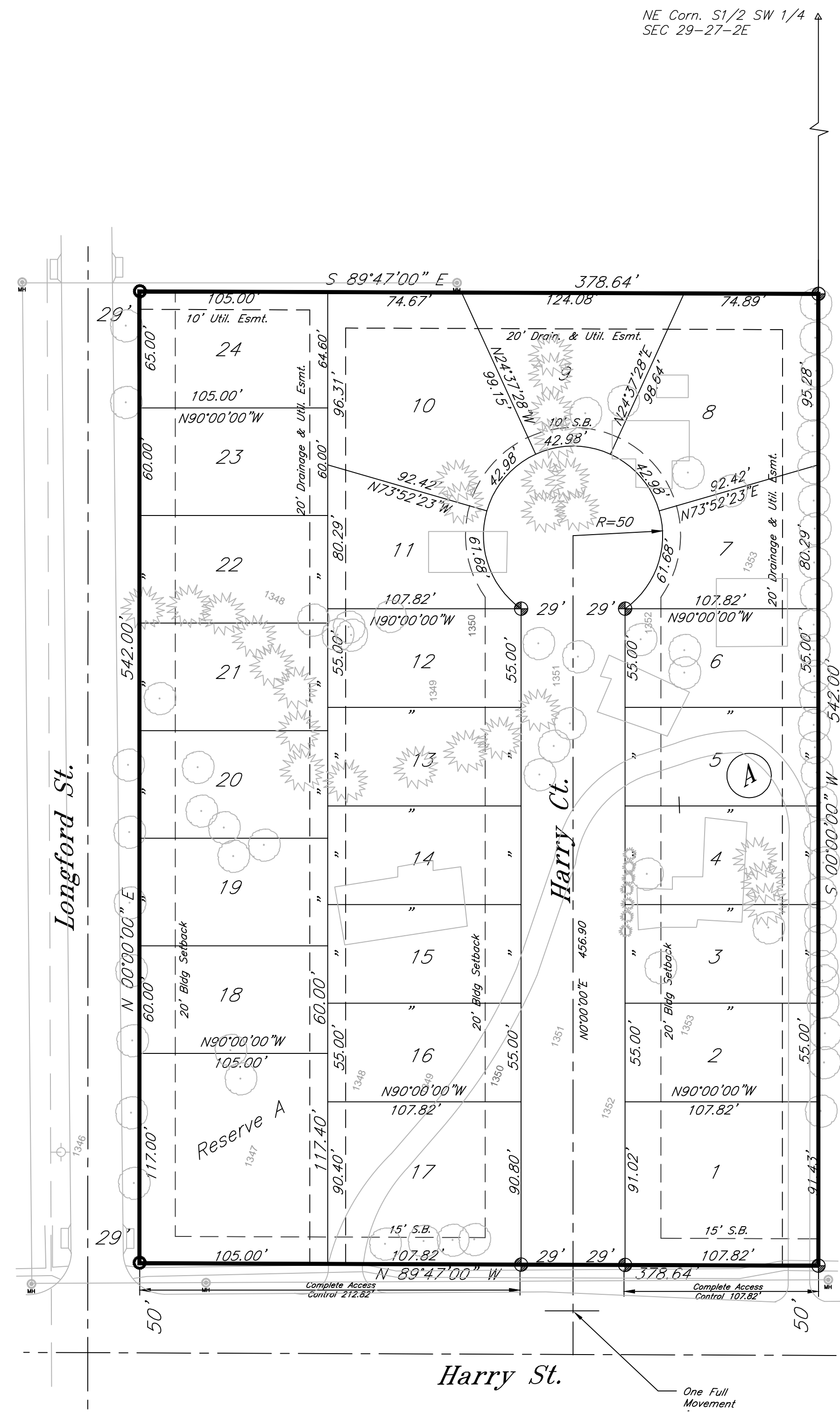
**PLAT LEGEND**

- 3/4" Iron Pipe (found)
- 1/2" Rebar
- ⊕ 3/8" Rebar (set) KEMPA CLS #157

**Benchmark**  
 □ cut TC, 34.7ft & 50.3ft W. of the NE corner of Reserve A, Harry & Webb Commercial Addition  
 Elevation=1354.80 NAVD 88



Vicinity Map



State of Kansas )  
 County of Sedgwick ) SS

State of Kansas )  
 City of Wichita ) SS

I, Bradley C. Ward, a professional land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on the 11th day of November, 2015 and the accompanying final plat prepared and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief:

This plat of Harry's Landing Addition, Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2015.  
 Wichita-Sedgwick County Metropolitan Area Planning Commission.

**LEGAL DESCRIPTION**

A tract of land generally located in the Southwest 1/4 of the Section 29, Township 27 South, Range 2 East, of the Sixth Principal Meridian, Sedgwick County, Kansas being more particularly described as:

\_\_\_\_\_  
 Carol Chapman Neugent, Chair

\_\_\_\_\_  
 Dale Miller, Secretary

The East 378.64 feet of the South 592.00 feet of the South 1/2 of the Southwest 1/4, Section 29, Township 27 South, Range 2 East.

State of Kansas )  
 City of Wichita ) SS

All easements and rights-of-way within said tract are hereby vacated by virtue of KSA 12-512b as amended.

This plat approved and all dedications shown herein accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

At the Direction of the City Council

\_\_\_\_\_  
 Jeff Longwell, Mayor

\_\_\_\_\_  
 Karen Sublett, City Clerk

\_\_\_\_\_  
 Bradley C. Ward, P.L.S. #920

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
 Kelly B. Arnold, County Clerk

State of Kansas )  
 County of Sedgwick ) SS

State of Kansas )  
 County of Sedgwick ) SS

Know all men by these presents, that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots, Block, Street and Reserve to be known as Harry's Landing Addition, Wichita, Sedgwick County, Kansas. Any street dedications shown are dedicated to and for the use of the public. Any easements are hereby granted as indicated for constructing, maintaining, operating, and repairing public utilities. A drainage plan has been developed for the plat and that all drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater. FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision. And further that the land contained herein is held and shall be conveyed subject to any applicable restrictions, reservations and covenants now on file or hereafter filed in the Office of the Register of Deeds of Sedgwick County, Kansas.

This is to certify that this plat has been filed for record in the Office of the Register of Deeds this \_\_\_\_\_ day of \_\_\_\_\_, 2015, at \_\_\_\_\_ o'clock \_\_\_\_\_ M; and is duly recorded.

\_\_\_\_\_  
 Bill Meek, Register of Deeds

\_\_\_\_\_  
 Tonya Buckingham, Deputy

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

By: \_\_\_\_\_ Date \_\_\_\_\_  
 Basem Krichati, Owner  
 Company

\_\_\_\_\_  
 Tricia L. Robello, L.S. #1246  
 Deputy County Surveyor  
 Sedgwick County, Kansas

State of Kansas )  
 County of Sedgwick ) SS

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by Basem Krichati, Owner, Company Name.

\_\_\_\_\_  
 Notary Public

My Commission Expires: \_\_\_\_\_