

DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/FERMIT SET	
11.22.16	ADDENDUM #1	1
12.07.16	CITY COMMENTS	2
12.21.16	CITY COMMENTS	3

## GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS:  
KANSAS ONE-CALL 687-2470  
THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:  
AT&T 1-800-246-8464  
BLACK HILLS ENERGY 1-800-694-8989  
CITY OF WICHITA WATER 1-316-268-4555  
CITY OF WICHITA SEWER 1-316-268-4073  
CITY OF WICHITA STORMWATER 1-316-268-4090  
CITY OF WICHITA TRAFFIC 1-316-268-4034  
COX COMMUNICATIONS 1-888-249-3530  
KANSAS GAS SERVICE 1-888-482-4950  
WESTAR ENERGY 1-800-544-4857
- UTILITY SERVICE LINES, POLES, ETC. ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ADJUTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- THE WATER DISTRIBUTION DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FIELD GRADES.
- THE CONTRACTOR SHALL NOTIFY THE CONSULTANT ENGINEER AND TOM MASON WITH THE CITY AT 316-268-4574 WITH THE ANTICIPATED CONSTRUCTION START DATE AND NOTIFY THEM OF PROJECT COMPLETION. STAKING AND INSPECTION FOR THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER, BRIAN COON AT [TRAFFIC@WICHITA.GOV](mailto:TRAFFIC@WICHITA.GOV) BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE U.S. DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ALL ELEVATIONS SHOWN ARE NAVD 88.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.
- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDING AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUNDING SHALL BE CONSTRUCTED WITH NEW DEVELOPMENT AS A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.
- GEOTECHNICAL REPORT AVAILABLE UPON REQUEST.
- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.
- CITY MAINTENANCE OF STORM SEWER ENDS AT RIGHT-OF-WAY OR EASEMENT LINE. SYSTEM TO BE PRIVATELY OWNED AND MAINTAINED.
- ANY SIDEWALK, DRIVE APPROACH, OR STREET PAVEMENT REMOVED TO CONSTRUCT PROJECT MUST HAVE A PAVEMENT CUT PERMIT AND BE REPLACED BY THE CITY CONTRACTOR. PERMITS CAN BE OBTAINED BY CALLING 316-268-4501 OR 316-268-4480.
- THE INSPECTING FIRM SHALL SUBMIT TO THE CITY STORMWATER MAINTENANCE DIVISION A DIGITAL COPY OF THE CITY INSPECTION OF THE CONDUITS AND STRUCTURES FOLLOWING CONSTRUCTION. THE DIGITAL FILE FORMATION SHALL BE COMPATIBLE WITH THE CITY INPUT TEMPLATE. A COPY OF THE TEMPLATE IS AVAILABLE UPON REQUEST AT 316-268-4090.
- THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN EROSION CONTROL METHODS AS SPECIFIED. THE GENERAL LOCATION OF THE REQUIRED EROSION CONTROL IS ILLUSTRATED ON THE EROSION CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL SHOWN THROUGH THE COMPLETION OF THIS PROJECT. INSTALLATION OF THESE BMP'S DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF ABATING SOIL EROSION.
- THE CONTRACTOR SHALL REFERENCE THE CITY OF WICHITA EROSION CONTROL DETAILS (SWS01 - SWS05), AVAILABLE ON THE CITY OF WICHITA WEBSITE AT <http://www.wichita.gov/Government/Departments/PWI/Pages/Regulations.aspx>.

# STORM SEWER IMPROVEMENTS

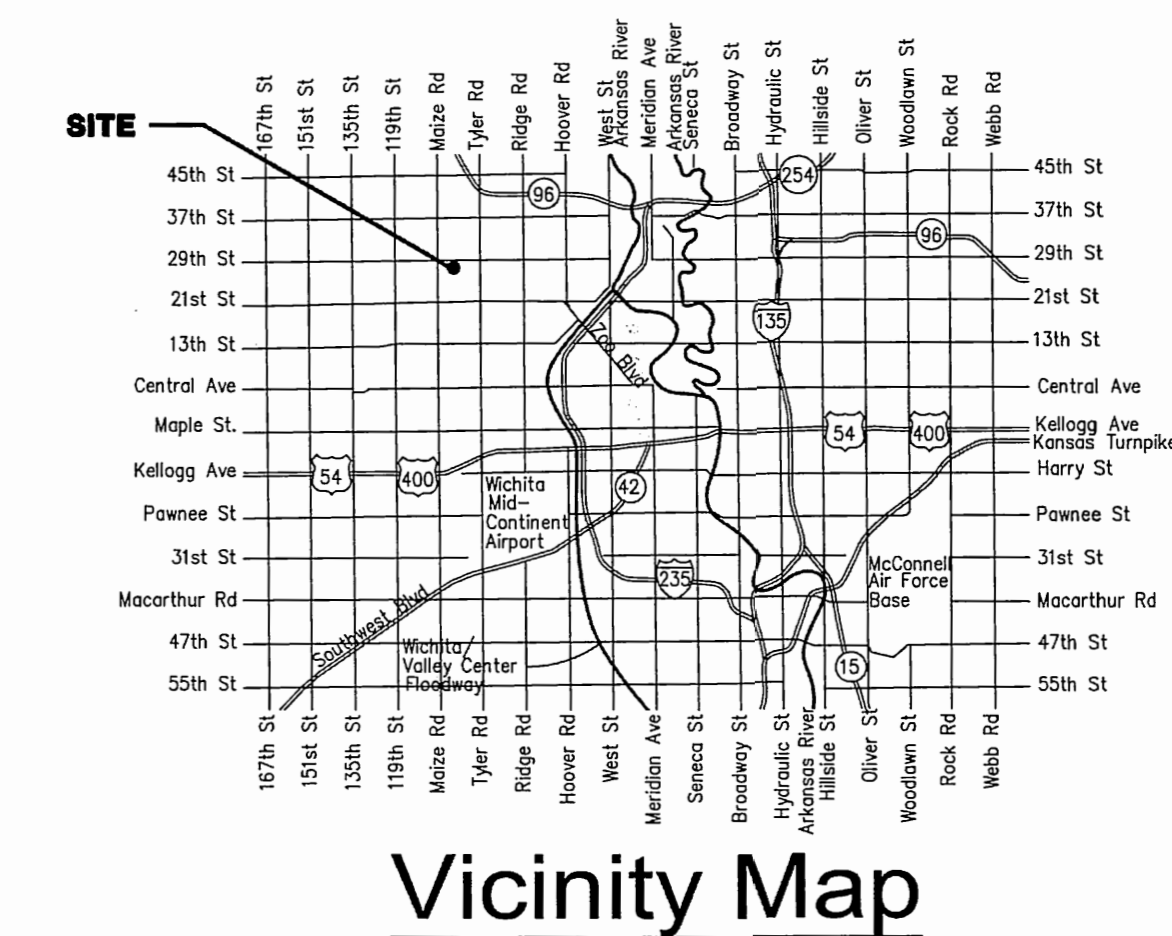
to serve

## HAMPTON INN AT CADILLAC LAKE

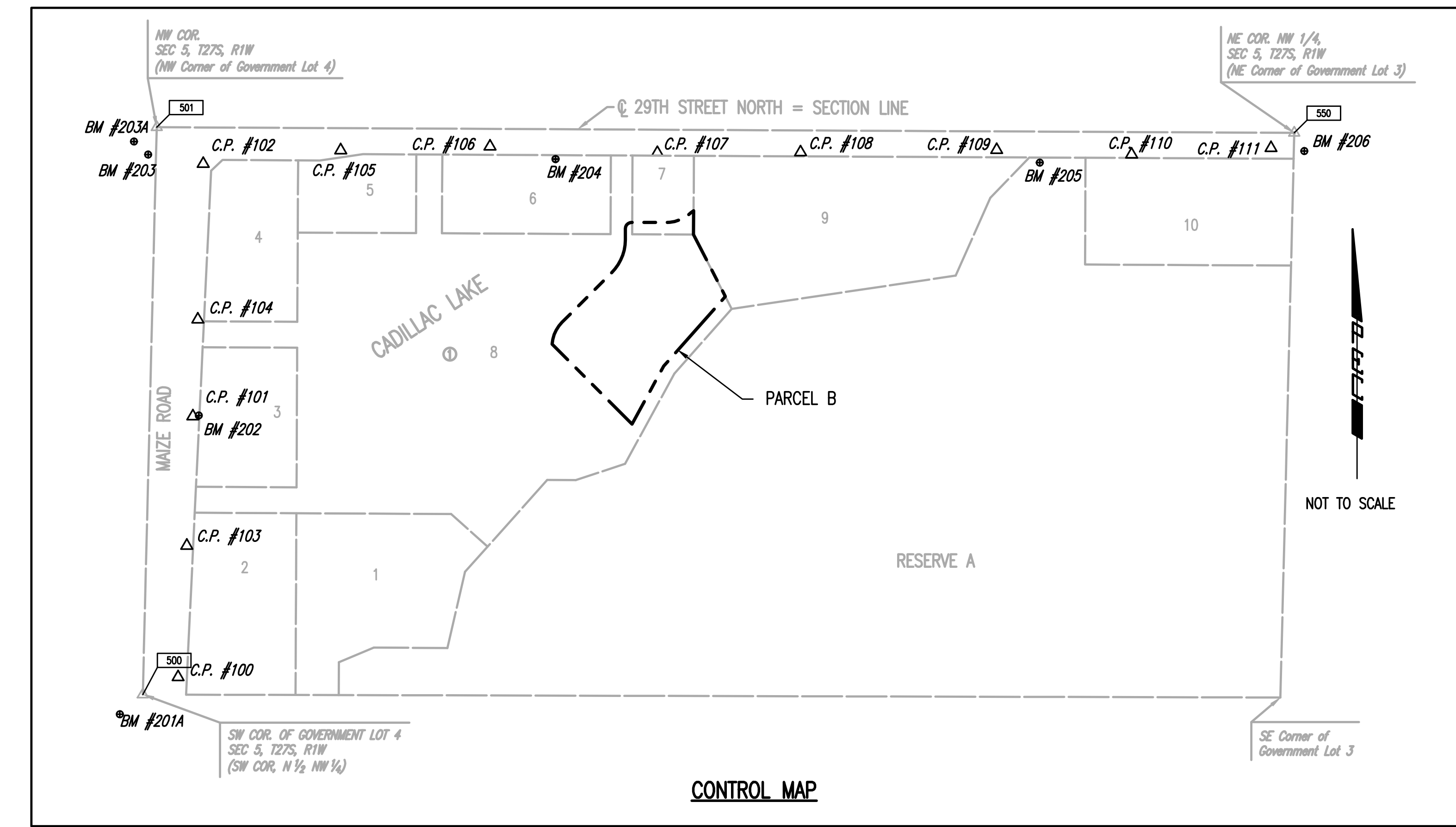
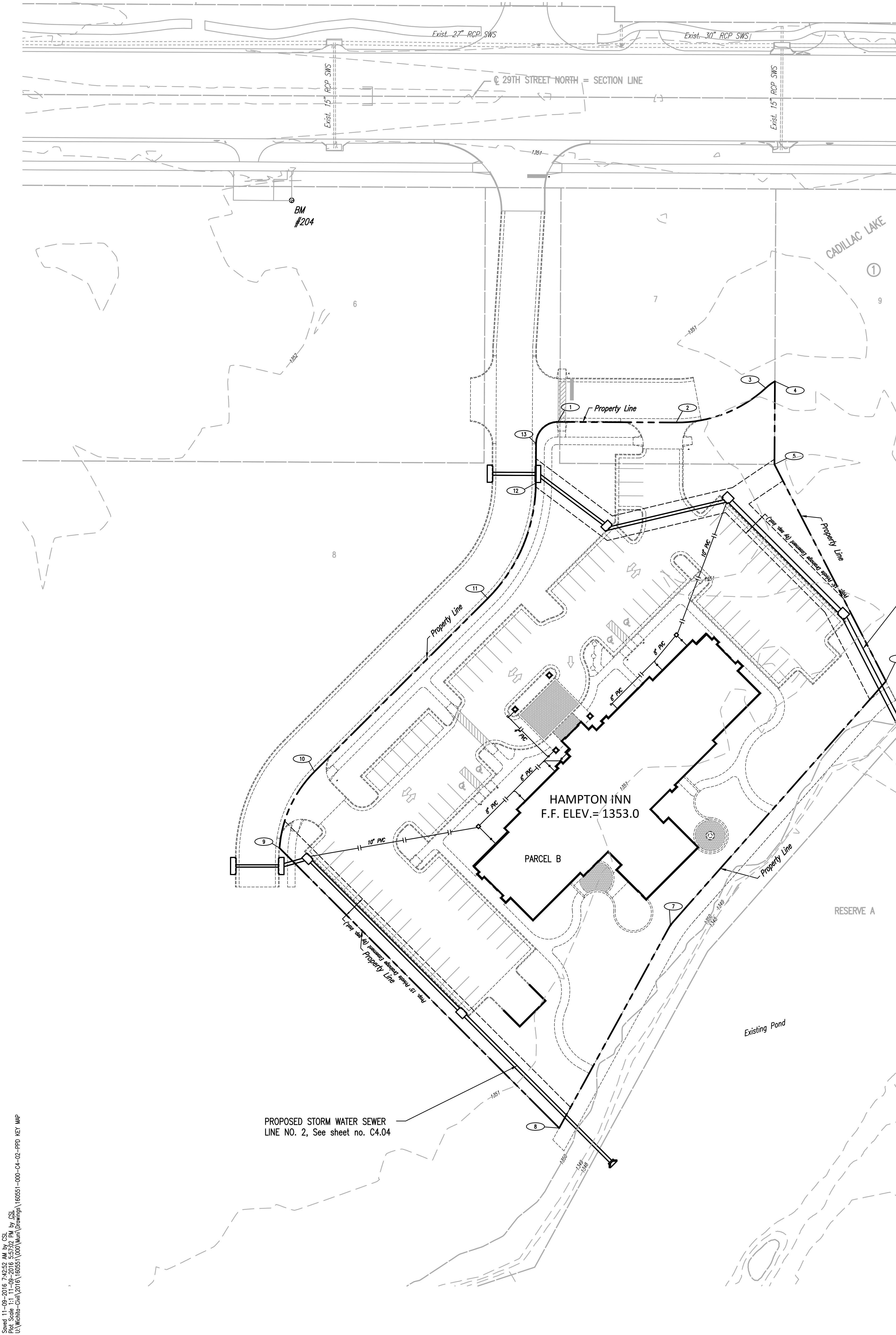
10047 WEST 29TH STREET NORTH,  
WICHITA, KANSAS 67205

### CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer  
Project Number  
0427 PPD (607861)



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 Plot Scale 1:1 - 09 - 2016 5:57:52 PM by CSI  
 U:\Projects-Civil\2016\160551\000\Main\Drawings\160551-000-C4-02-PPD KEY MAP



PROPOSED STORM WATER SEWER  
 LINE NO. 1, See sheet no. C4.03

PROPOSED STORM WATER SEWER  
 LINE NO. 2, See sheet no. C4.04

- BENCH MARK LIST**
- |  |   |
|--|---|
| <p>BM #201 - CHISELED SQUARE ON TOP OF CURB, NORTH SIDE OF DRIVE ENTRANCE TO NORTHEAST CORNER OF TARGET PARKING LOT AND SOUTHWEST OF SOUTHWEST CORNER OF GOVERNMENT LOT 4, SEC 5-27-1W. ELEV.=1352.79 (NAVD88)</p> <p>BM #202 - CHISELED "X" ON NORTH RM OF TELEPHONE MANHOLE AT PVC TELEPHONE MARKER POST, 35 FEET SOUTH OF POWER POLE #82115, ON EAST SIDE OF ASPHALT BIKE PATH ON EAST SIDE OF MAIZE ROAD, 4 POLES NORTH OF TARGET, 3 POLES SOUTH OF 29TH STREET NORTH. ELEV.= 1350.53 (NAVD88)</p> <p>BM #203 - CHISELED SQUARE AT SOUTHEAST CORNER OF SOUTH HEADWALL FOR RCBC UNDER 29TH STREET, WEST OF MAIZE MAIZE ROAD (NOT THE CHISELED + AT THE SOUTHWEST CORNER OF SAME HEADWALL). ELEV.= 1353.32 (NAVD88)</p> <p>BM #203A - CHISELED SQUARE ON TOP OF CURB INLET WEST SOUTHWEST OF 29TH STREET AND MAIZE ROAD (DOES NOT INCLUDE ROUND PLASTIC DISK GLUED OVER PART OF SQUARE). ELEV.= 1351.98 (NAVD88)</p> <p>BM #204 - CHISELED SQUARE ON TOP OF RETAINING WALL AT SOUTHEAST CORNER OF CONCRETE PAD FOR ELECTRIC TRANSFORMER #10105 ON SOUTH SIDE OF 29TH STREET AND 800 FEET EAST OF BIKE PATH ON EAST SIDE OF MAIZE ROAD. ELEV.= 1352.01 (NAVD88)</p> <p>BM #205 - CHISELED SQUARE ON HIGH POINT OF EAST WINGWALL AT SOUTH END OF RCBC UNDER 29TH STREET, 600 FEET WEST OF NORTH 1/4 CORNER SECTION 5-27-1W, FOR POND GOING SOUTH. ELEV.= 1350.99 (NAVD88)</p> <p>BM #206 - CHISELED SQUARE ON NORTH EDGE OF CURVY SIDEWALK AT FIRE HYDRANT ON SOUTH SIDE OF 29TH STREET, 1/4 MILE EAST OF MAIZE ROAD, SOUTHEAST OF N 1/4 CORNER SEC 5-27-1W. ELEV.= 1350.92 (NAVD88)</p> | <p>BM #204 - CHISELED SQUARE ON TOP OF RETAINING WALL AT SOUTHEAST CORNER OF CONCRETE PAD FOR ELECTRIC TRANSFORMER #10105 ON SOUTH SIDE OF 29TH STREET AND 800 FEET EAST OF BIKE PATH ON EAST SIDE OF MAIZE ROAD. ELEV.= 1352.01 (NAVD88)</p> <p>BM #205 - CHISELED SQUARE ON HIGH POINT OF EAST WINGWALL AT SOUTH END OF RCBC UNDER 29TH STREET, 600 FEET WEST OF NORTH 1/4 CORNER SECTION 5-27-1W, FOR POND GOING SOUTH. ELEV.= 1350.99 (NAVD88)</p> <p>BM #206 - CHISELED SQUARE ON NORTH EDGE OF CURVY SIDEWALK AT FIRE HYDRANT ON SOUTH SIDE OF 29TH STREET, 1/4 MILE EAST OF MAIZE ROAD, SOUTHEAST OF N 1/4 CORNER SEC 5-27-1W. ELEV.= 1350.92 (NAVD88)</p> |
|--|---|

- CONTROL POINTS**
- |   |  |
|---|--|
| <p>Pl. No. 100<br/>MON. PKN<br/>N: 8,994.2040, E: 5,177.5870</p> <p>Pl. No. 101<br/>PKN<br/>N: 9,597.4580, E: 5,211.7520</p> <p>Pl. No. 102<br/>PKN<br/>N: 10,181.5580, E: 5,235.6590</p> <p>Pl. No. 103<br/>PKN<br/>N: 9,298.2310, E: 5,197.6390</p> <p>Pl. No. 104<br/>PKN<br/>N: 9,821.4260, E: 5,223.2540</p> <p>Pl. No. 105<br/>#4 BAR<br/>N: 10,212.7870, E: 5,553.7820</p> <p>Pl. No. 106<br/>#4 BAR<br/>N: 10,221.5930, E: 5,899.2830</p> <p>Pl. No. 107<br/>#4 BAR<br/>N: 10,208.9100, E: 6,288.5020</p> <p>Pl. No. 108<br/>#4 BAR<br/>N: 10,208.1070, E: 6,617.7130</p> <p>Pl. No. 109<br/>#4 BAR<br/>N: 10,213.7460, E: 7,071.5560</p> <p>Pl. No. 110<br/>#4 BAR<br/>N: 10,202.9280, E: 7,383.7340</p> <p>Pl. No. 111<br/>#4 BAR<br/>N: 10,218.1220, E: 7,706.3080</p> | <p>C.P. #100<br/>N: 8,950.4810, E: 5,085.8080</p> <p>C.P. #101<br/>N: 9,298.2310, E: 5,197.6390</p> <p>C.P. #102<br/>N: 9,821.4260, E: 5,223.2540</p> <p>C.P. #103<br/>N: 10,212.7870, E: 5,553.7820</p> <p>C.P. #104<br/>N: 10,221.5930, E: 5,899.2830</p> <p>C.P. #105<br/>N: 10,208.9100, E: 6,288.5020</p> <p>C.P. #106<br/>N: 10,208.1070, E: 6,617.7130</p> <p>C.P. #107<br/>N: 10,213.7460, E: 7,071.5560</p> <p>C.P. #108<br/>N: 10,202.9280, E: 7,383.7340</p> <p>C.P. #109<br/>N: 10,218.1220, E: 7,706.3080</p> |
|---|--|

**SECTION CORNER**

Pl. No. 500  
EAST 1/16, NORTHEAST 1/4, SEC6, T27S, R1W  
N: 8,950.4810, E: 5,085.8080  
1/2" BAUSMAN CAPPED REBAR IN ASPHALT  
53.47' NORTHWEST TO 3 NAILS IN S.W.B. POLE  
115.26' SOUTHWEST TO 3 NAILS IN S.W.B. POLE  
63.59' SOUTHWEST TO 60# NAIL IN POWER POLE  
36.50' W TO "+" CROSS ON TOP OF 12" C.M.P.

Pl. No. 501  
NORTHEAST CORNER, SEC 6, T27S, R1W  
N: 10,266.0020, E: 5,128.1290  
3/4" IRON PIPE IN ASPHALT  
54.30' SOUTHWEST TO 3 NAILS IN UNDERGROUND MARKER POST  
64.27' SOUTHWEST TO 60# NAIL IN TELEPHONE POLE  
48.65' NORTHEAST TO 3 NAILS IN HIGH LINE POLE  
46.40' NORTHWEST TO 3 NAILS IN HIGH LINE POLE

Pl. No. 550  
EAST 1/4 CORNER, SEC6, T27S, R1W  
N: 10,253.0550, E: 7,760.2070  
1/2" IRON PIPE IN ASPHALT  
47.98' SOUTHWEST TO "+" CROSS ON SOUTH FACE OF STEEL GATE POST  
69.20' EAST TO "+" CROSS ON NORTH FACE OF STEEL GATE POST  
45.70' NORTHEAST TO 3 NAILS IN FENCE POST  
39.87' WEST SOUTHWEST TO 2 NAILS IN TELEPHONE POLE

**PROPERTY COORDINATE LIST**

POINT	NORTH	EAST
1	10,045.9679	6,227.0301
2	10,045.5840	6,305.0744
3	10,068.3250	6,364.3094
4	10,072.8320	6,370.3439
5	10,017.8900	6,370.0737
6	9,874.5899	6,443.7422
7	9,713.5303	6,301.2376
8	9,579.3716	6,227.7456
9	9,764.4244	6,042.8851
10	9,814.8795	6,065.9883
11	9,929.2857	6,180.5135
12	10,005.5129	6,212.3310
13	10,031.5394	6,212.4590

① = COORDINATE POINT NO.

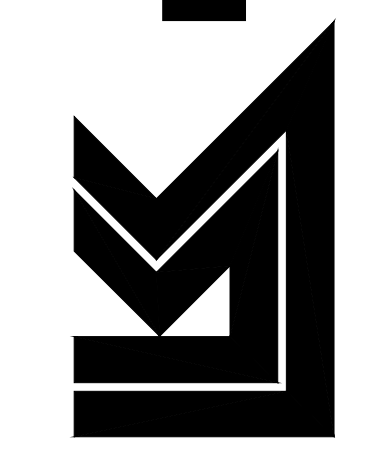
**PRINTS ISSUED**

DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

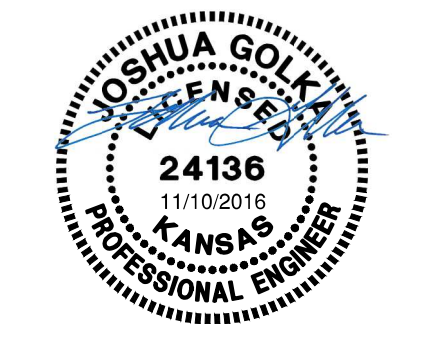
**HAMPTON INN  
 CADILLAC LAKE  
 WICHITA, KANSAS**



**LKArchitecture**

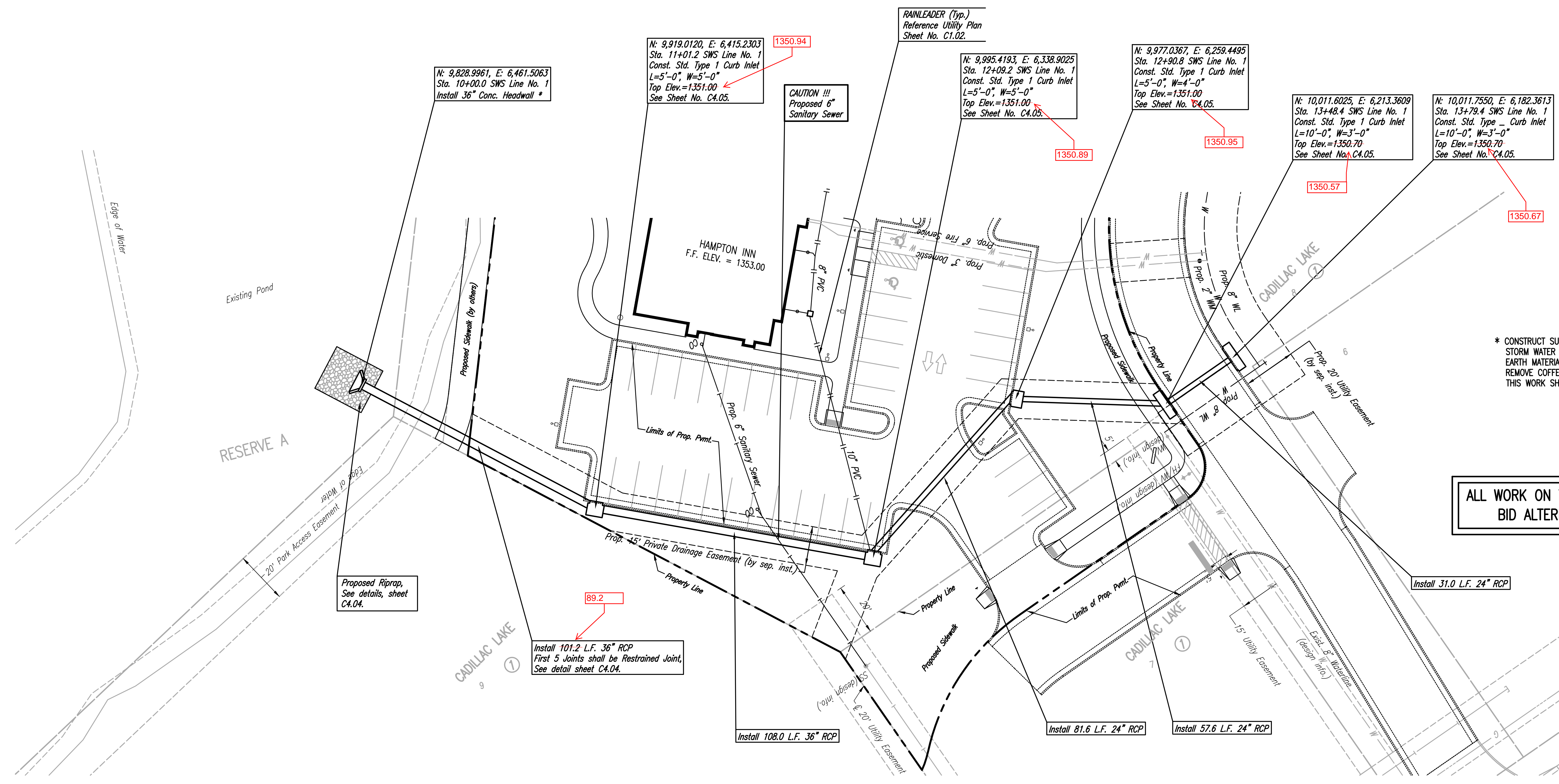
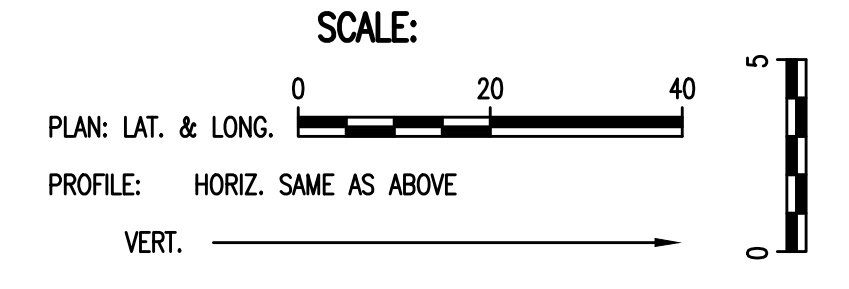


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**LKArchitecture, Inc.**  
 345 Riverview Wichita, KS 67203  
 T 316.268.0230 F 316.268.0205  
 CONTACT: PEC  
 DRAWN: PEC  
 CHECKED: PEC  
 PROJECT NUMBER:  
**15433**  
 SHEET TITLE:  
 PPD KEY MAP  
 SHEET NUMBER:  
**C4.02**

DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	



\* CONSTRUCT SUITABLE COFFERDAM AND DEWATER AS NECESSARY TO CONSTRUCT STORM WATER SEWER ADJACENT TO PONDS. COFFERDAM MAY BE OF COMPACTED EARTH MATERIAL OR SHEET PILES. UPON COMPLETION OF STORM WATER SEWER, REMOVE COFFERDAM AND RESTORE POND BANKS TO PRE-CONSTRUCTION CONDITION. THIS WORK SHALL BE SUBSIDIARY TO THE UNIT PRICE BID PER FOOT OF PIPE.

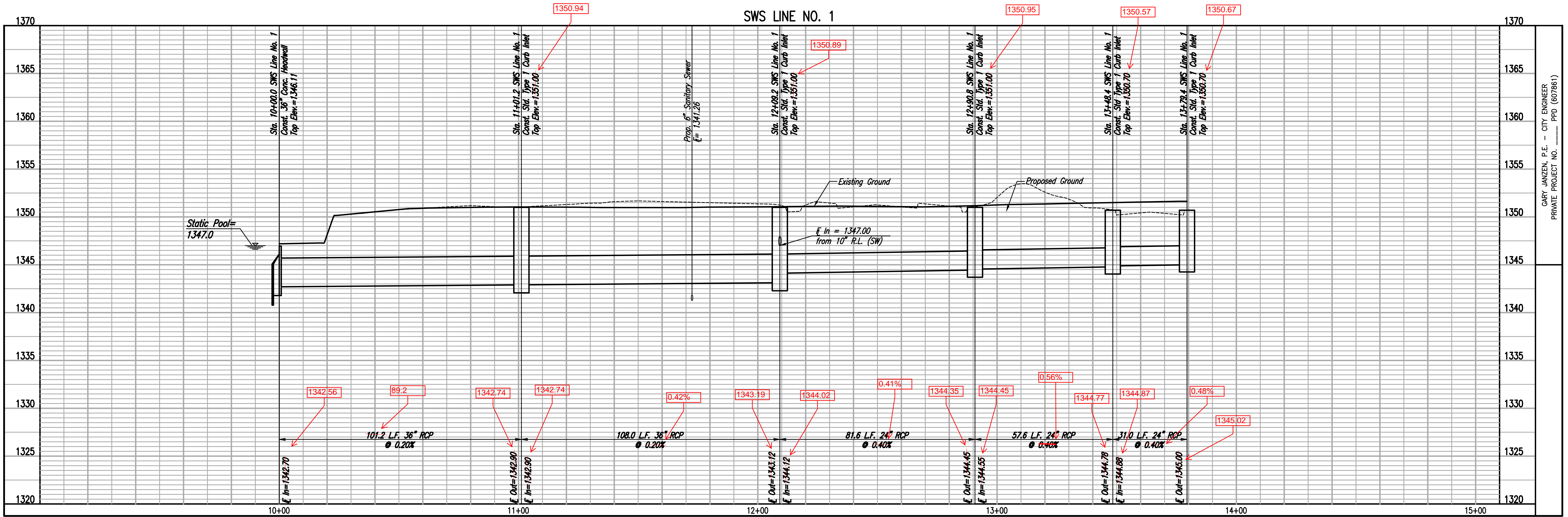
ALL WORK ON THIS SHEET SHALL BE INCLUDED IN THE BID ALTERNATE #2 PRICE ON THE BID FORM.

**AS BUILTS**

Contractor: Ewertz Excavation  
 Inspector: Matt Perez  
 Date: 05/16/2017

117 E. Lewis,  
 Wichita, KS 67202 (316)264-0242

HAMPTON INN  
 CADILLAC LAKE  
 WICHITA, KANSAS



PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
 203 SOUTH TOPEKA WICHITA, KS 67202  
 316-262-2891 www.pec1.com

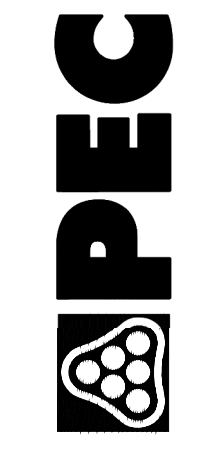


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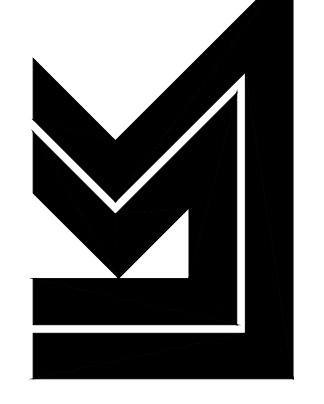
PROJECT NUMBER:  
**15433**

SHEET TITLE:  
 SWS LINE NO. 1

SHEET NUMBER:  
**C4.03**



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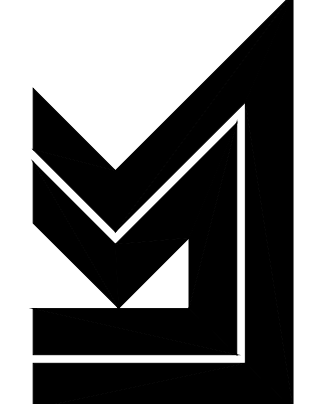
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10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

HAMPTON INN  
CADILLAC LAKE  
WICHITA, KANSAS

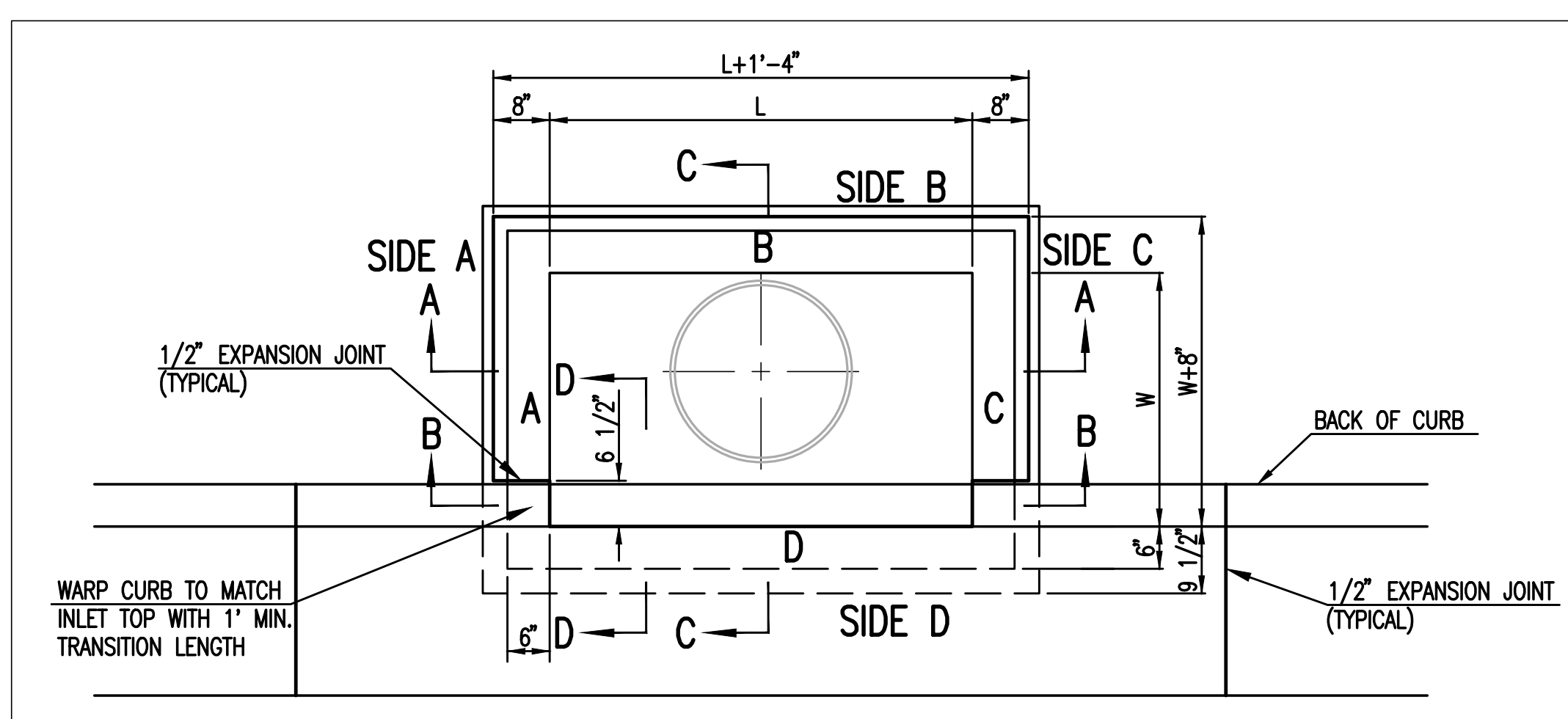


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CONTACT: PEC  
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CHECKED: PEC  
PROJECT NUMBER:  
**15433**  
SHEET TITLE:  
STANDARD TYPE 1  
CURB INLET  
SHEET NUMBER:  
**C4.05** OF 1



TOP VIEW

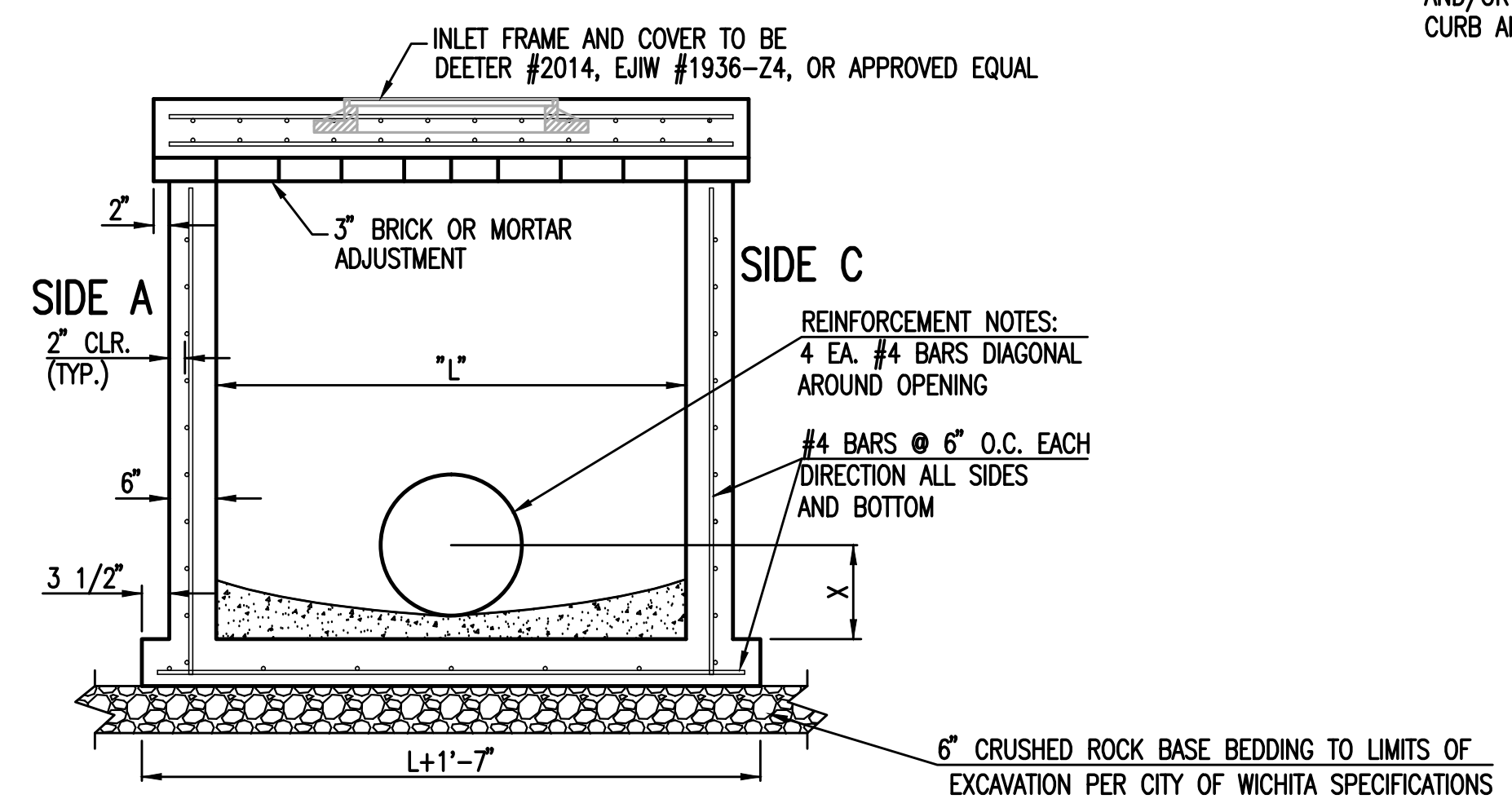
BAR SCHEDULE		
INLET OPENING	B1 BARS	SPACING
5'-0"	#4	4"
10'-0"	#6	3.5"

PRECAST CURB INLET WIDTHS				
W	PRE-CAST TOP SIZE			PIPE DIA.**
	WIDTH	LENGTH	TOP	
3'-0"	W+8"	L+1'-4"	7 1/2"	21" & SMALLER
4'-0"	W+8"	L+1'-4"	7 1/2"	24" & 30"
5'-0"	W+8"	L+1'-4"	7 1/2"	36" & 42"
6'-0"	W+8"	L+1'-4"	7 1/2"	48" & 54"
7'-0"	W+8"	L+1'-4"	7 1/2"	60" & 66"

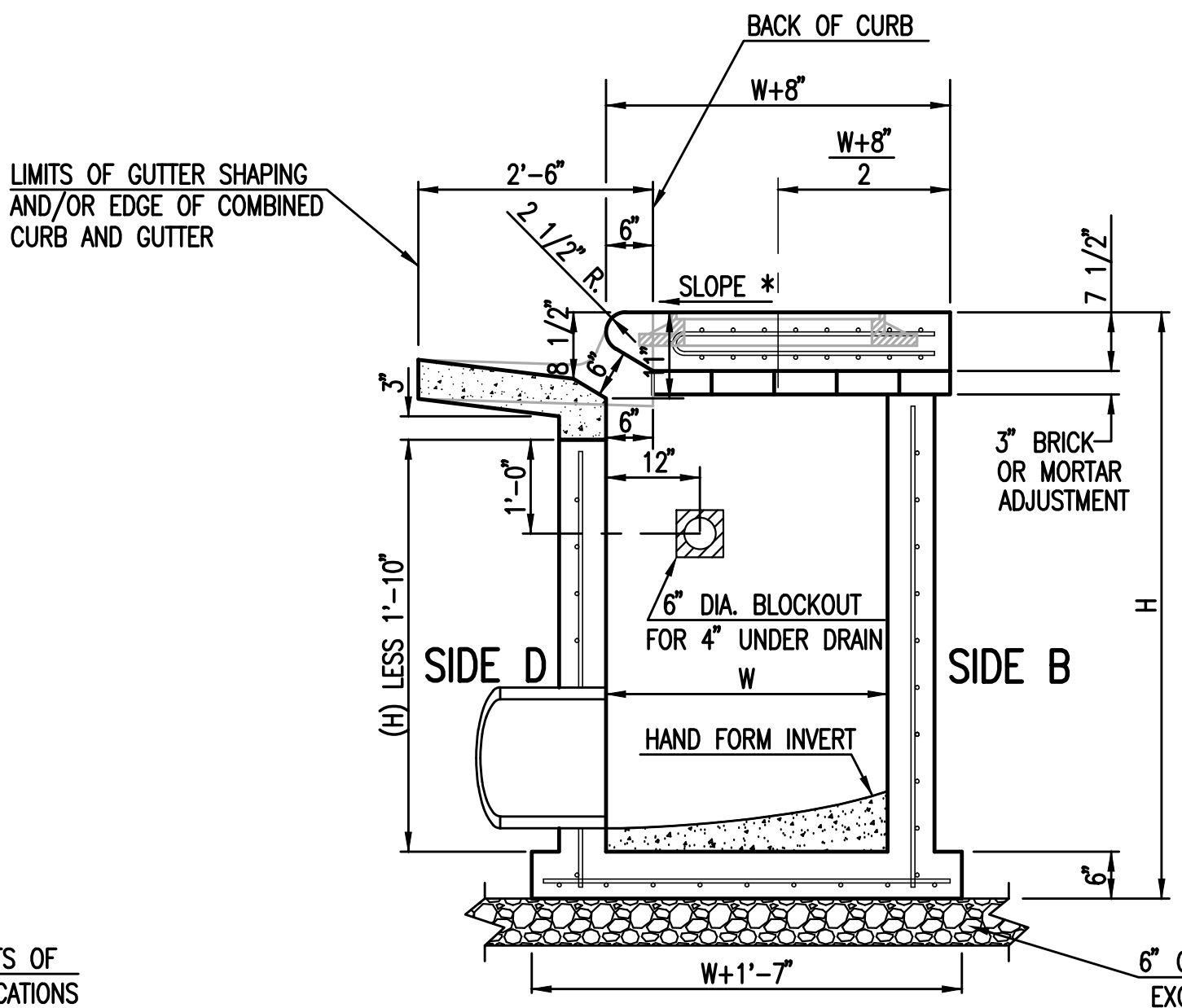
\*\* FOR PIPES PERPENDICULAR TO INLET WALL

GENERAL NOTES

- CONCRETE TOPS TO BE INSTALLED ON THIN MORTAR CUSHION TO INSURE FULL SUPPORT ALONG BRICK. CONCRETE TOPS MAY BE CAST IN PLACE OR PRECAST. CONCRETE USED FOR INLET CONSTRUCTION SHALL CONFORM TO CITY OF WICHITA SPECIFICATIONS FOR CONCRETE PAVEMENT MIX.
- CONTRACTOR SHALL HAVE THE OPTION OF CONSTRUCTING 8" BRICK MASONRY WALLS BETWEEN THE CONCRETE INLET BASE AND TOP OF THIS INLET WHEN W=5'-0" AND H=7'-0" OR LESS.
- INLET INVERT SHALL BE SHAPED WITH 8 SACK SAND MIX CONCRETE TO CREATE FLOW CHANNELS AND TO INCREASE HYDRAULIC EFFICIENCY SUCH THAT THE INLET WILL BE SELF CLEANING BETWEEN ALL INLET AND/OR OUTLET PIPES.
- THE ENDS OF ALL PIPES INSTALLED IN INLETS SHALL BE CUT OFF FLUSH WITH THE INSIDE FACE OF THE INLET WALL.
- INLET FRAME AND COVER TO BE DEETER #2014, EJM #1936-Z4, OR APPROVED EQUAL.
- CONTRACTOR SHALL REMOVE LIFTING HOOKS AFTER INSTALLATION. RECESSES IN INLET WALL SHALL BE GROUTED FLUSH TO THE INLET WALL WITH HYDRAULIC CEMENT AFTER THE INLET IS IN PLACE. LIFTING HOLES THRU THE INLET WALL WILL NOT BE ACCEPTED.

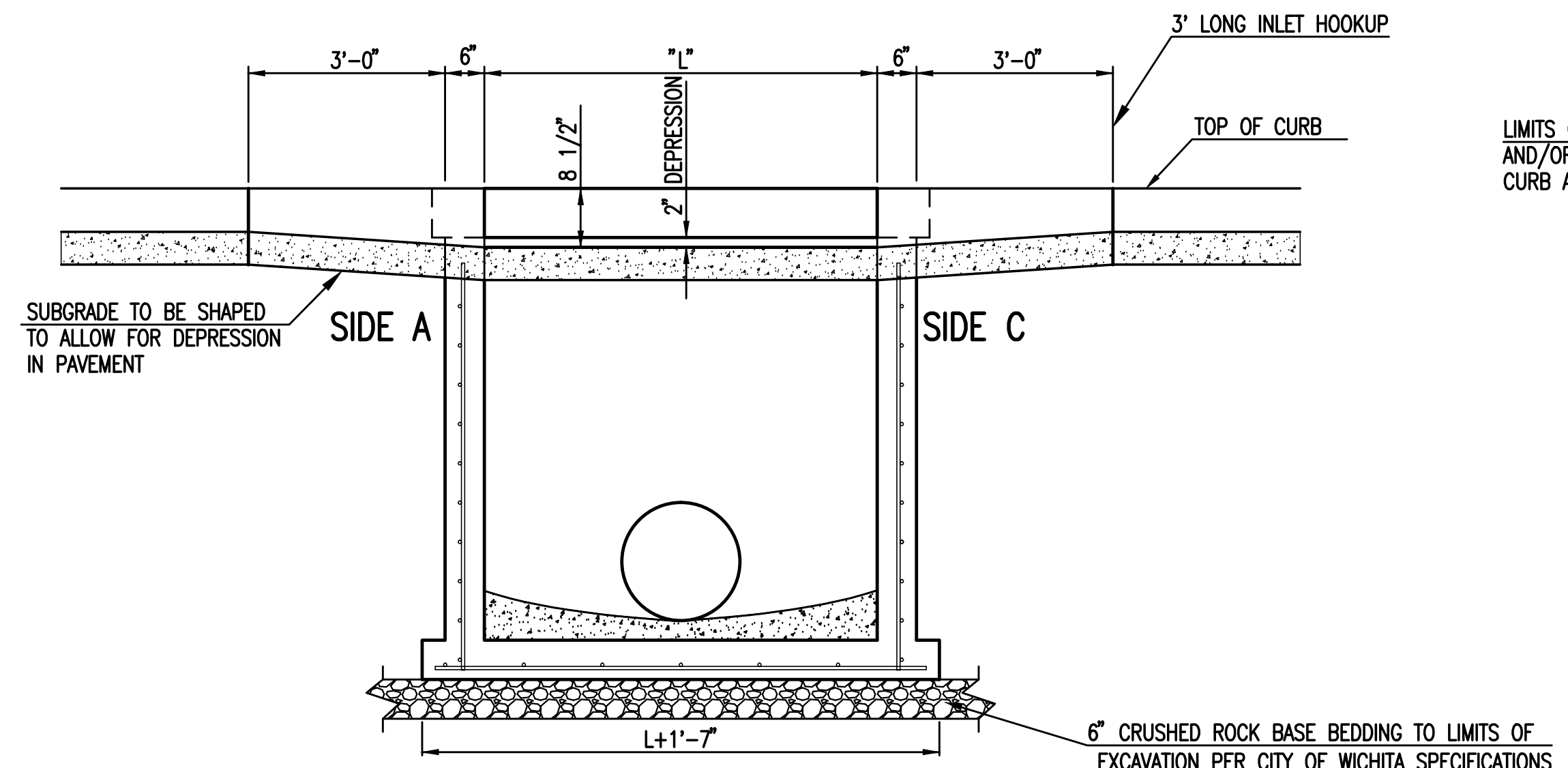
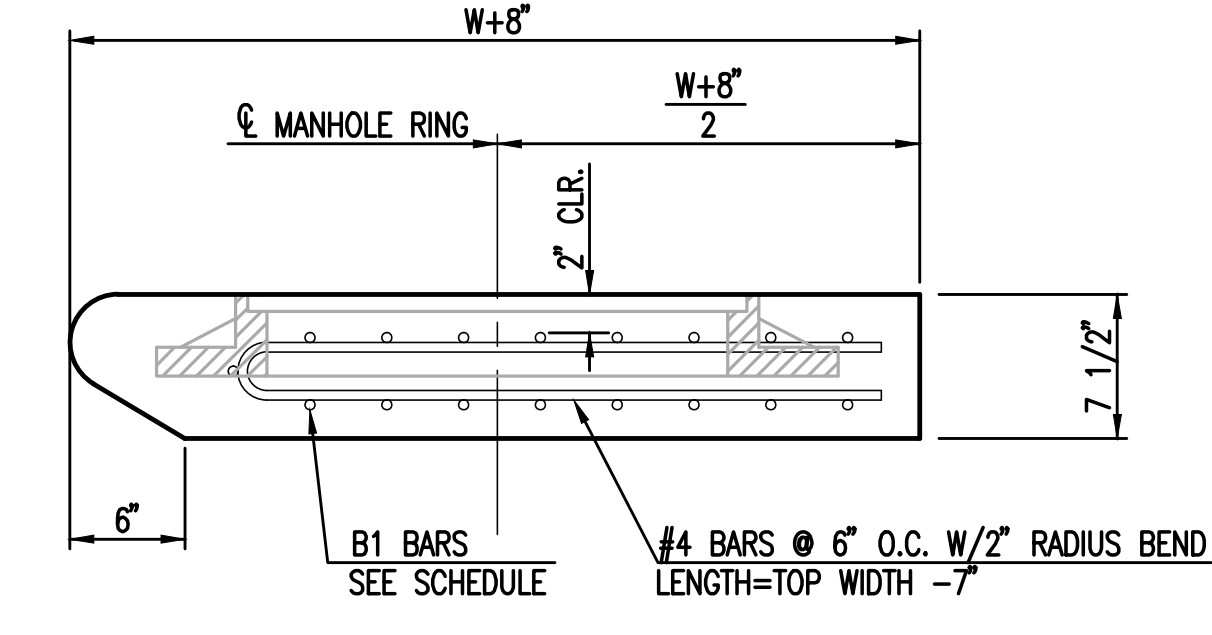


SECTION "A-A"

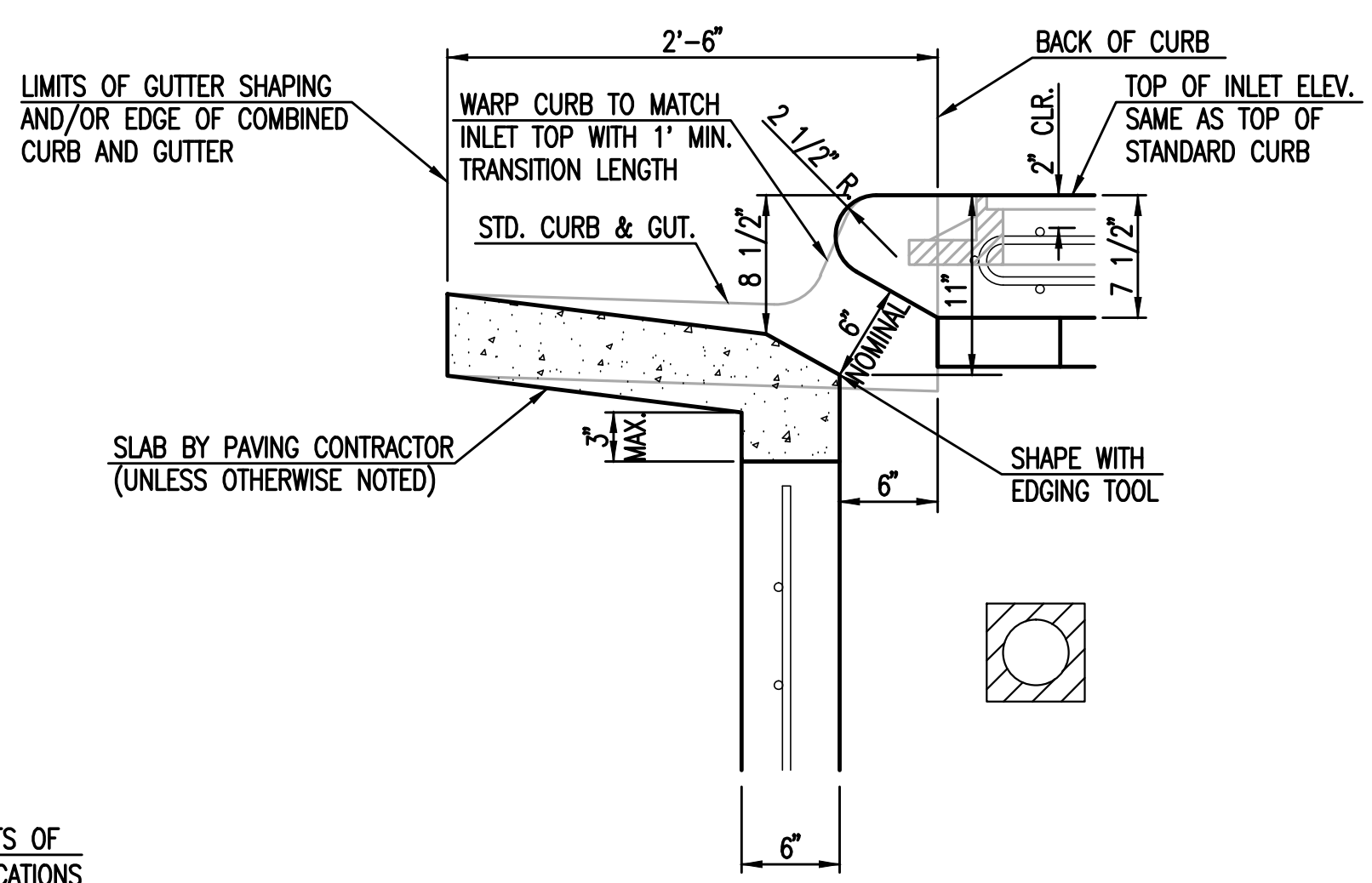


SECTION "C-C"

NOTES:  
\* SLOPE OF INLET TOP TO MATCH SIDEWALK OR PARKING SLOPES WITHIN LIMITS INDICATED.



SECTION "B-B"



SECTION "D-D"

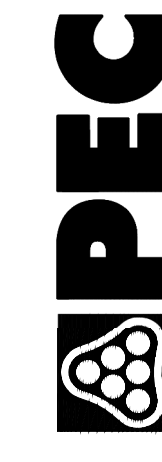


STANDARD TYPE 1 CURB INLET 5'-0" OR 10'-0" OPENING		
CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER PPD	OCA NUMBER (607861)	DATE
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 435 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET

REVISED: MARCH 2015

5W-101

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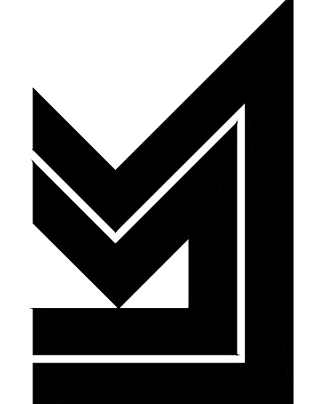


DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

HAMPTON INN  
CADILLAC LAKE  
WICHITA, KANSAS



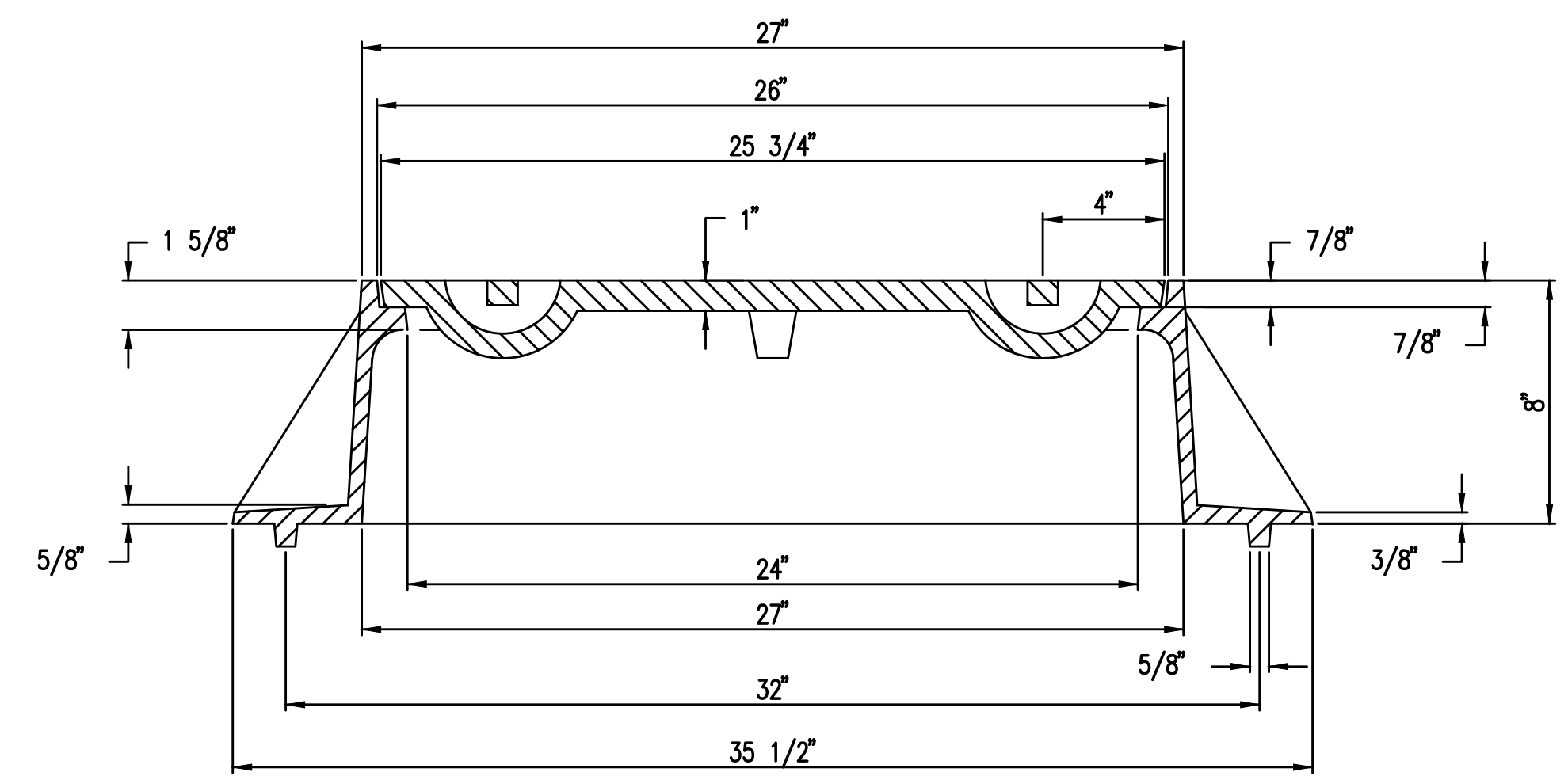
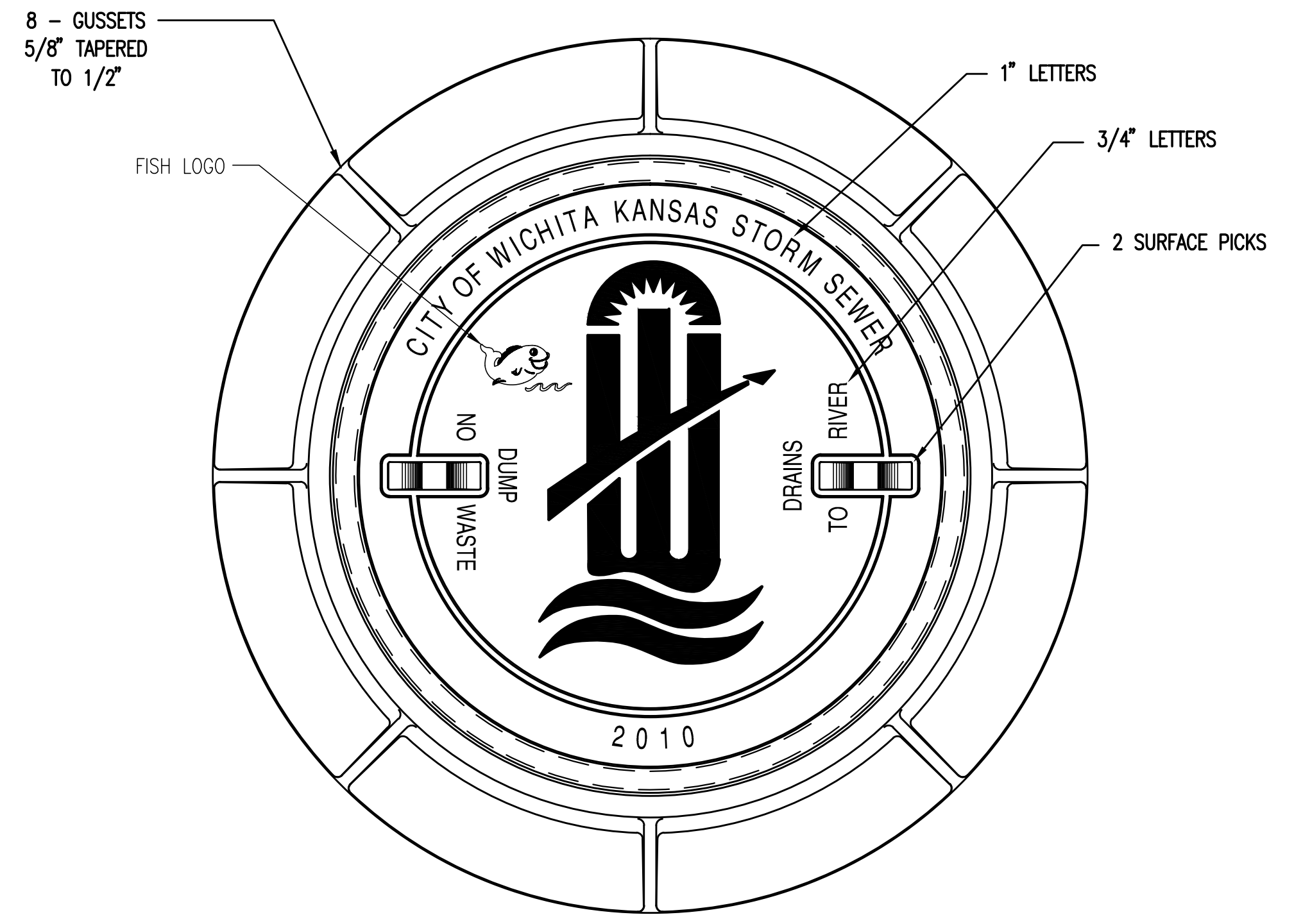
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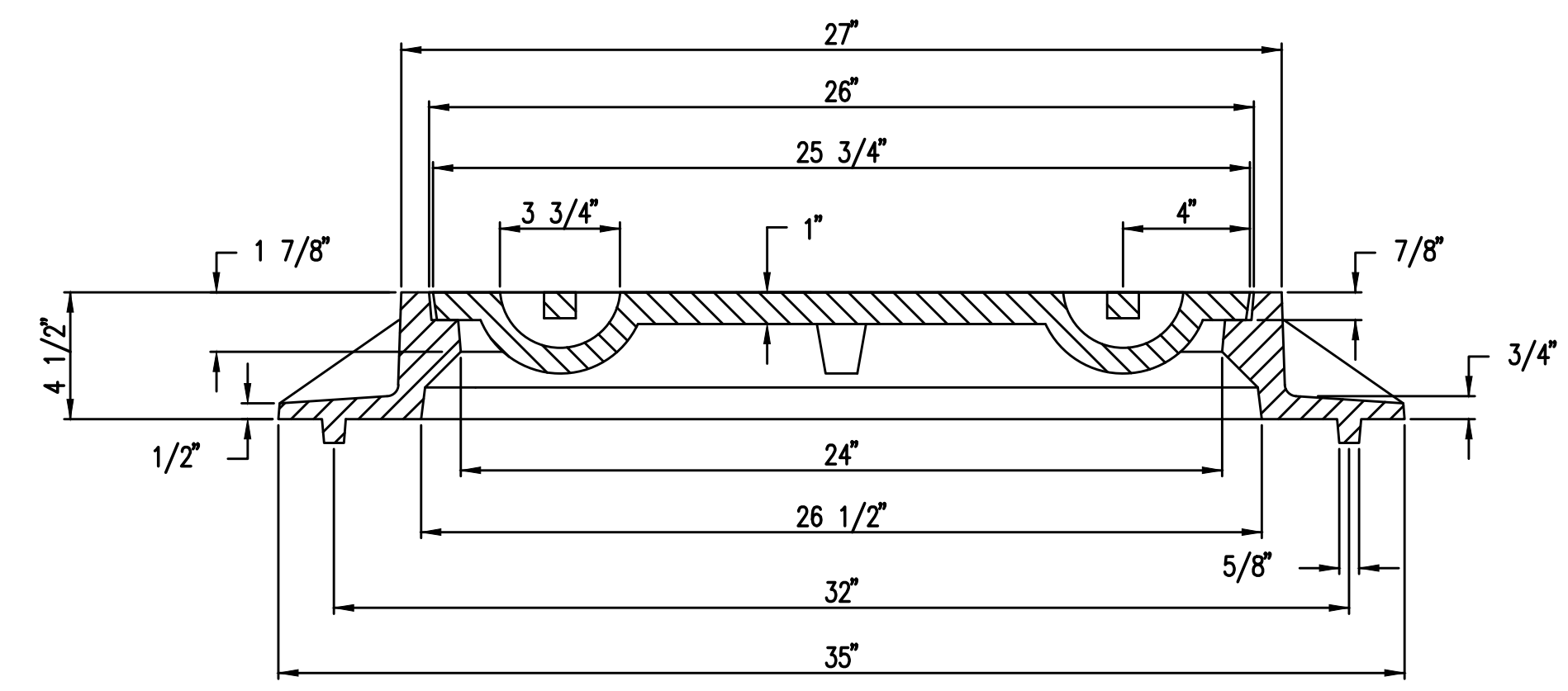
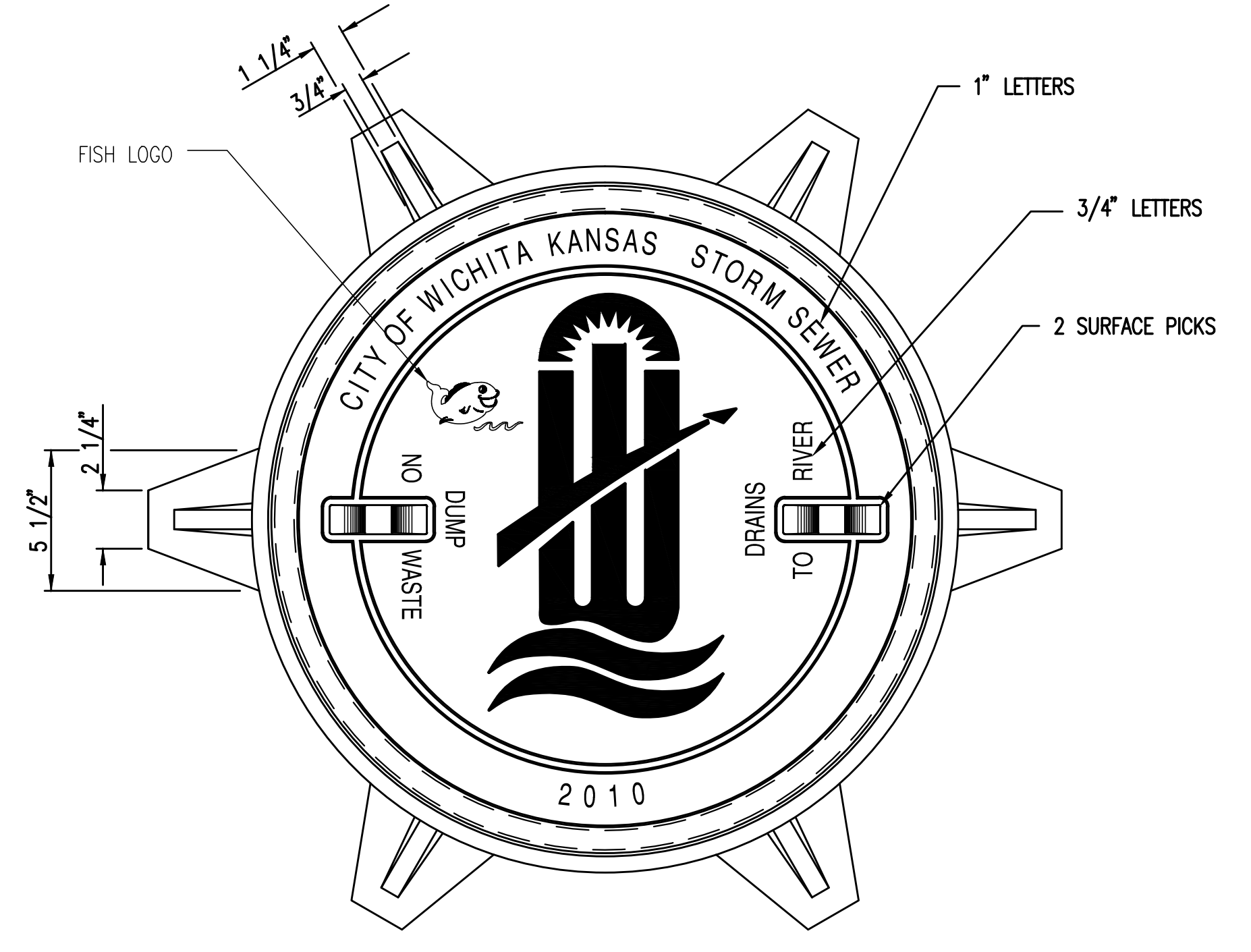


**LKArchitecture, Inc.**  
345 Riverview Wichita, KS 67203  
T 316.268.0230 F 316.268.0205  
CONTACT: PEC  
DRAWN: PEC  
CHECKED: PEC  
PROJECT NUMBER:  
**15433**  
SHEET TITLE:  
MANHOLE INLET FRAME AND COVER (STORM SEWER)  
SHEET NUMBER:  
**C4.06** OF: X



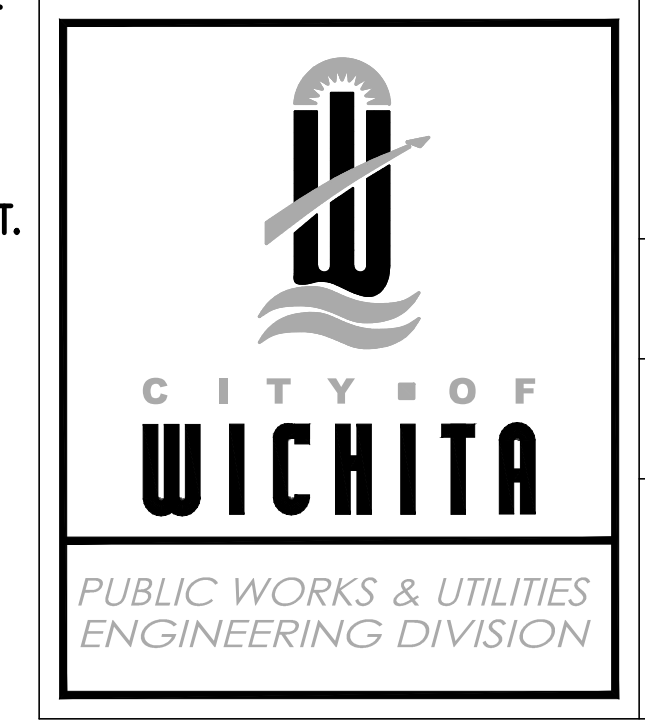
**MANHOLE FRAME**  
DEETER #1261 OR EJIW #1936-Z1

- NOTE:
- FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACE.
  - COVER TO BE DEETER #1261 OR EJIW #1936A.



**INLET FRAME**  
DEETER #2014 OR EJIW #1936-Z4

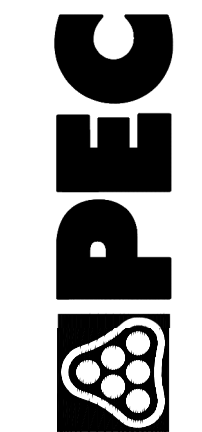
- NOTE:
- FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACES.
  - NOT TO BE USED UNDER PAVEMENT.
  - COVER TO BE DEETER #1261 OR EJIW #1936A.



MANHOLE/INLET FRAME AND COVER (STORM SEWER)		
CITY ENGINEER		
GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE
PPD	(607861)	11/2010
CITY ENGINEER'S OFFICE		SHEET
CITY HALL - SEVENTH FLOOR 435 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		

SW-303

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316-262-2991 www.pec1.com



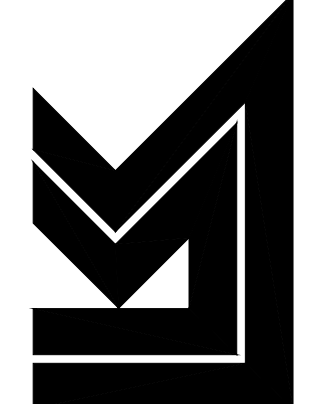


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08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

HAMPTON INN  
CADILLAC LAKE  
WICHITA, KANSAS



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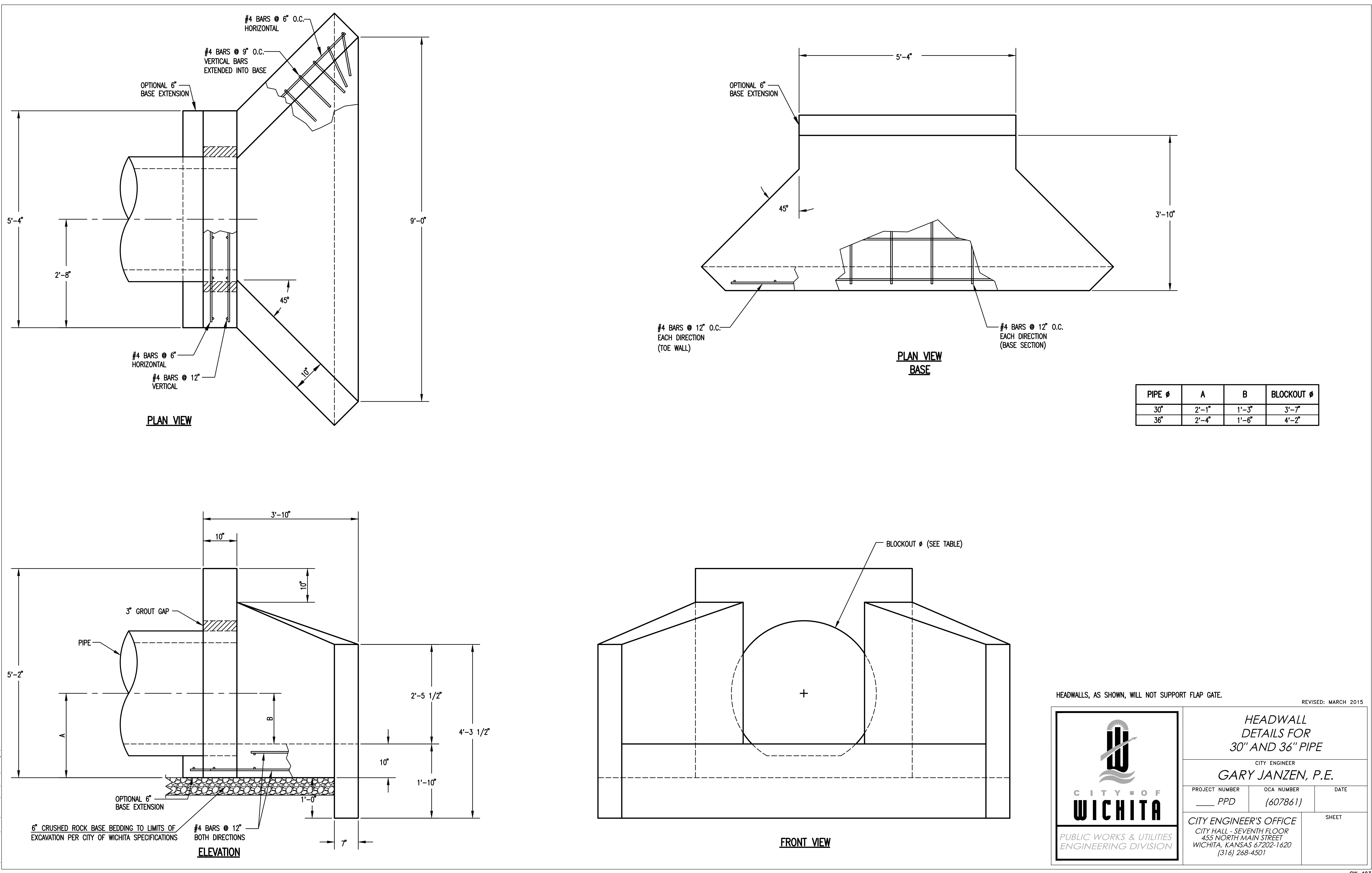
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345 Riverview Wichita, KS 67203  
T 316.268.0230 F 316.268.0205

CONTACT: PEC  
DRAWN: PEC  
CHECKED: PEC

PROJECT NUMBER:  
**15433**

SHEET TITLE:  
HEADWALL DETAIL

SHEET NUMBER:  
**C4.09**



 <b>CITY OF WICHITA</b> PUBLIC WORKS & UTILITIES ENGINEERING DIVISION			HEADWALL DETAILS FOR 30" AND 36" PIPE		
			CITY ENGINEER <b>GARY JANZEN, P.E.</b>		
PROJECT NUMBER	OCA NUMBER	DATE	SHEET		
PPD	(607861)				
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501					

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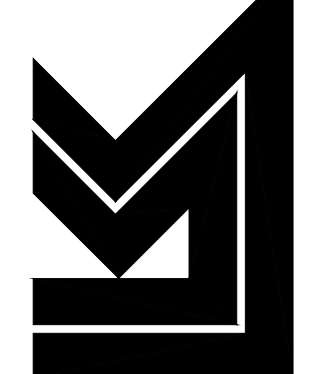
SW-403

DATE	PURPOSE	NO.
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09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	
11.22.16	ADDENDUM #1	▲▲
12.07.16	CITY COMMENTS	▲▲
12.21.16	CITY COMMENTS	▲▲

**HAMPTON INN  
CADILLAC LAKE  
WICHITA, KANSAS**



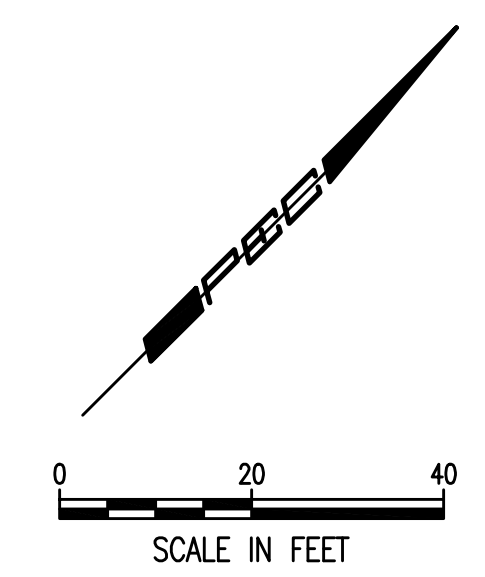
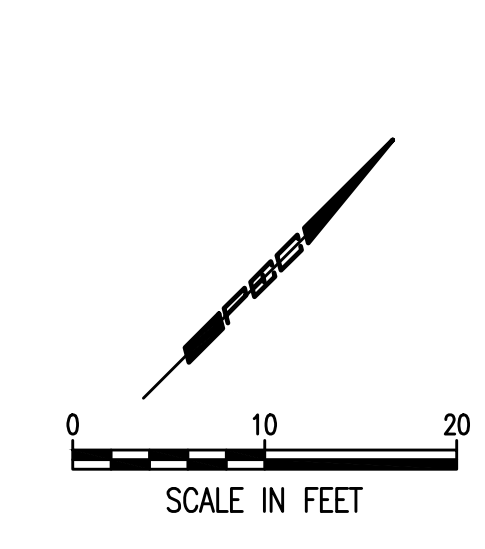
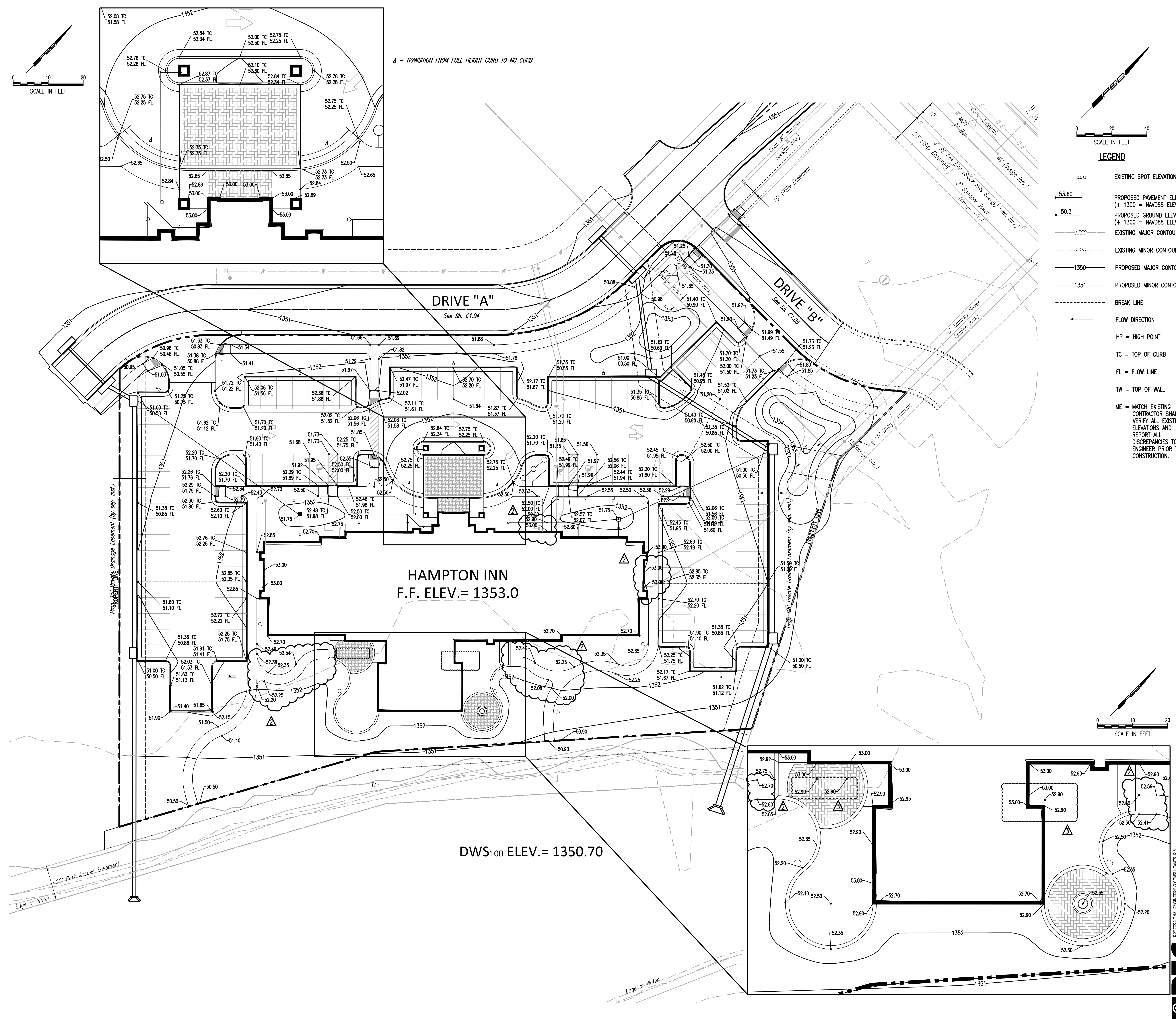
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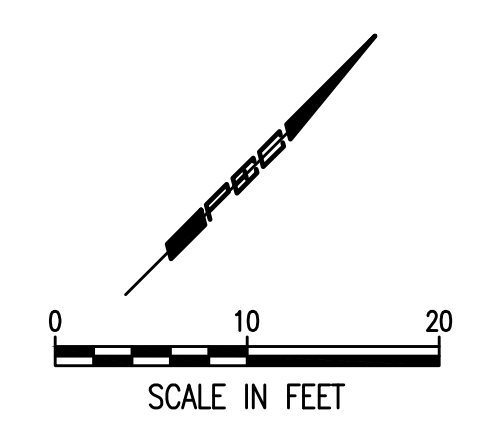


**LK Architecture, Inc.**  
345 Riverside Wichita, KS 67203  
T 316.268.0230 F 316.268.0205  
CONTACT: PEC  
DRAWN: PEC  
CHECKED: PEC  
PROJECT NUMBER:  
**15433**  
SHEET TITLE:  
GRADING PLAN - HOTEL  
SHEET NUMBER:  
**C1.03**



**LEGEND**

51.13	EXISTING SPOT ELEVATION
53.60	PROPOSED PAVEMENT ELEVATION (+ 1300 = NAVD88 ELEVATION)
50.3	PROPOSED GROUND ELEVATION (+ 1300 = NAVD88 ELEVATION)
-1.350	EXISTING MAJOR CONTOUR
-1.351	EXISTING MINOR CONTOUR
-1.350	PROPOSED MAJOR CONTOUR
-1.351	PROPOSED MINOR CONTOUR
- - - - -	BREAK LINE
→	FLOW DIRECTION
HP	HIGH POINT
TC	TOP OF CURB
FL	FLOW LINE
TW	TOP OF WALL
ME	MATCH EXISTING CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS AND REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



△ - TRANSITION FROM FULL HEIGHT CURB TO NO CURB

**DRIVE "A"**  
See Sh. C1.04

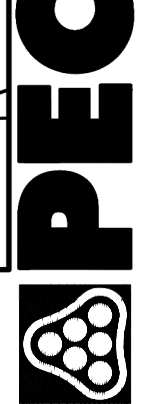
**DRIVE "B"**  
See Sh. C1.05

**HAMPTON INN**  
F.F. ELEV. = 1353.0

DWS100 ELEV. = 1350.70

Sheet 12-16-2016 11:01:00 AM by CSI  
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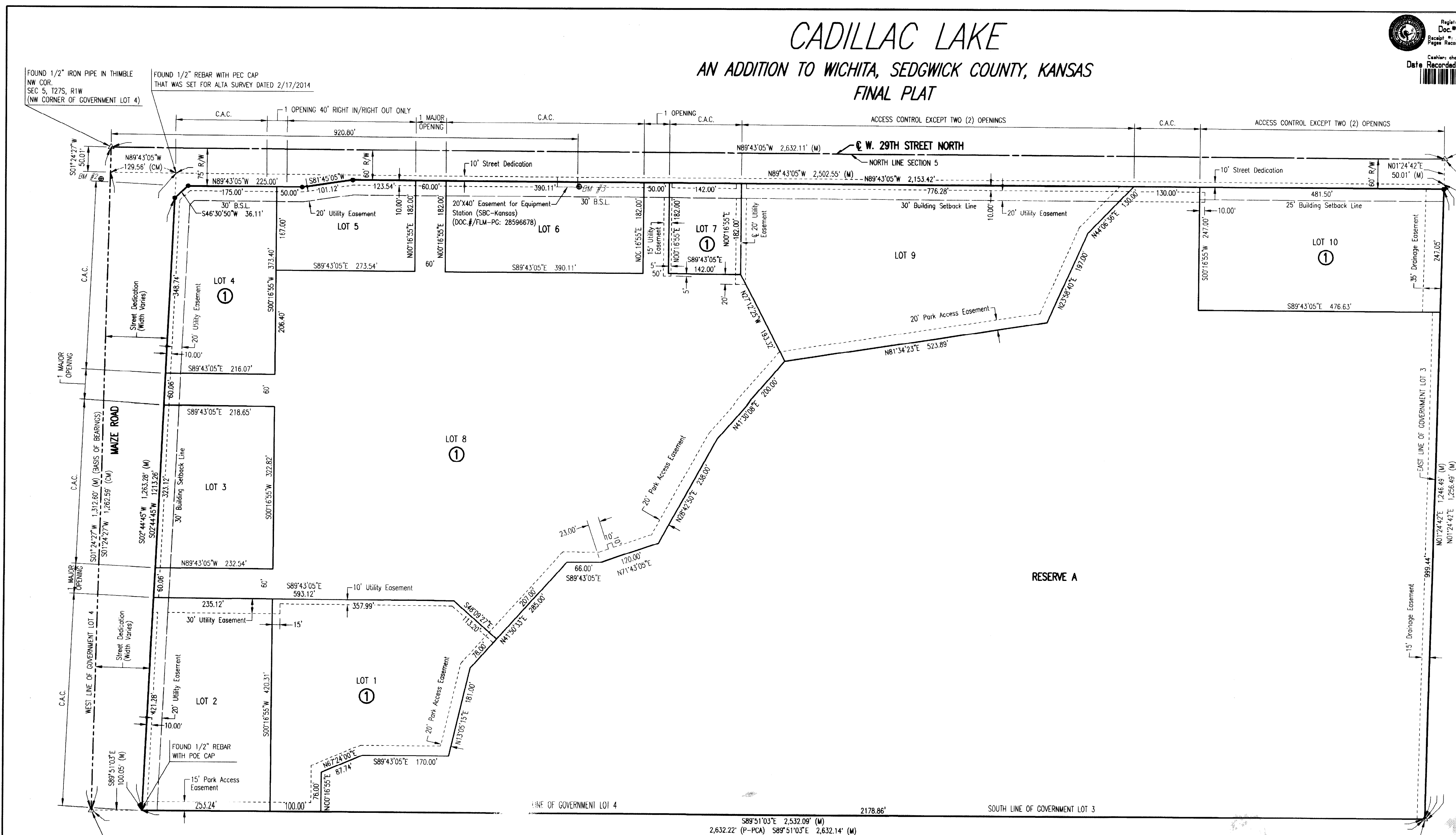
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08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

# CADILLAC LAKE

## AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

### FINAL PLAT

Sedgwick County  
 Register of Deeds - Bill Peck  
 Doc #/Flm-Pg: 25660357  
 Record #: 194921  
 Page Recorded: 1  
 Date Recorded: 09/29/2015 02:07:10 PM  
 Recording Fee: \$23.00



SCALE: 1" = 100'  
 0 100 200

**LEGEND**

- SET 1/2" REBAR w/PEC CAP
- △ SECTION CORNER
- M MEASURED
- CM CALCULATED FROM MEASURED
- P-PCA PLATED MEASUREMENT FROM PEARSON COMMERCIAL ADDITION COMPLETE ACCESS CONTROL
- C.A.C. COMPLETE ACCESS CONTROL

**BENCH MARK LIST** BM #3

BM #1 - CHISELED SQUARE ON TOP OF CURB, SOUTH SIDE OF DRIVE ENTRANCE TO NORTHEAST CORNER OF TARGET PARKING LOT AND SOUTHWEST OF SOUTHWEST CORNER OF GOVERNMENT LOT 4, SEC 5-27-1W. ELEV.=1352.44 (NAVD88)

BM #2 - CHISELED SQUARE AT SOUTHWEST CORNER OF SOUTH HEADWALL FOR RIBC UNDER 29TH STREET, WEST OF MAIZE ROAD (NOT THE CHISELED + AT THE SOUTHWEST CORNER OF SAME HEADWALL). ELEV.=1353.32 (NAVD88)

BM #3 - CHISELED SQUARE ON TOP OF RETAINING WALL AT SOUTHWEST CORNER OF CONCRETE PAD FOR ELECTRIC TRANSFORMER #10105 ON SOUTH SIDE OF 29TH STREET AND 800 FEET EAST OF BIKE PATH ON EAST SIDE OF MAIZE ROAD. ELEV.=1352.01 (NAVD88)

THIS PLAT OF CADILLAC LAKE HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEGDWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS, APPROVED THE 14th DAY OF July, 2015.

*Matthew J. Crosby* CHAIRMAN  
*W. David Barber* INTERIM SECRETARY

REVIEWED IN ACCORDANCE WITH K.S.A. 58-2005 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

*Tricia L. Robello, LS #1246*  
 DEPUTY COUNTY SURVEYOR  
 SEDGWICK COUNTY, KANSAS

THIS PLAT IS APPROVED AND ALL DEDICATIONS SHOWN HEREON ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS 1st DAY OF September, 2015.

*Jeff Lovell* MAYOR  
*Karen Sublett, MMC* CITY CLERK

ENTERED ON TRANSFER RECORD THIS 29th DAY OF September, 2015.  
*Kelly Arnold* COUNTY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT 02:03:10 P.M. ON THE 29 DAY OF September, 2015.  
*Bill Meek* REGISTER OF DEEDS  
*Tonya Buckingham* DEPUTY

**PEC** PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
 303 SOUTH TOPEKA WICHITA, KS 67202  
 316-262-2891 www.pec1.com

STATE OF KANSAS )  
 COUNTY OF SEDGWICK ) SS

WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., ENGINEERS AND SURVEYORS IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY ON THIS 12th DAY OF August, 2015, THAT WE HAVE SURVEYED AND PLATTED CADILLAC LAKE, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, STREETS, A BLOCK, AND A RESERVE, DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION:  
 GOVERNMENT LOTS 3 AND 4 IN THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 27 SOUTH, RANGE 1 WEST OF THE 6TH P.M., SEDGWICK COUNTY, KANSAS, EXCEPT THE NORTH 50 FEET THEREOF.

ALL PUBLIC EASEMENTS LYING WITHIN ABOVE DESCRIBED TRACT OF LAND ARE HEREBY VACATED AND REPLATED BY VIRTUE OF K.S.A. 12-512b, AS AMENDED.

*Ernest Cantu Jr.*  
 AUG 12, 2015

ERNEST CANTU JR., P.E. NO. 1407  
 PROFESSIONAL ENGINEERING CONSULTANTS, P.A.

THIS ADDITION IS SUBJECT TO THE CONDITIONS OF THE CADILLAC LAKE COMMUNITY UNIT PLAN (CUP2015-00005, DP-336).

THE PARK ACCESS EASEMENT AS SHOWN FOR CITY PARKS AND RECREATION DEPARTMENT IS HEREBY GRANTED.

UTILITY EASEMENTS AS SHOWN FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES ARE HEREBY GRANTED.

DRAINAGE EASEMENTS AS SHOWN FOR THE CONSTRUCTION AND MAINTENANCE OF DRAINAGE IMPROVEMENTS ARE HEREBY GRANTED.

ALL ADJUTERS' RIGHT OF ACCESS TO AND FROM MAIZE ROAD AND 29TH STREET NORTH ARE HEREBY GRANTED TO THE APPROPRIATE GOVERNING BODY, PROVIDED HOWEVER THAT LOT 8, BLOCK 1, SHALL HAVE ACCESS TO MAIZE ROAD AT TWO (2) LOCATIONS AND THAT LOTS 4 AND 5, BLOCK 1, SHALL HAVE ONE JOINT ACCESS TO 29TH STREET NORTH (RIGHT IN/RIGHT OUT ONLY); LOT 8 SHALL HAVE ACCESS TO 29TH STREET NORTH AT TWO (2) LOCATIONS; LOT 9, BLOCK 1, SHALL HAVE ACCESS TO 29TH STREET NORTH AT TWO (2) LOCATIONS; AND LOT 10, BLOCK 1, SHALL HAVE ACCESS TO 29TH STREET NORTH AT TWO (2) LOCATIONS. FINAL LOCATIONS TO BE AS APPROVED BY THE CITY ENGINEER. ALL ACCESS OPENINGS ALONG 29TH STREET NORTH ARE TO BE IN ACCORDANCE WITH WICHITA-SEGDWICK COUNTY ACCESS MANAGEMENT STANDARDS.

THE STREET DEDICATIONS ALONG MAIZE ROAD AND 29TH STREET NORTH ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC.

A DRAINAGE PLAN HAS BEEN APPROVED FOR THIS PLAT. ALL DRAINAGE EASEMENTS, RIGHTS-OF-WAY OR RESERVES SHALL REMAIN AT ESTABLISHED GRADES AND UNOBTSTRUCTED TO ALLOW FOR THE CONVEYANCE OF STORMWATER, UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

MINIMUM OPENING	ELEVATION (NAVD88)
BLOCK 1	1352.7
LOTS 1 - 10	1352.7

FEMA FLOODPLAIN AND REGULATORY FLOODWAY BOUNDARIES ARE SUBJECT TO PERIODIC CHANGE, AND SUCH CHANGE MAY AFFECT THE INTENDED LAND USE WITHIN THE SUBDIVISION.

RESERVE A IS HEREBY PLATTED FOR OPEN SPACE, WETLANDS, CITY PARK AND ASSOCIATED AMENITIES, PEDESTRIAN TRAILS, DRAINAGE, STORMWATER DETENTION, LANDSCAPING, AND UTILITIES CONFINED TO EASEMENTS. RESERVE A SHALL BE OWNED AND MAINTAINED BY CADILLAC LAKE, LLC, ITS SUCCESSORS OR ASSIGNS.

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, STREETS, A BLOCK, AND A RESERVE, THE SAME TO BE KNOWN AS CADILLAC LAKE, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

OWNER: CADILLAC LAKE, LLC

*Jerry Jones* VICE PRESIDENT

STATE OF KANSAS )  
 COUNTY OF SEDGWICK ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF August, 2015, BY JERRY JONES, VICE PRESIDENT OF CADILLAC LAKE, LLC.

*Sarah E. Hatrup* NOTARY PUBLIC  
 MY APPOINTMENT EXPIRES: 12/16/16

LEGACY BANK, HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY, DO HEREBY CONSENT TO THE PLATING OF CADILLAC LAKE, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

*Frank A. Suelletrop*  
 FRANK SUELLETROP, PRESIDENT

STATE OF KANSAS )  
 COUNTY OF SEDGWICK ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 12th DAY OF August, 2015, BY FRANK SUELLETROP, PRESIDENT OF LEGACY BANK.

*Cathy L. White* NOTARY PUBLIC  
 MY APPOINTMENT EXPIRES: 2-1-2018

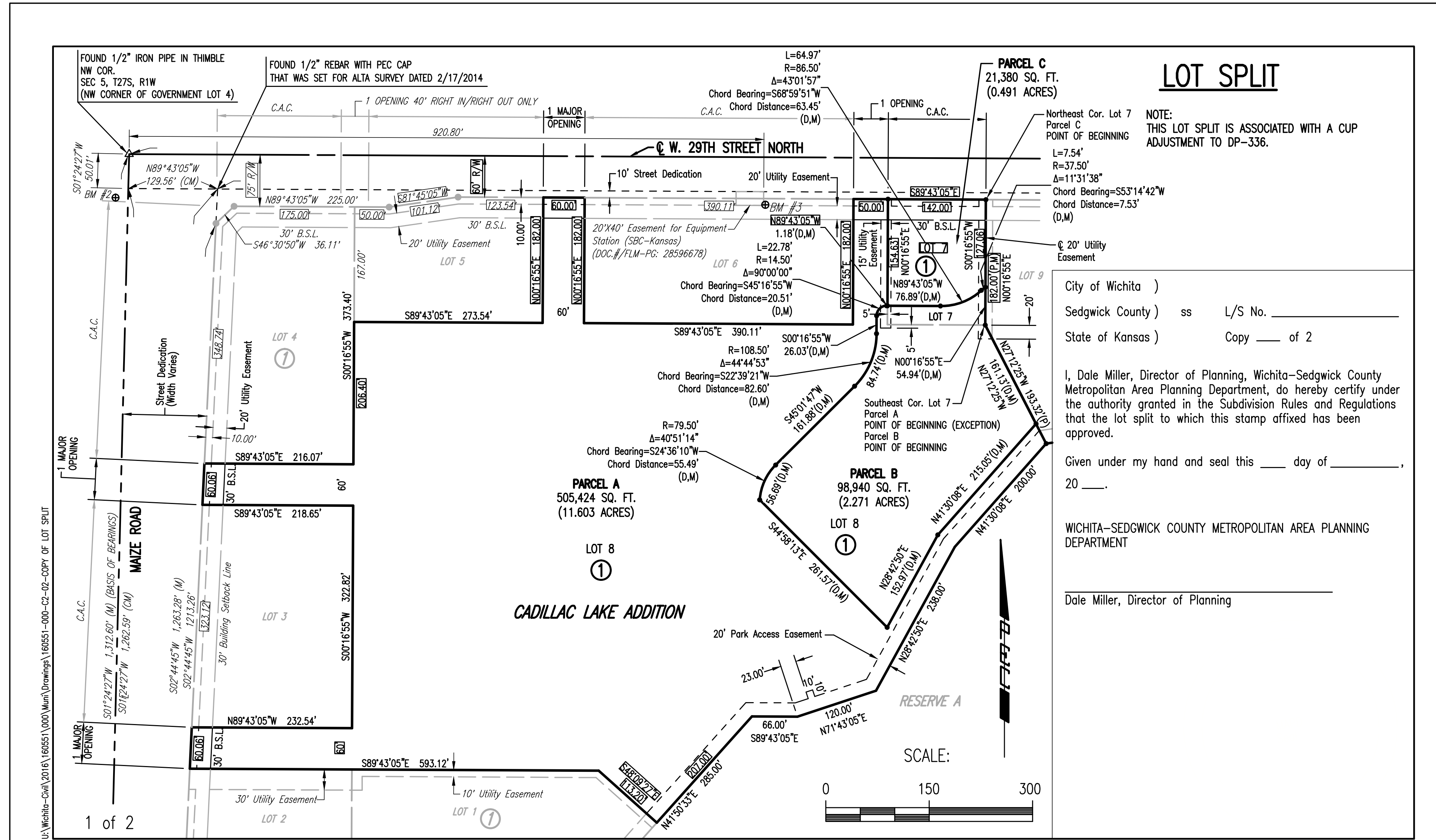
HAMPTON INN  
 CADILLAC LAKE  
 WICHITA, KANSAS



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 345 Riverview Wichita, KS 67203  
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 CONTACT: PEC  
 DRAWN: PEC  
 CHECKED: PEC  
 PROJECT NUMBER:  
**15433**  
 SHEET TITLE:  
 COPY OF PLAT  
 SHEET NUMBER:  
**C2.01** OF: X

SHEET 08-27-2015, 1:05:59 PM BY CSI  
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 U:\Wichita-Cadillac Lake\2015\160551\0001\Main\Drawings\160551-0001-02-01-COPY OF PLAT



FOUND 1/2" IRON PIPE IN THIMBLE NW COR. SEC. 5, T27S, R11W (NW CORNER OF GOVERNMENT LOT 4)

FOUND 1/2" REBAR WITH PEC CAP THAT WAS SET FOR ALTA SURVEY DATED 2/17/2014

### LOT SPLIT

NOTE: THIS LOT SPLIT IS ASSOCIATED WITH A CUP ADJUSTMENT TO DP-336.

City of Wichita )  
Sedgwick County ) ss L/S No. \_\_\_\_\_  
State of Kansas ) Copy \_\_\_\_ of 2

I, Dale Miller, Director of Planning, Wichita-Sedgwick County Metropolitan Area Planning Department, do hereby certify under the authority granted in the Subdivision Rules and Regulations that the lot split to which this stamp affixed has been approved.

Given under my hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING DEPARTMENT

Dale Miller, Director of Planning

### LEGAL DESCRIPTION

For Parcel 'A'  
Lot 8, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas,  
EXCEPT a Tract described as follows:  
BEGINNING at the southeast corner of Lot 7, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas; thence bearing North 00°16'55" East, along the east line of said Lot 7, a distance of 54.94 feet to a non-tangent curve to the left; thence along said curve to the left, having a radius of 37.50 feet, a chord bearing of South 53°14'42" West and a chord distance of 7.53 feet, through a central angle of 11°31'38" for an arc distance of 7.54 feet to a point of Reverse curvature; thence in a westerly direction along a tangent curve turning to the right, having a radius of 86.50 feet, a chord bearing of South 68°59'51" West and a chord distance of 63.45 feet, through a central angle of 43°01'57" for an arc distance of 64.97 feet; thence bearing North 89°43'05" West, a distance of 76.89 feet to a point on the west line of said Lot 7, said point being 27.37 feet north of the southwest corner of said Lot 7, said point also being on the boundary of Lot 8, Block 1, of said Cadillac Lake; thence continuing bearing North 89°43'05" West, a distance of 1.18 feet to a tangent curve to the left; thence along said curve to the left, having a radius of 14.50 feet, a chord bearing of South 45°16'55" West and a chord distance of 20.51 feet, through a central angle of 90°00'00" for an arc distance of 22.78 feet; thence bearing South 00°16'55" West, a distance of 26.03 feet to a tangent curve to the right; thence along said curve to the right, having a radius of 108.50 feet, a chord bearing of South 22°39'21" West and a chord distance of 82.60 feet, through a central angle of 44°44'53" for an arc distance of 84.74 feet; thence bearing South 45°01'47" West, a distance of 161.88 feet to a tangent curve to the left; thence along said curve to the left, having a radius of 79.50 feet, a chord bearing of South 24°36'10" West and a chord distance of 55.49 feet, through a central angle of 40°51'14" for an arc distance of 56.69 feet; thence bearing S44°58'13" East, a distance of 261.57 feet; thence bearing North 28°42'50" East, parallel with and 30.00 feet northwesterly (measured perpendicularly) from the southeasterly boundary of said Lot 8, a distance of 152.97 feet; thence bearing North 41°30'08" East, parallel with and 30.00 feet northwesterly (measured perpendicularly) from the southeasterly boundary of said Lot 8, a distance of 215.05 feet to the northeasterly boundary of said Lot 8; thence bearing North 27°12'25" West, along the northeasterly boundary of said Lot 8, a distance of 161.13 feet to the POINT OF BEGINNING. (said Parcel 'A' containing 11.603 acres, more or less)

### LEGAL DESCRIPTION

For Parcel 'B'  
A Tract of land in Lot 7 and Lot 8, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas,  
described as follows:  
BEGINNING at the southeast corner of Lot 7, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas; thence bearing North 00°16'55" East, along the east line of said Lot 7, a distance of 54.94 feet to a non-tangent curve to the left; thence along said curve to the left, having a radius of 37.50 feet, a chord bearing of South 53°14'42" West and a chord distance of 7.53 feet, through a central angle of 11°31'38" for an arc distance of 7.54 feet to a point of Reverse curvature; thence in a westerly direction along a tangent curve turning to the right, having a radius of 86.50 feet, a chord bearing of South 68°59'51" West and a chord distance of 63.45 feet, through a central angle of 43°01'57" for an arc distance of 64.97 feet; thence bearing North 89°43'05" West, a distance of 76.89 feet to a point on the west line of said Lot 7, said point being 27.37 feet north of the southwest corner of said Lot 7, said point also being on the boundary of Lot 8, Block 1, of said Cadillac Lake; thence continuing bearing North 89°43'05" West, a distance of 1.18 feet to a tangent curve to the left; thence along said curve to the left, having a radius of 14.50 feet, a chord bearing of South 45°16'55" West and a chord distance of 20.51 feet, through a central angle of 90°00'00" for an arc distance of 22.78 feet; thence bearing South 00°16'55" West, a distance of 26.03 feet to a tangent curve to the right; thence along said curve to the right, having a radius of 108.50 feet, a chord bearing of South 22°39'21" West and a chord distance of 82.60 feet, through a central angle of 44°44'53" for an arc distance of 84.74 feet; thence bearing South 45°01'47" West, a distance of 161.88 feet to a tangent curve to the left; thence along said curve to the left, having a radius of 79.50 feet, a chord bearing of South 24°36'10" West and a chord distance of 55.49 feet, through a central angle of 40°51'14" for an arc distance of 56.69 feet; thence bearing S44°58'13" East, a distance of 261.57 feet; thence bearing North 28°42'50" East, parallel with and 30.00 feet northwesterly (measured perpendicularly) from the southeasterly boundary of said Lot 8, a distance of 152.97 feet; thence bearing North 41°30'08" East, parallel with and 30.00 feet northwesterly (measured perpendicularly) from the southeasterly boundary of said Lot 8, a distance of 215.05 feet to the northeasterly boundary of said Lot 8; thence bearing North 27°12'25" West, along the northeasterly boundary of said Lot 8, a distance of 161.13 feet to the POINT OF BEGINNING. (said Parcel 'B' containing 2.271 acres, more or less)

### LEGAL DESCRIPTION

For Parcel 'C'  
A Tract of land in Lot 7, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas,  
described as follows:  
BEGINNING at the northeast corner of Lot 7, Block 1, Cadillac Lake, an addition to Wichita, Sedgwick County, Kansas; thence bearing South 00°16'55" West, along the east line of said Lot 7, a distance of 127.06 feet to a non-tangent curve to the left; thence along said curve to the left, having a radius of 37.50 feet, a chord bearing of South 53°14'42" West and a chord distance of 7.53 feet, through a central angle of 11°31'38" for an arc distance of 7.54 feet to a point of Reverse curvature; thence in a westerly direction along a tangent curve turning to the right, having a radius of 86.50 feet, a chord bearing of South 68°59'51" West and a chord distance of 63.45 feet, through a central angle of 43°01'57" for an arc distance of 64.97 feet; thence bearing North 89°43'05" West, a distance of 76.89 feet to a point on the west line of said Lot 7, said point being 27.37 feet north of the southwest corner of said Lot 7; thence bearing North 00°16'55" East, along said west line, a distance of 154.63 feet to the northwest corner of said Lot 7; thence bearing South 89°43'05" East, along the north line of said Lot 7, a distance of 142.00 feet to the POINT OF BEGINNING. (said Parcel 'C' containing 0.491 acres, more or less)

### LOT SPLIT

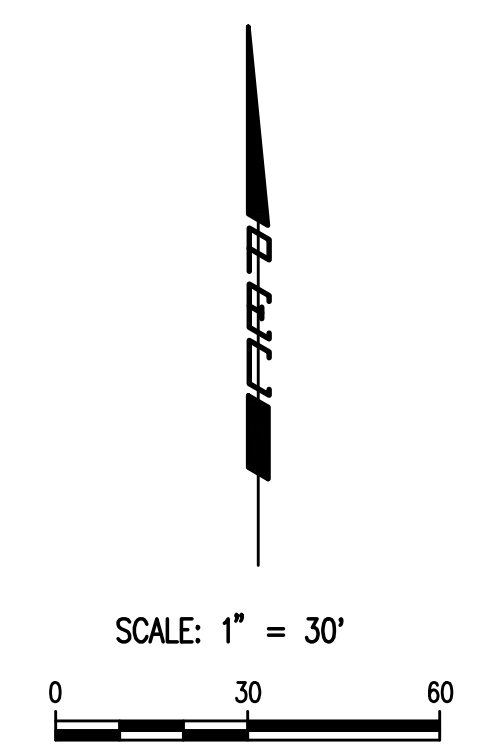
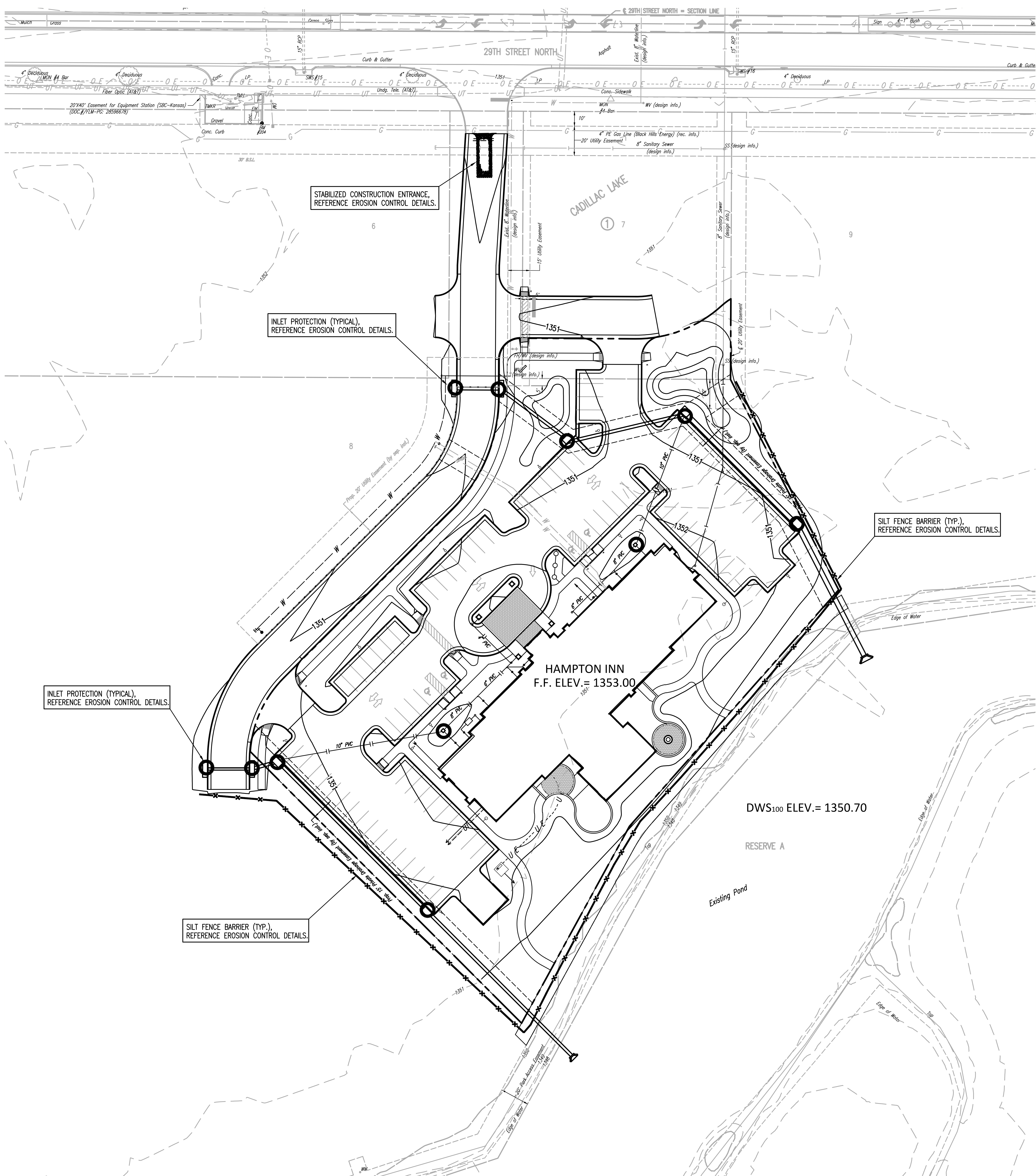
DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	

HAMPTON INN  
CADILLAC LAKE  
WICHITA, KANSAS



LKArchitecture, Inc.®  
345 Riverview Wichita, KS 67203  
T 316.268.0230 F 316.268.0205  
CONTACT: PEC  
DRAWN: PEC  
CHECKED: PEC  
PROJECT NUMBER:  
**15433**  
SHEET TITLE:  
COPY OF LOT SPLIT  
SHEET NUMBER:  
**C2.02** OF: X

DATE	PURPOSE	NO.
08.25.16	30% PROGRESS SET	
09.15.16	60% PROGRESS SET	
10.13.16	90% PROGRESS SET	
11.10.16	BID/PERMIT SET	



- LEGEND**
- PROPOSED INLET PROTECTION
  - STABILIZED CONSTRUCTION ENTRANCE (FINAL LOCATION DETERMINED BY CONTRACTOR)
  - SILT FENCE BARRIERS

**INSPECTION AND MAINTENANCE:**  
 SILT FENCE DITCH CHECKS SHOULD BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 1/2" OR MORE.

INLET PROTECTION (TYPICAL),  
 REFERENCE EROSION CONTROL DETAILS.

INLET PROTECTION (TYPICAL),  
 REFERENCE EROSION CONTROL DETAILS.

STABILIZED CONSTRUCTION ENTRANCE,  
 REFERENCE EROSION CONTROL DETAILS.

SILT FENCE BARRIER (TYP.),  
 REFERENCE EROSION CONTROL DETAILS.

SILT FENCE BARRIER (TYP.),  
 REFERENCE EROSION CONTROL DETAILS.

HAMPTON INN  
 F.F. ELEV. = 1353.00

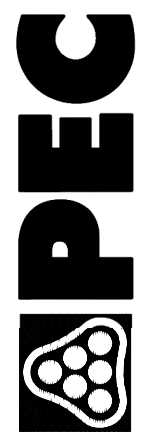
DWS100 ELEV. = 1350.70

RESERVE A

Existing Pond

Sheet 11 - 09 - 2016 2:51:28 PM by CSI  
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 U:\Projects-Civil\2016\160551\000\Main\Drawings\160551-000-C5-01-EROSION CONTROL PLAN

PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
 300 SOUTH TOPEKA WICHITA, KS 67202  
 316-262-2991 www.pec1.com



LKArchitecture, Inc.®  
 345 Riverview Wichita, KS 67203  
 T 316.268.0230 F 316.268.0205

CONTACT: PEC  
 DRAWN: PEC  
 CHECKED: PEC

PROJECT NUMBER:  
**15433**

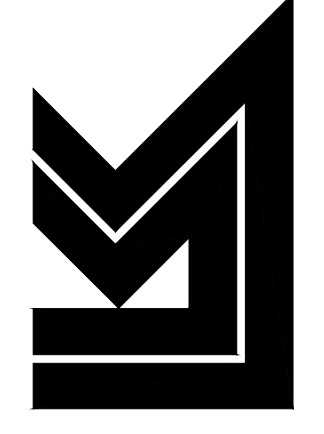
SHEET TITLE:  
 EROSION CONTROL PLAN

SHEET NUMBER:  
**C5.01** OF X

HAMPTON INN  
 CADILLAC LAKE  
 WICHITA, KANSAS



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