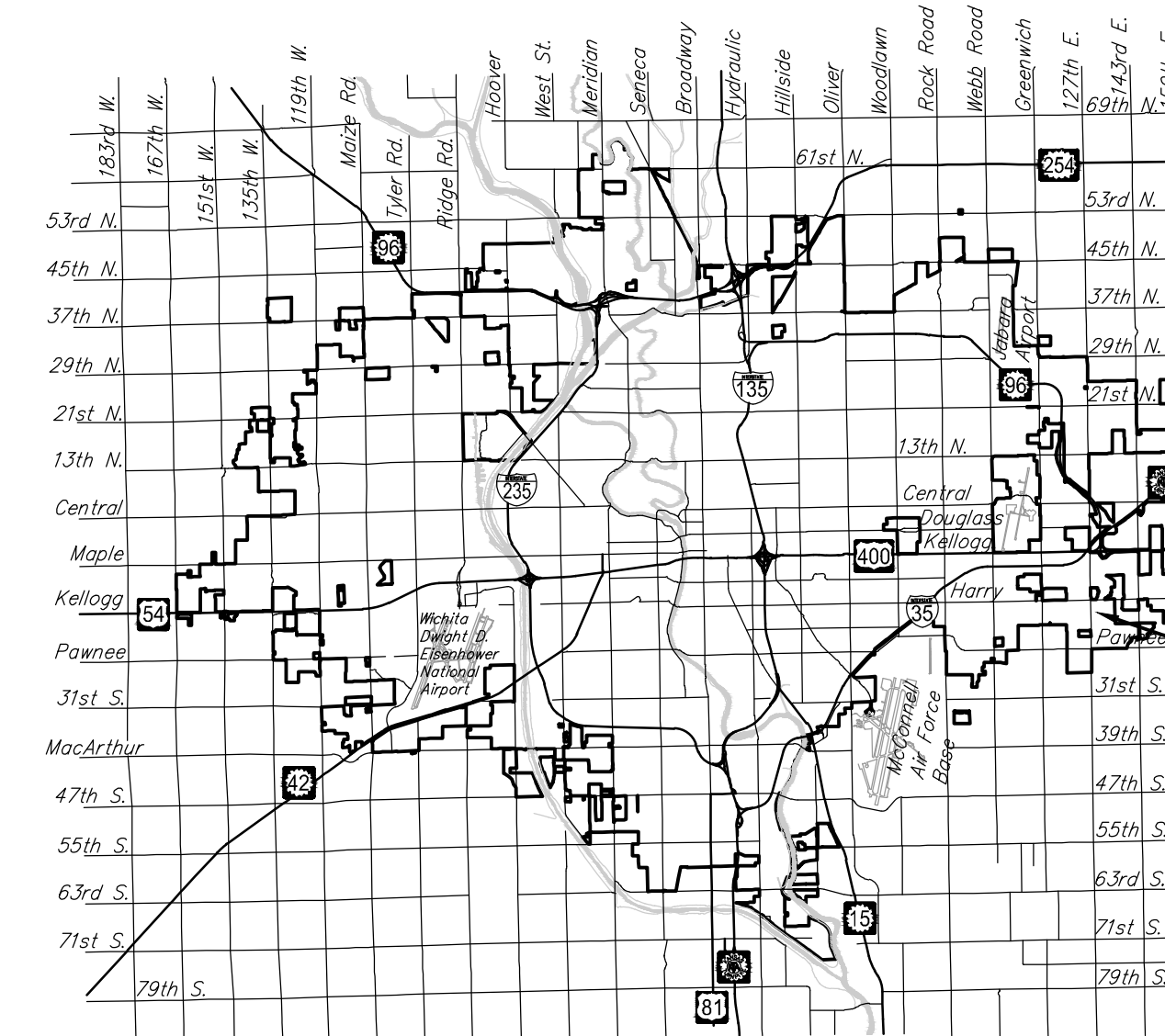


Lateral 14, Main 18, FMC  
**SANITARY SEWER EXTENSION**  
 to serve

**The Paddock at 127th**  
**CITY OF WICHITA, KANSAS**

Gary Janzen, P.E. City Engineer  
 Project Number 468-85171  
 O.C.A. NO. 744440

Mies Construction - Contractor  
 J. Wagner - City of Wichita, Field Project Engineer  
 Completion Date: 2/28/2018  
 pdf (ss riser): 3/1/2018 apr



Vicinity Map

PROJECT LOCATION

**GENERAL NOTES:**

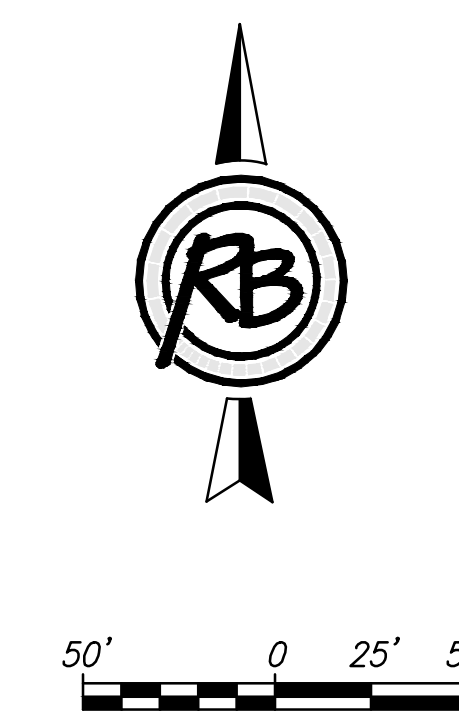
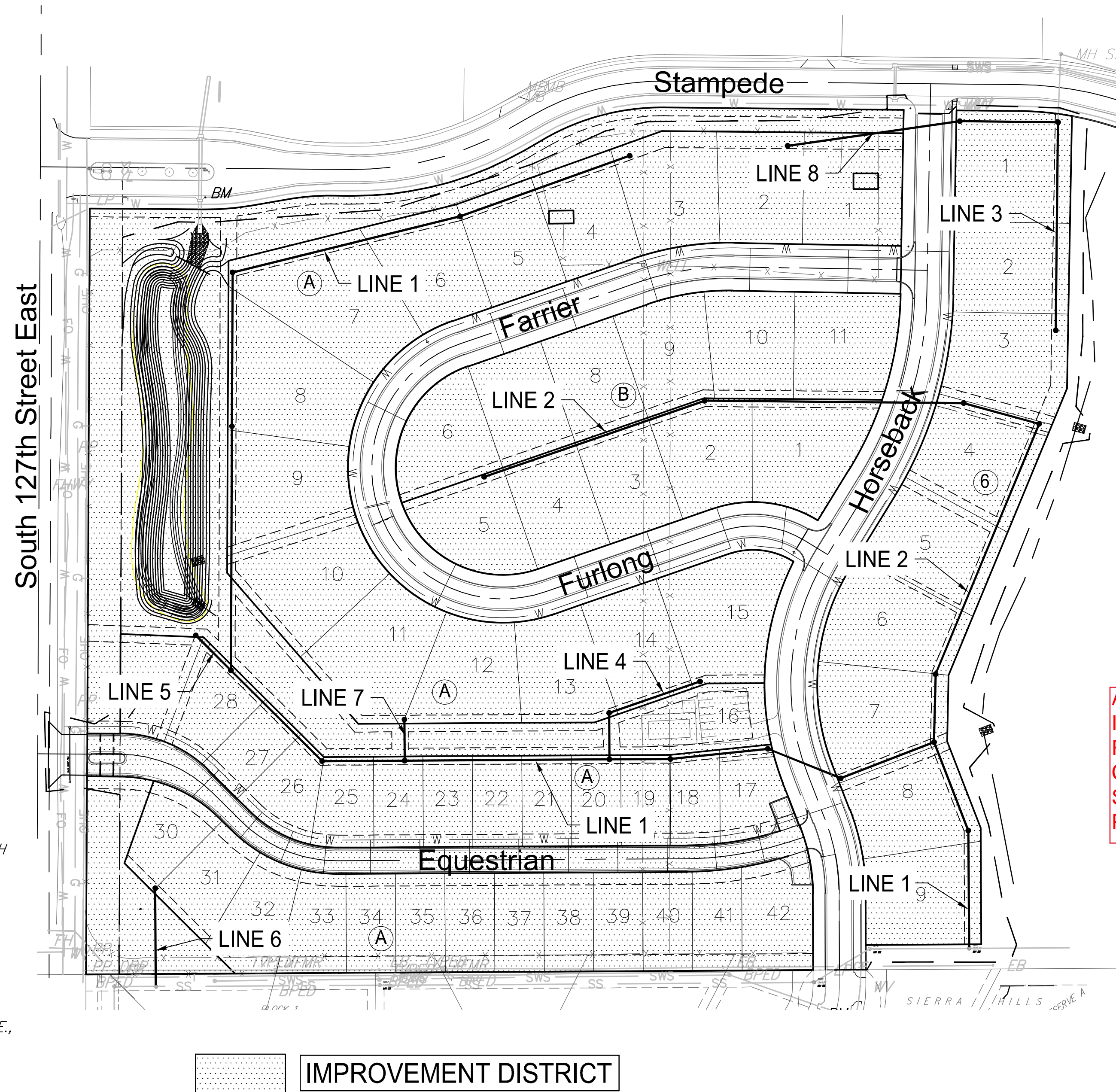
- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 AT&T (316)-268-2931  
 Butler Rural Electric Coop (316)-321-9600  
 Cox Communications (316)-260-7195  
 Kansas Gas Service (ONE Gas) (316)-832-3126  
 Westar Energy (316)-261-6554  
 Phillips 66 Pipeline (580)-767-3324  
 Wichita Water Utilities (316)-262-6000
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibly.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- The Contractor shall protect from damage and support existing utilities through constructions as approved by the utility owner and the Engineer at the contractors expense.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- All stubs and plugged pipes shall be located with green plastic tape in the same manner as risers.

- Connecting to Existing Manholes:  
 Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where connection to an existing manhole that does not have an existing stub or the stub is unusable due to elevation grade or alignment, the Contractor shall bore cut into existing manhole wall to make connection using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost to connecting to existing manholes is incidental to the project.
- Contractor shall provide positive drainage away from all manhole covers.
- The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.
- The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractors proposed method for maintaining sewage flow shall be submitted and approved by the Sewer Maintenance Division (316-268-4073) prior to starting and by-passing of sewage flows.
- Any over excavation from manhole and pipe removal shall be backfilled with AB-3 compacted to 90-95% ASTM D698.
- No construction traffic shall enter Stampede Street.

**Benchmarks**

BENCHMARK:  
 POINT #30  
 CHISELED SQUARE ON THE TOP OF CURB AT THE SOUTH SIDE OF A CURB INLET ON THE WEST SIDE OF HORSEBACK, 51' S. OF THE NORTH LINE OF LOT 21, BLOCK 1, SIERRA HILLS,  
 ELEVATION = 1344.02 (NAVD88, G12A)

BENCHMARK:  
 POINT #31  
 CHISELED SQUARE ON THE TOP OF CURB AT THE EAST SIDE OF A CURB INLET ON THE SOUTH SIDE OF STAMPEDE, 200' E. OF THE CENTERLINE OF 127TH ST. E.,  
 ELEVATION = 1340.83 (NAVD88, G12A)

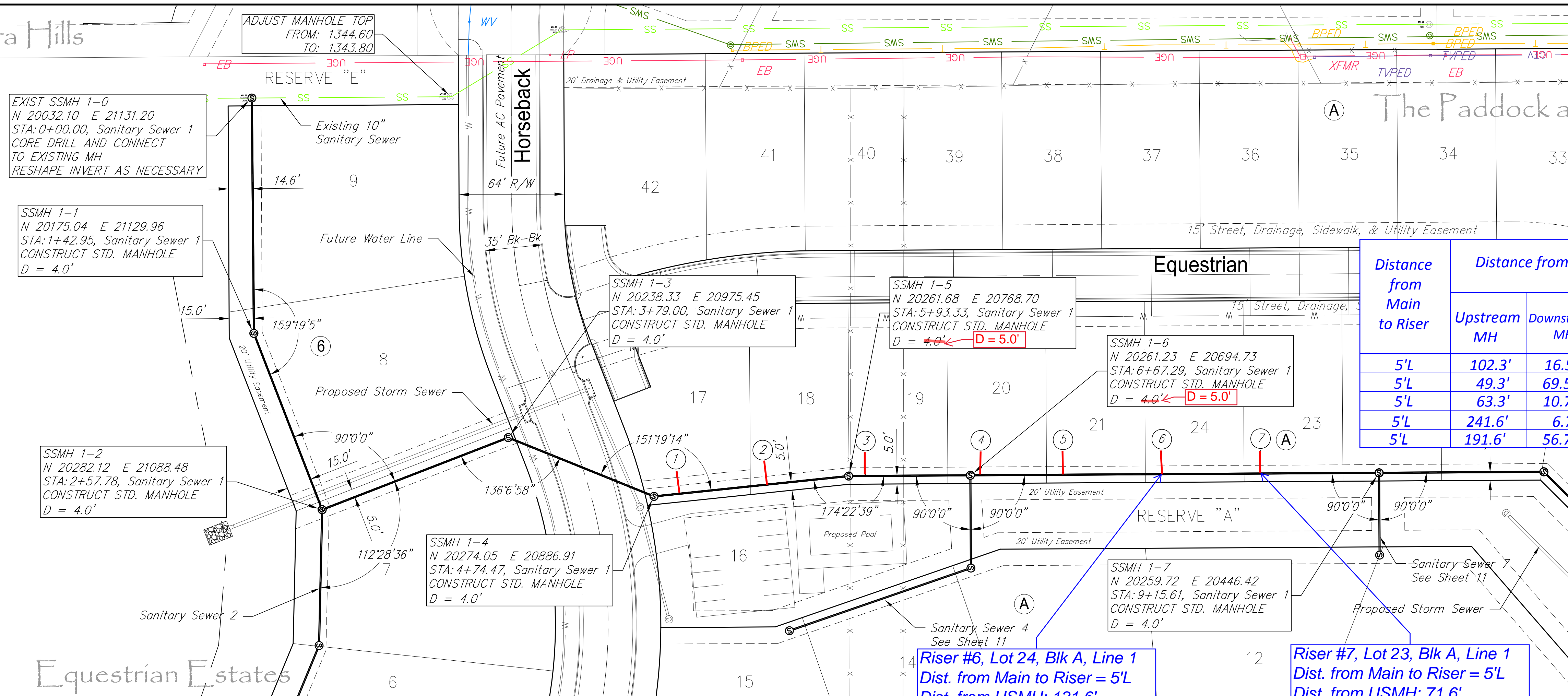
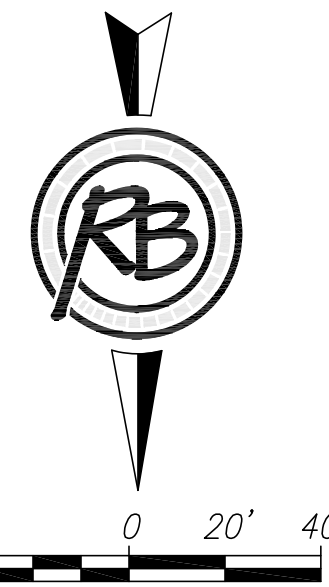


AS BUILT PLANS  
 Inspector: Dakota Zimmerman  
 Ruggles & Bohm, P.A.  
 Contractor: Mies Construction  
 Super: Albert Mies  
 PDF By: DGZ 10/06/20217

Sheet Index	
Sheet	Title
1	SS Titlesheet
2	Pre-Cast SS MH
3	MH Frame & Cover
4	Vertical Riser
5	Sanitary 1 (1)
6	Sanitary 1 (2)
7	Sanitary 1 (3)
8	Sanitary 2 (1)
9	Sanitary 2 (2)
10	Sanitary 3
11	Sanitary 4 & 7
12	Sanitary 5 & 6
13	Sanitary 8
14	BOC
15	Silt Fc
16	Straw Bale
17	SIP
18	SDP
19	Erosion Control Plan
20	Bubble Map
21	Point Tables
22	Final Plat

May 2017

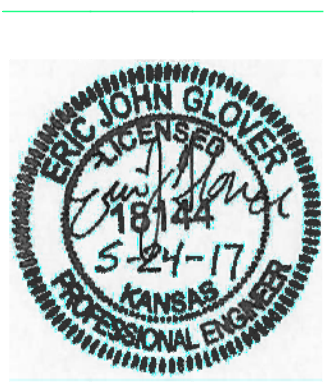




Distance from Main to Riser	Distance from	
	Upstream MH	Downstream MH
5'L	102.3'	16.53'
5'L	49.3'	69.53'
5'L	63.3'	10.7'
5'L	241.6'	6.7'
5'L	191.6'	56.7'

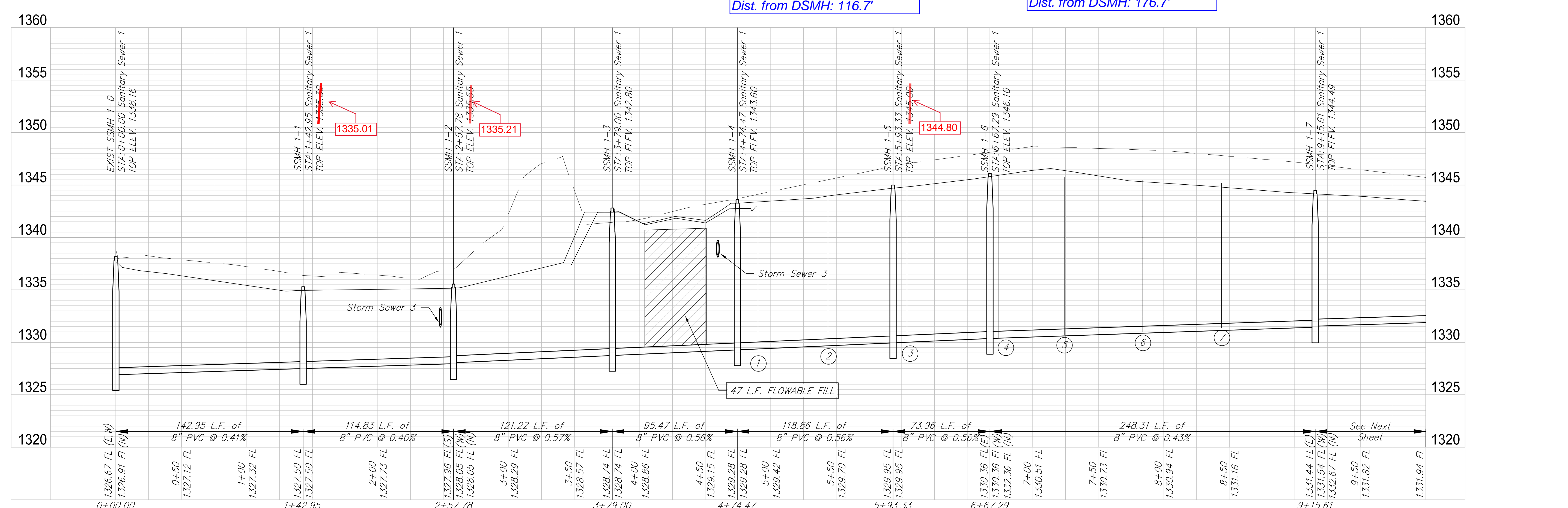
NO.	TYPE	SERVING				FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROX. LENGTH 4" PIPE	
						VERTICAL	HORIZONTAL
1	8"x4" Tee	17	A	1	4+91 L	13.4'	5'
2	8"x4" Tee	18	A	1	5+44 L	14.2'	5'
3	8"x4" Tee	19	A	1	6+04 L	15.1'	5'
4	8"x4" Tee	20	A	1	6+74 L	15.5'	5'
5	8"x4" Tee	21	A	1	7+24 L	15.0'	5'
6	8"x4" Tee	22	A	1	7+84 L	14.4'	5'
7	8"x4" Tee	23	A	1	8+44 L	13.8'	5'

**AS BUILT PLANS**  
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Riser #6, Lot 24, Blk A, Line 1  
 Dist. from Main to Riser = 5'L  
 Dist. from USMH: 131.6'  
 Dist. from DSMH: 116.7'

Riser #7, Lot 23, Blk A, Line 1  
 Dist. from Main to Riser = 5'L  
 Dist. from USMH: 71.6'  
 Dist. from DSMH: 176.7'

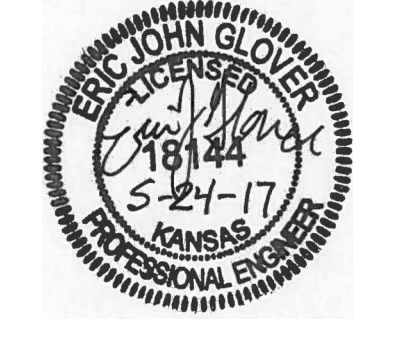
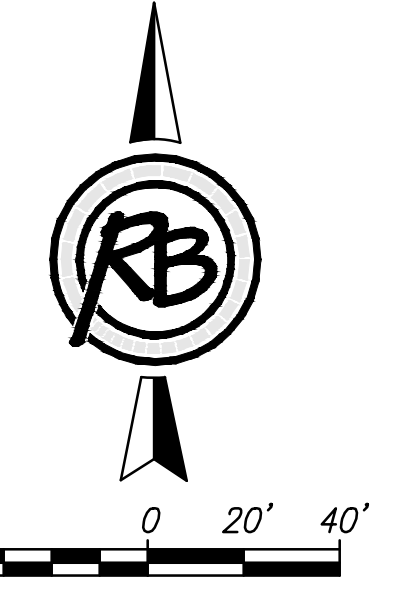
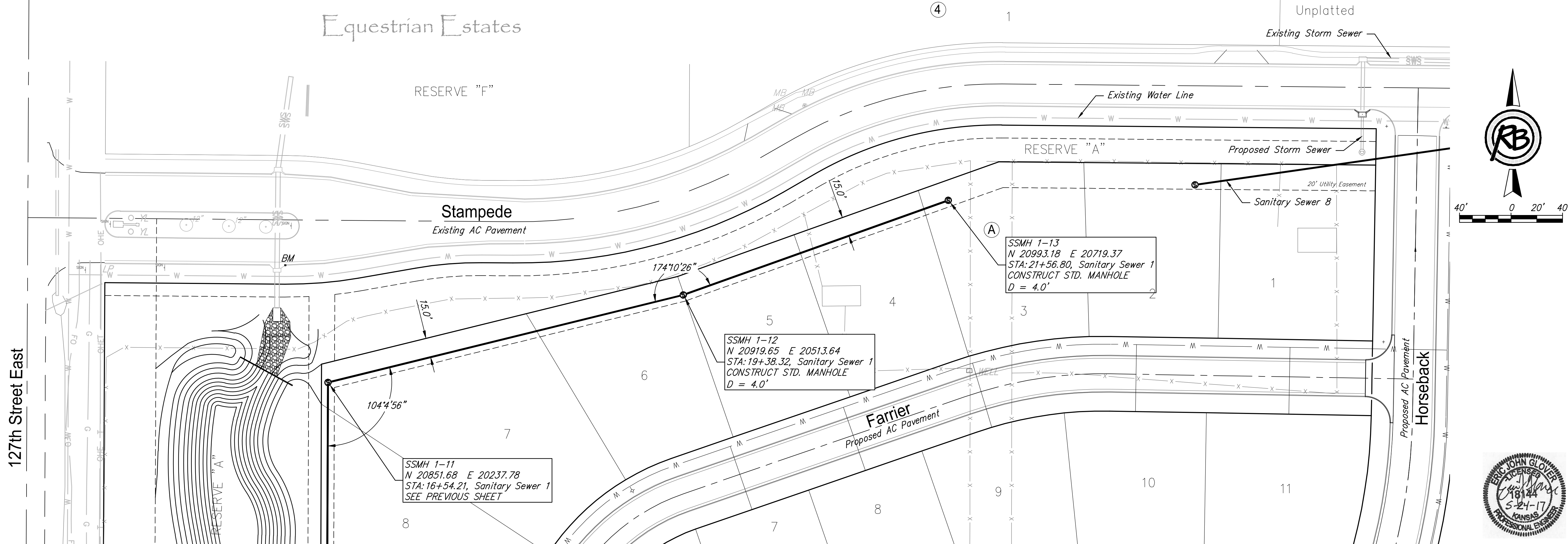


REVISION	DATE
REVISED	April 2017
UTILITY	April 2017
DESIGN	May 2017
DESIGN	CMB, KWL
DRAWING	CDJ
PROJECT NUMBER	468-85171
DRAWING FILE	06 - Sanitary Sewer 1-1

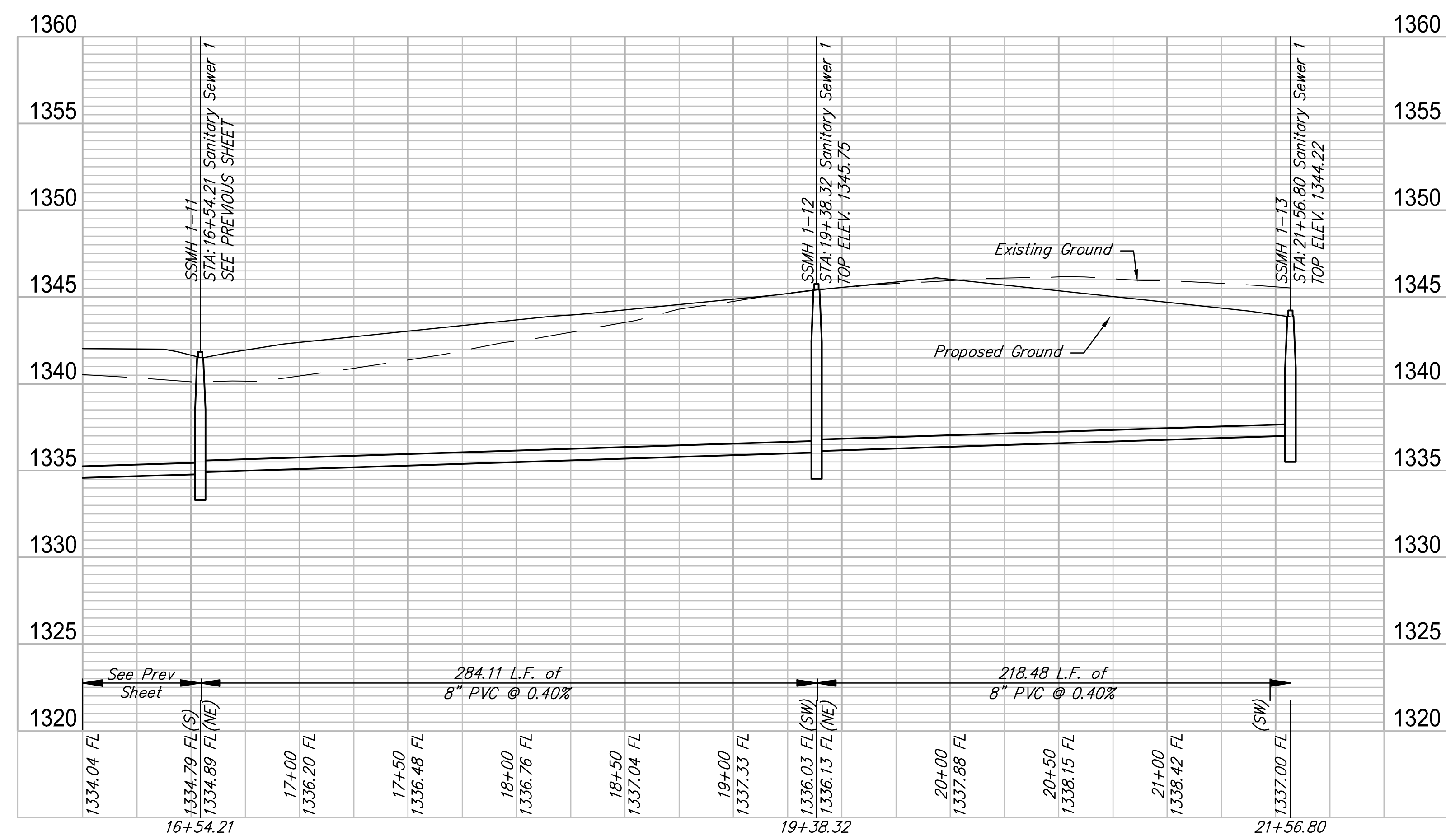
The Paddock at 127th  
**Sanitary 1 (1)**  
 Wichita, Kansas



# Equestrian Estates



**AS BUILT PLANS**  
 Inspector: Dakota Zimmerman  
 Ruggles & Bohm, P.A.  
 Contractor: Mies Construction  
 Super: Albert Mies  
 PDF By: DGZ 10/06/20217

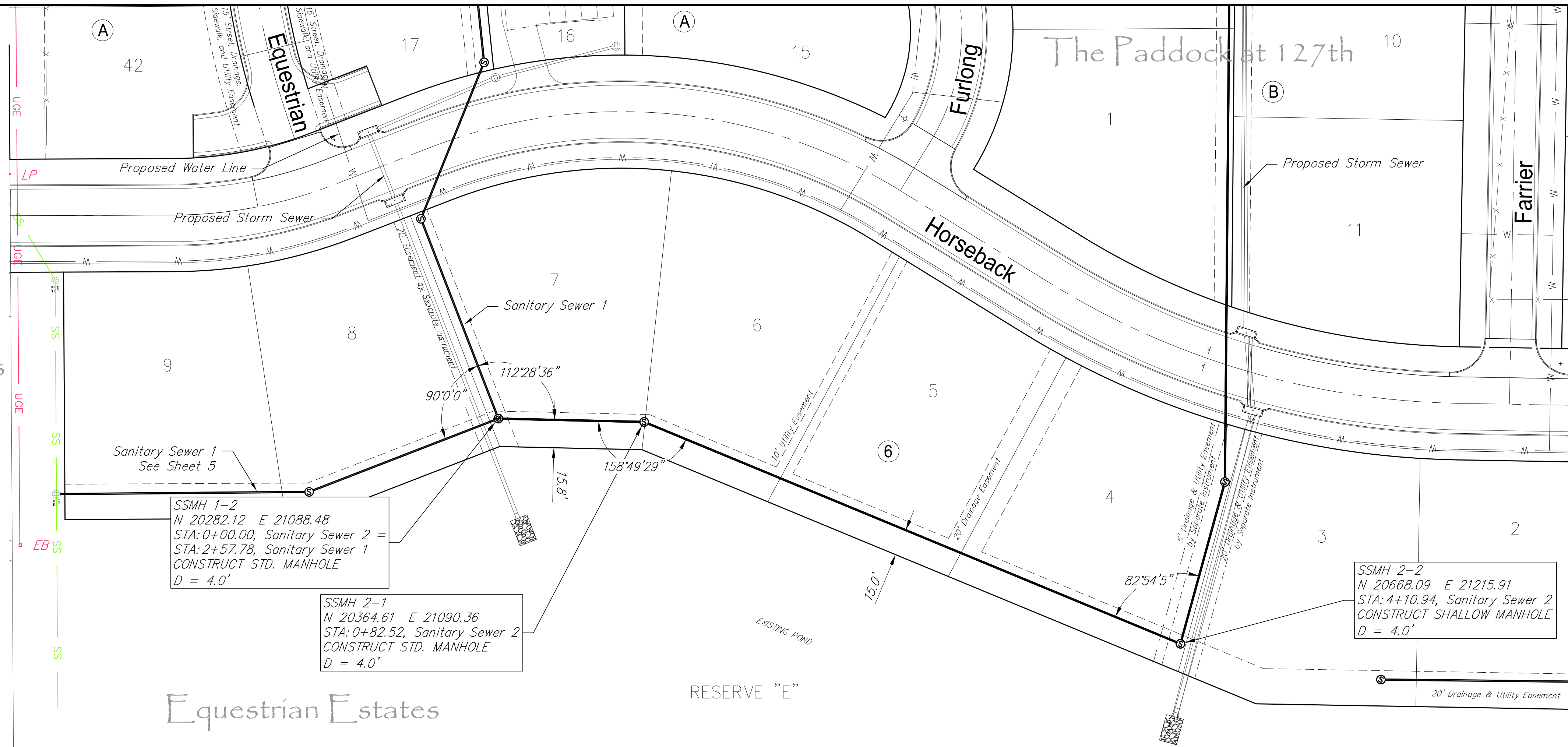


REVISION	DATE
REVIEW	April 2017
DATE	May 2017
DESIGN	CMB, KWL
DRAWN	CDJ

PROJECT NUMBER	468-85171
DRAWING FILE	07 - Sanitary Sewer 1-3

**The Paddock at 127th  
 Sanitary 1 (3)**  
 Wichita, Kansas

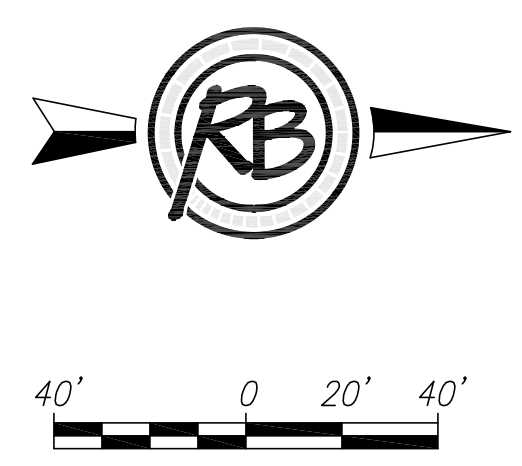
Sierra Hills Addition



SSMH 1-2  
N 20282.12 E 21088.48  
STA: 0+00.00, Sanitary Sewer 2 =  
STA: 2+57.78, Sanitary Sewer 1  
CONSTRUCT STD. MANHOLE  
D = 4.0'

SSMH 2-1  
N 20364.61 E 21090.36  
STA: 0+82.52, Sanitary Sewer 2  
CONSTRUCT STD. MANHOLE  
D = 4.0'

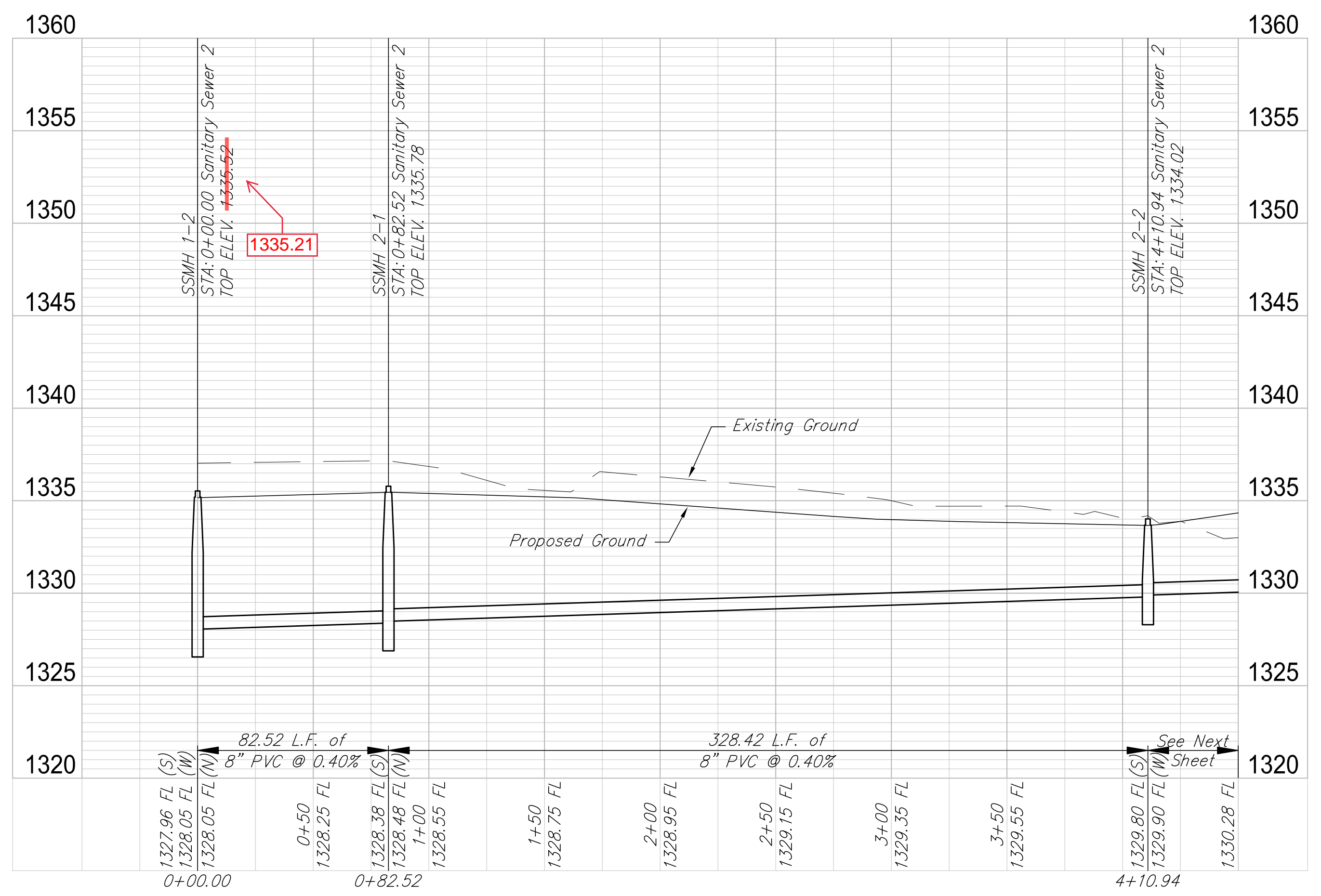
SSMH 2-2  
N 20668.09 E 21215.91  
STA: 4+10.94, Sanitary Sewer 2  
CONSTRUCT SHALLOW MANHOLE  
D = 4.0'



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1501 WEST 19TH AVENUE, SUITE 100, WICHITA, KANSAS 67202-1800  
PH: 316.261.1100 | WWW.RUGGLESANDBOHM.COM



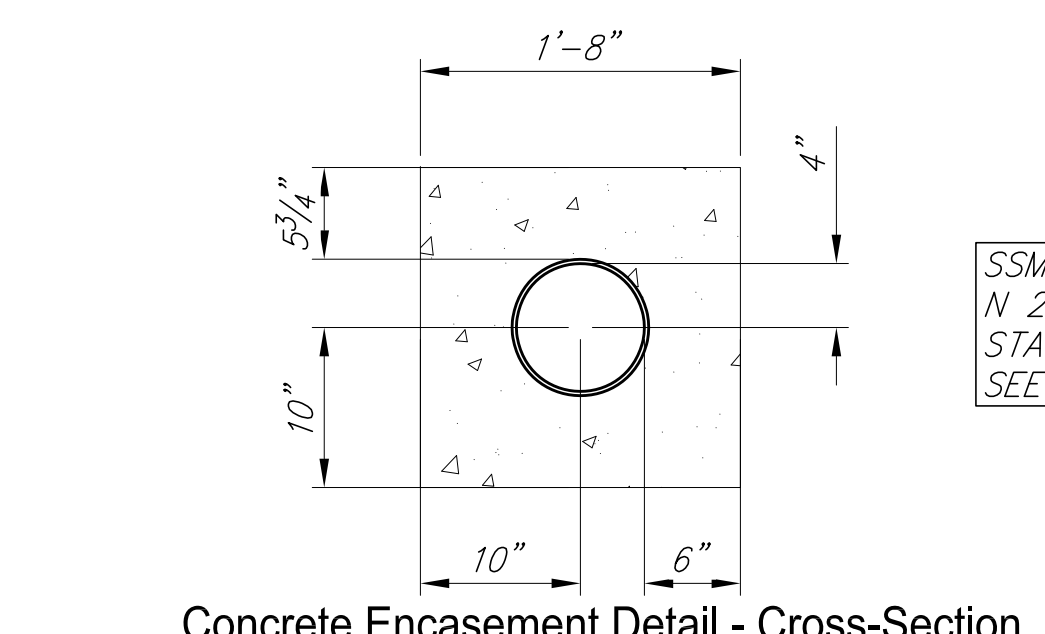
REVISIONS  
REVISED BY DATE  
April 2017  
CMB, KWL  
CDJ

PROJECT NUMBER  
468-45171  
DRAWING FILE  
08 - Sanitary Sewer 2-1

The Paddock at 127th  
**Sanitary 2 (1)**  
Wichita, Kansas

RB JOB  
4858E  
SHEET  
**8**  
OF  
**22**

SEWER SERVICE TABLE										
NO.	TYPE	SERVING			FOR INFORMATION ONLY		Distance from Main to Riser	Distance from		
		LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROX. LENGTH 4" PIPE		Upstream MH	Downstream MH	
13	8"x4" Tee	11	B	2	6+76 R	5.8'	13'	13'Rt.	144'	170'
14	8"x4" Tee	10	B	2	7+43 R	5.9'	13'	13'Rt.	77'	237'



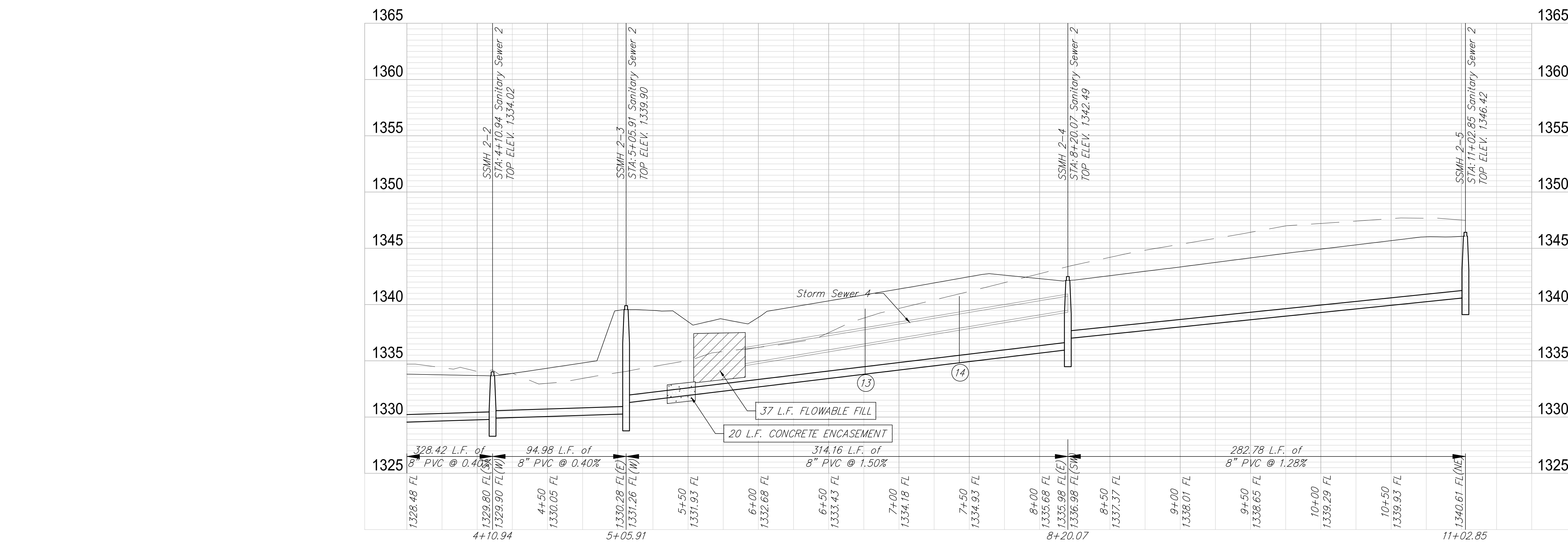
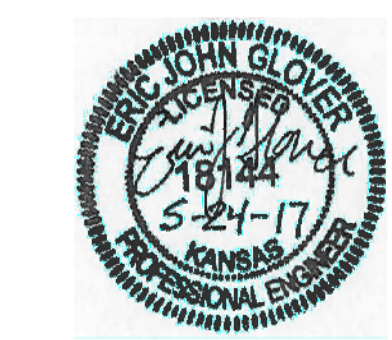
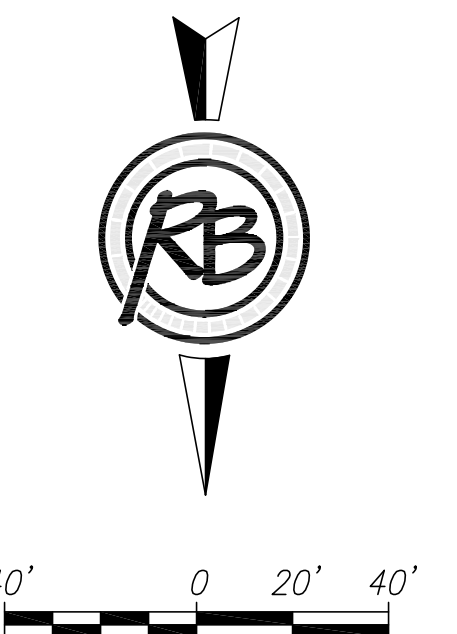
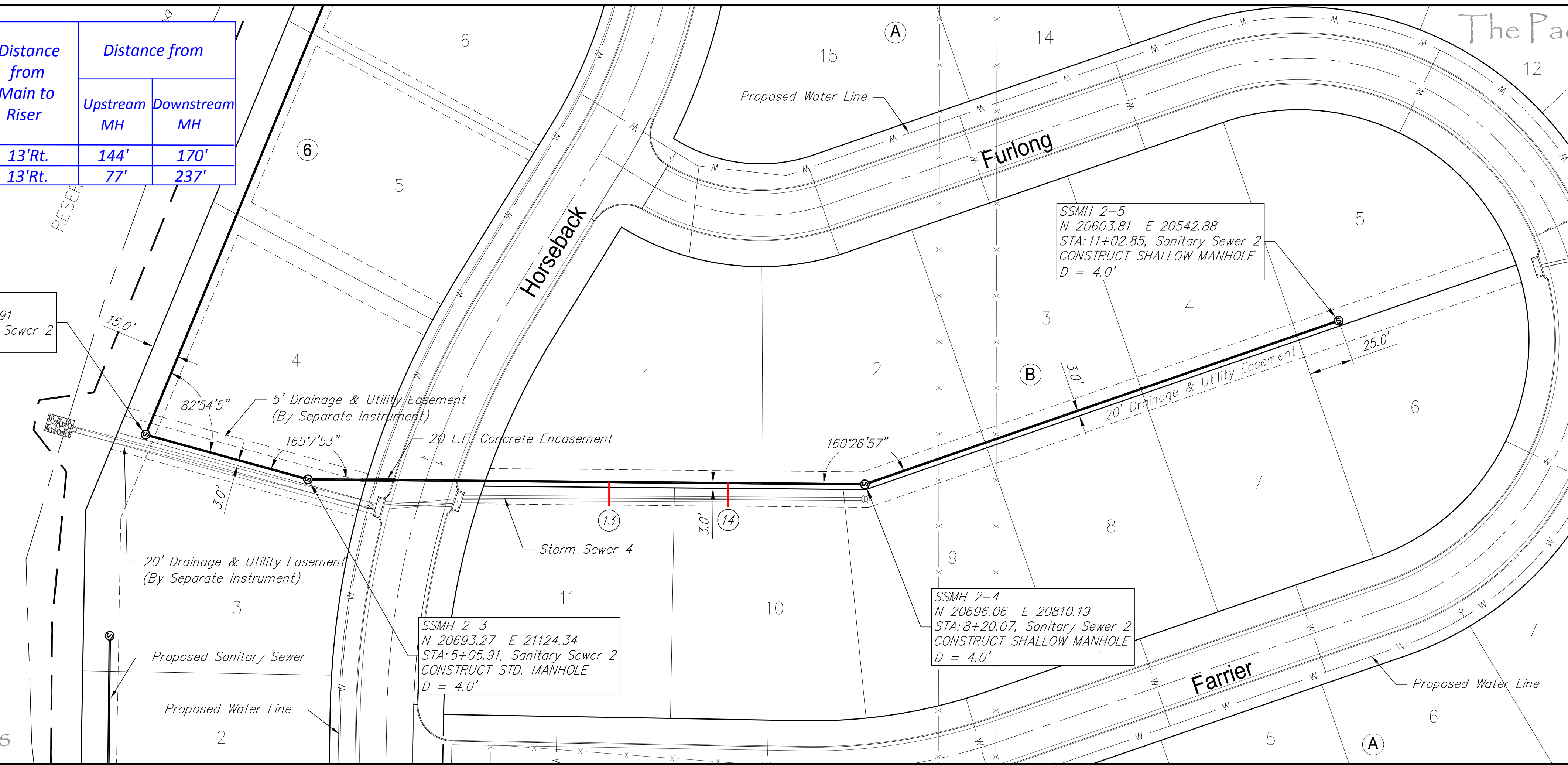
SSMH 2-2  
N 20668.09 E 21215.91  
STA: 4+10.94, Sanitary Sewer 2  
SEE PREVIOUS SHEET

SSMH 2-5  
N 20603.81 E 20542.88  
STA: 11+02.85, Sanitary Sewer 2  
CONSTRUCT SHALLOW MANHOLE  
D = 4.0'

SSMH 2-4  
N 20696.06 E 20810.19  
STA: 8+20.07, Sanitary Sewer 2  
CONSTRUCT SHALLOW MANHOLE  
D = 4.0'

SSMH 2-3  
N 20693.27 E 21124.34  
STA: 5+05.91, Sanitary Sewer 2  
CONSTRUCT STD. MANHOLE  
D = 4.0'

Equestrian Estates

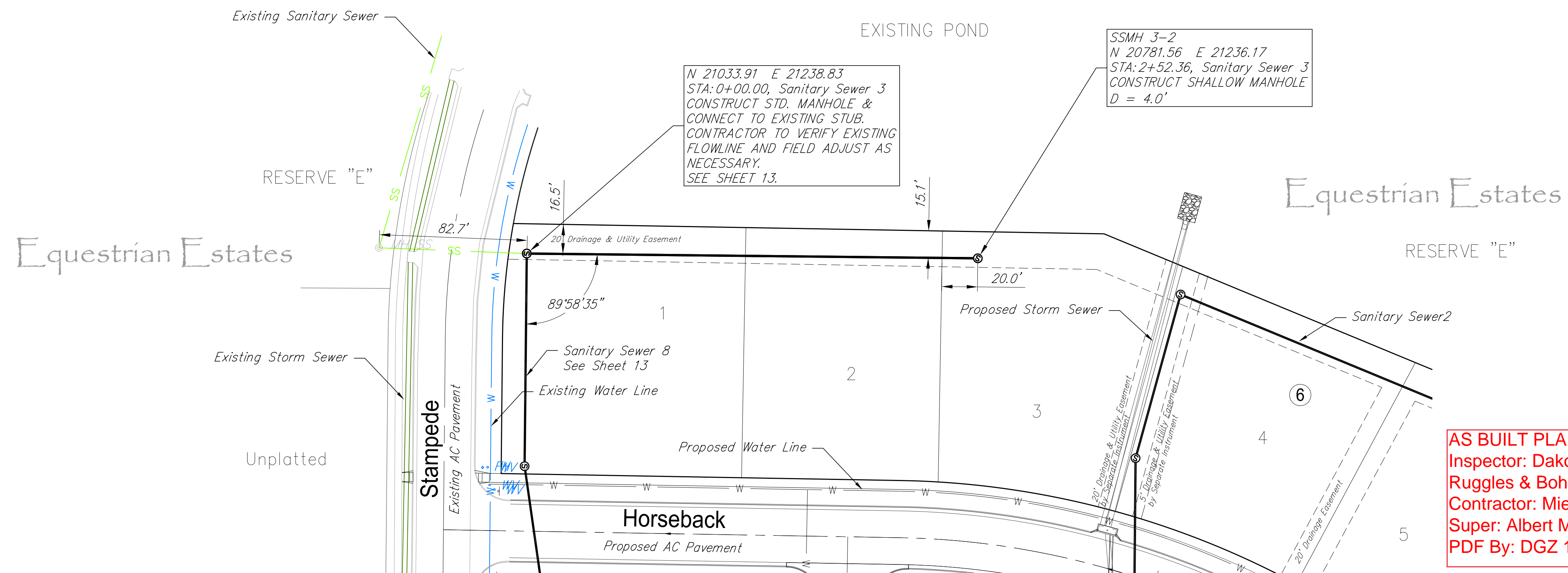
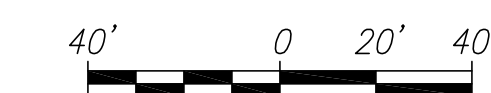
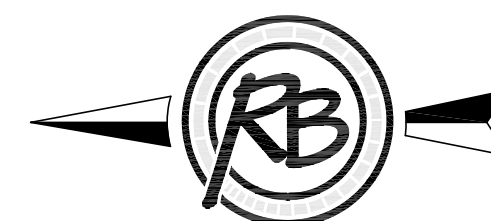


**AS BUILT PLANS**  
Inspector: Dakota Zimmerman  
Ruggles & Bohm, P.A.  
Contractor: Mies Construction  
Super: Albert Mies  
PDF By: DGZ 10/06/20217

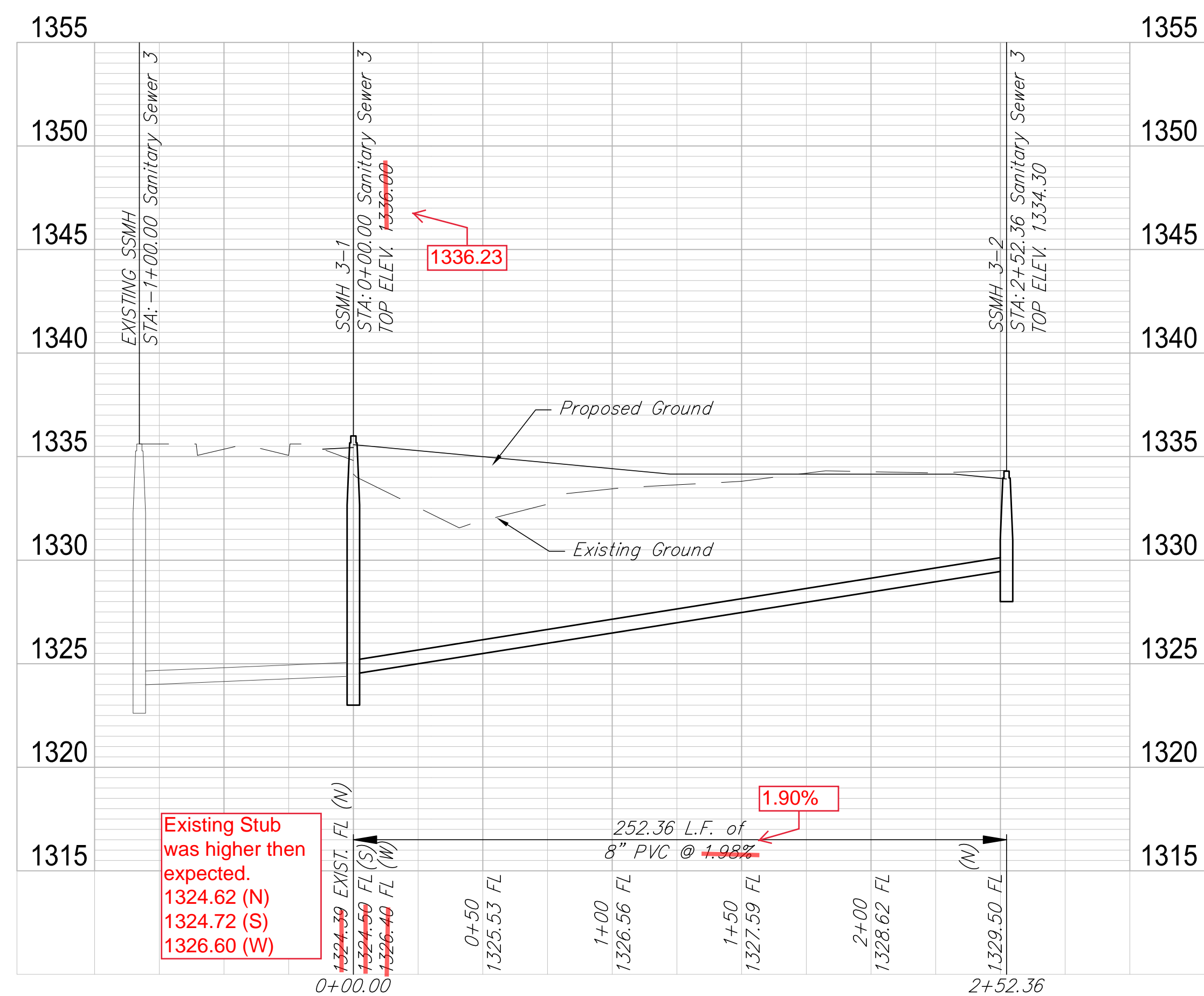
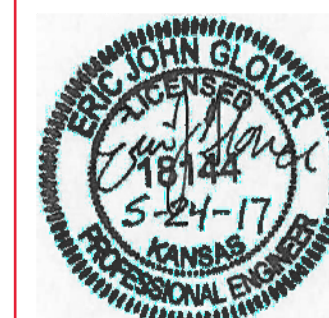
DESIGN	REVIEW
CMB, KWL	April 2017
CDJ	May 2017

PROJECT NUMBER	DRAWING FILE
468-45171	09 - Sanitary Sewer 2-2

The Paddock at 127th  
**Sanitary 2 (2)**  
Wichita, Kansas



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 Inspector: Dakota Zimmerman  
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 Contractor: Mies Construction  
 Super: Albert Mies  
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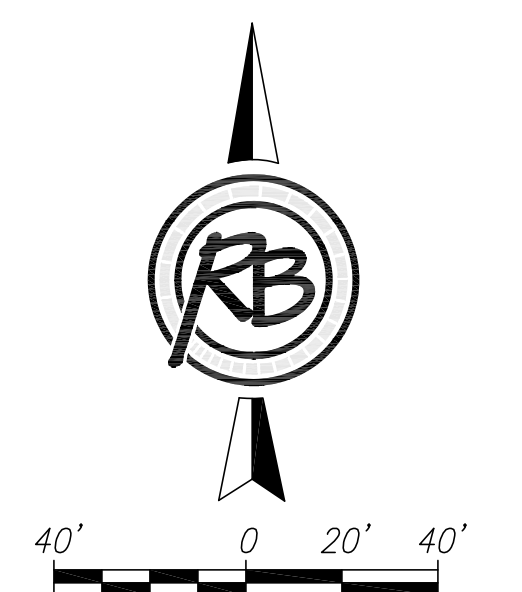
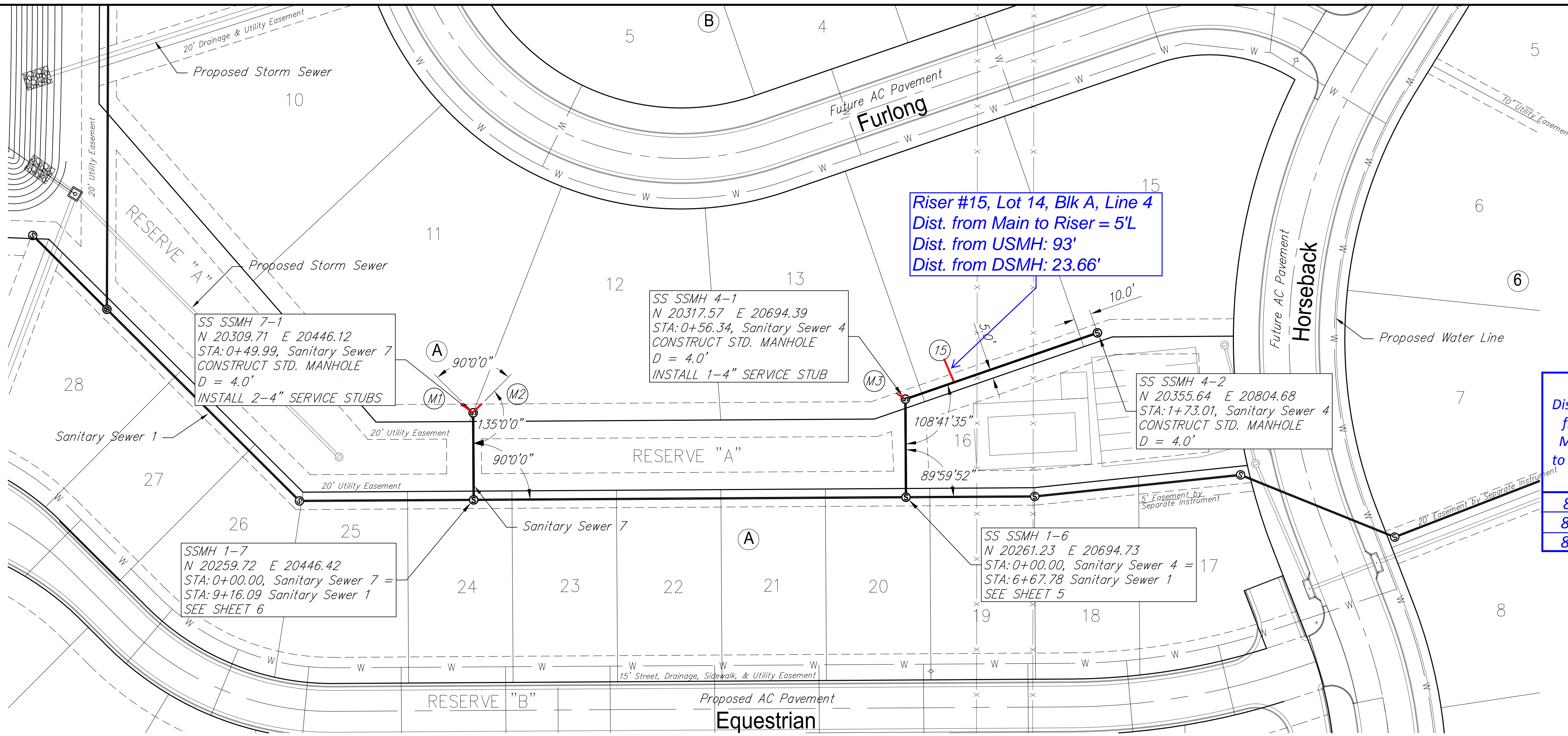
**The Paddock at 127th Sanitary 3**  
 Wichita, Kansas

PROJECT NUMBER: 468-45171  
 DRAWING FILE: 10 - Sanitary Sewer 3

DESIGN: CMB, KWL  
 DRAWING: CDU

REVISIONS:  
 REVISED: April 2017  
 REVIEW: May 2017

RB JOB: 4858E  
 SHEET: 10 OF 22



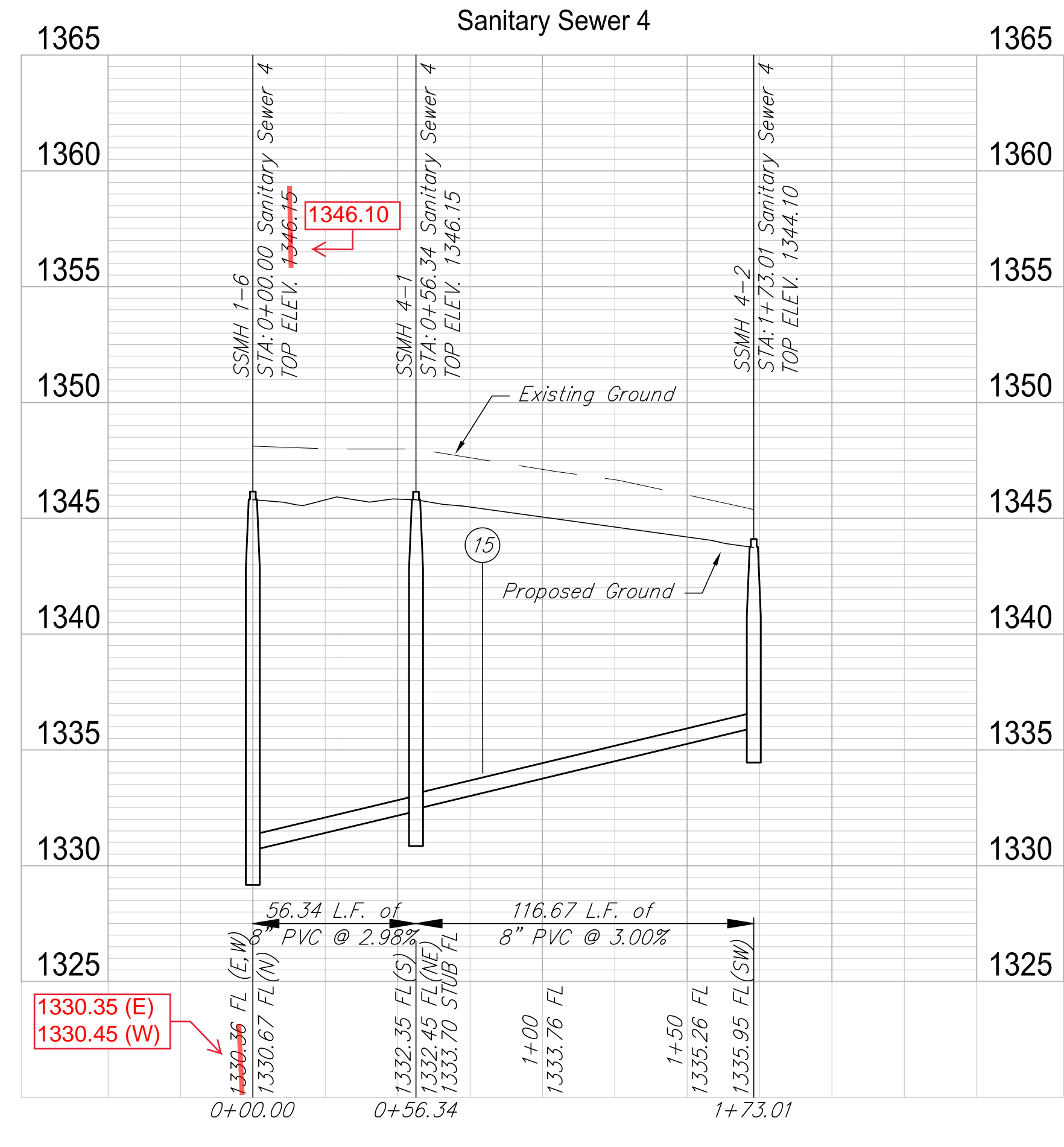
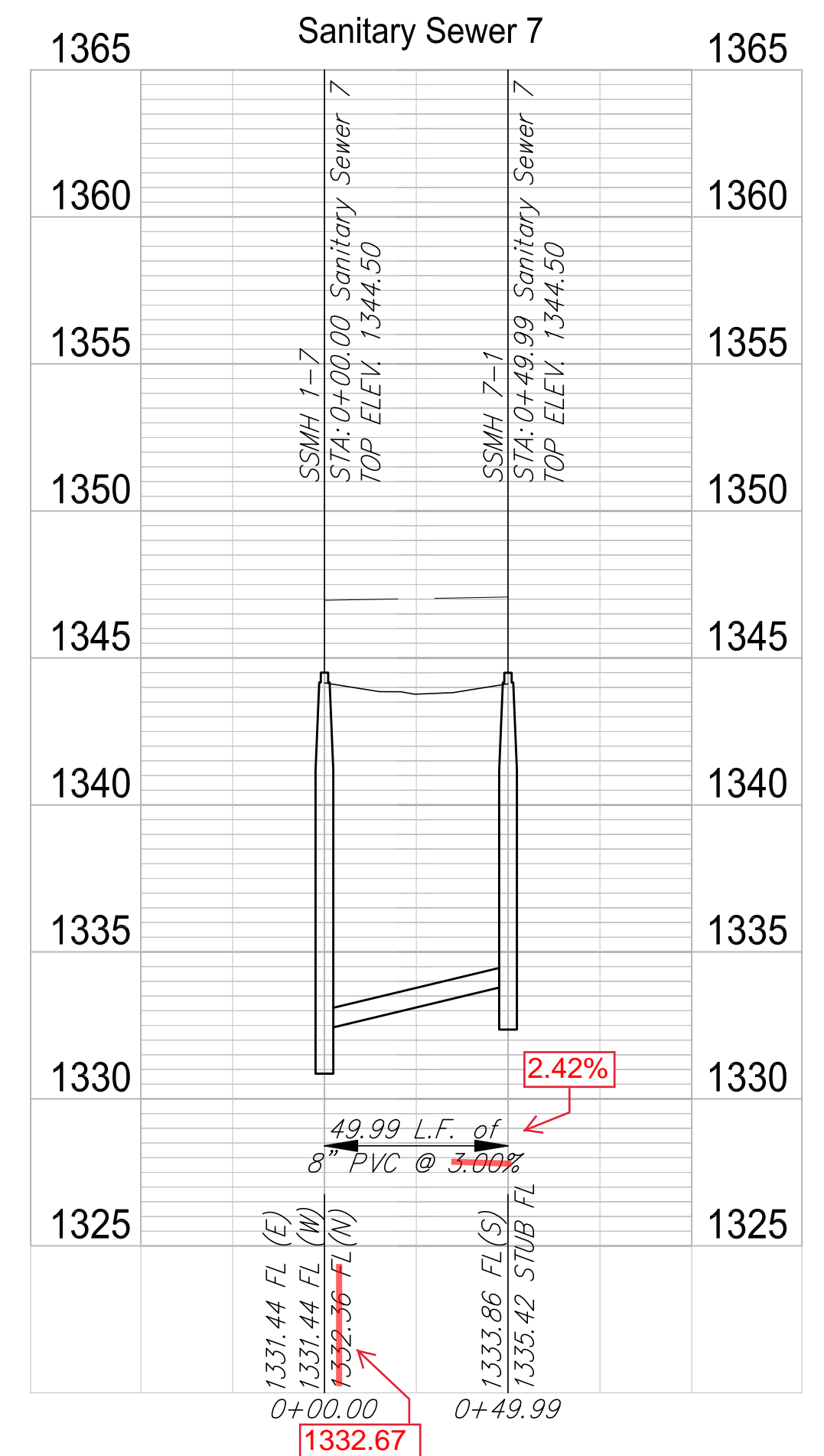
SEWER SERVICE TABLE								
NO.	TYPE	SERVING				FOR INFORMATION ONLY		
		LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROX. LENGTH 4" PIPE		
						VERTICAL	HORIZONTAL	
15	8"x4" Tee	14	A	4	0+80 L	12.0'	5'	
8'L	M1 MH RISER	11	A	7	0+50 L	8.0'	8'	
8'R	M2 MH RISER	12	A	7	0+50 R	8.0'	8'	
8'R	M3 MH RISER	13	A	4	1+56 R	10.0'	8'	

Distance from Main to Riser

**AS BUILT PLANS**  
 Inspector: Dakota Zimmerman  
 Ruggles & Bohm, P.A.  
 Contractor: Mies Construction  
 Super: Albert Mies  
 PDF By: DGZ 10/06/2017

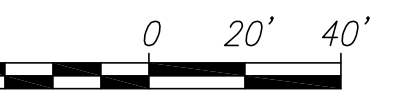
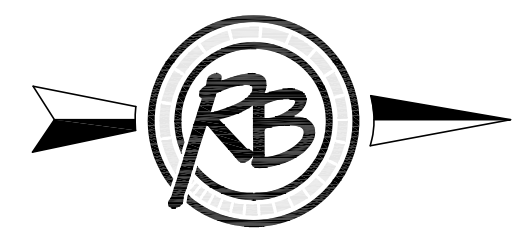
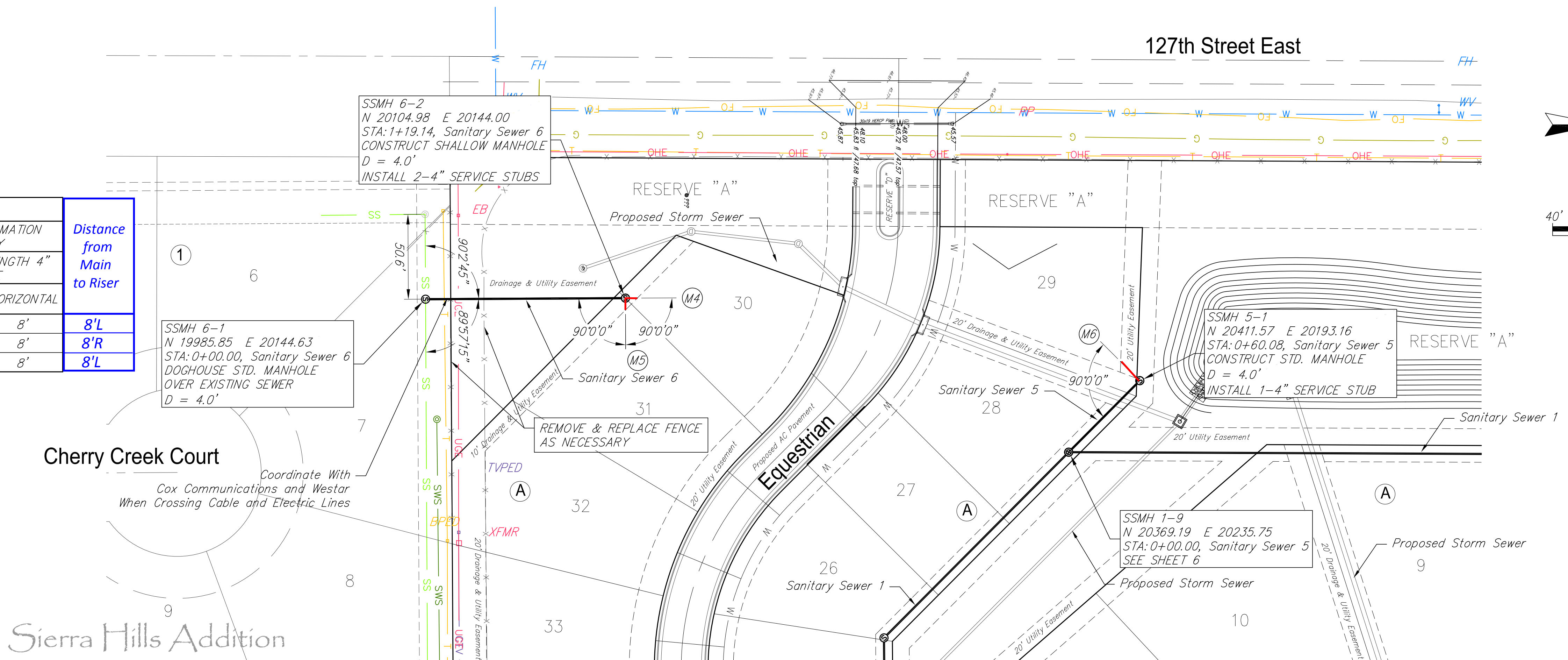


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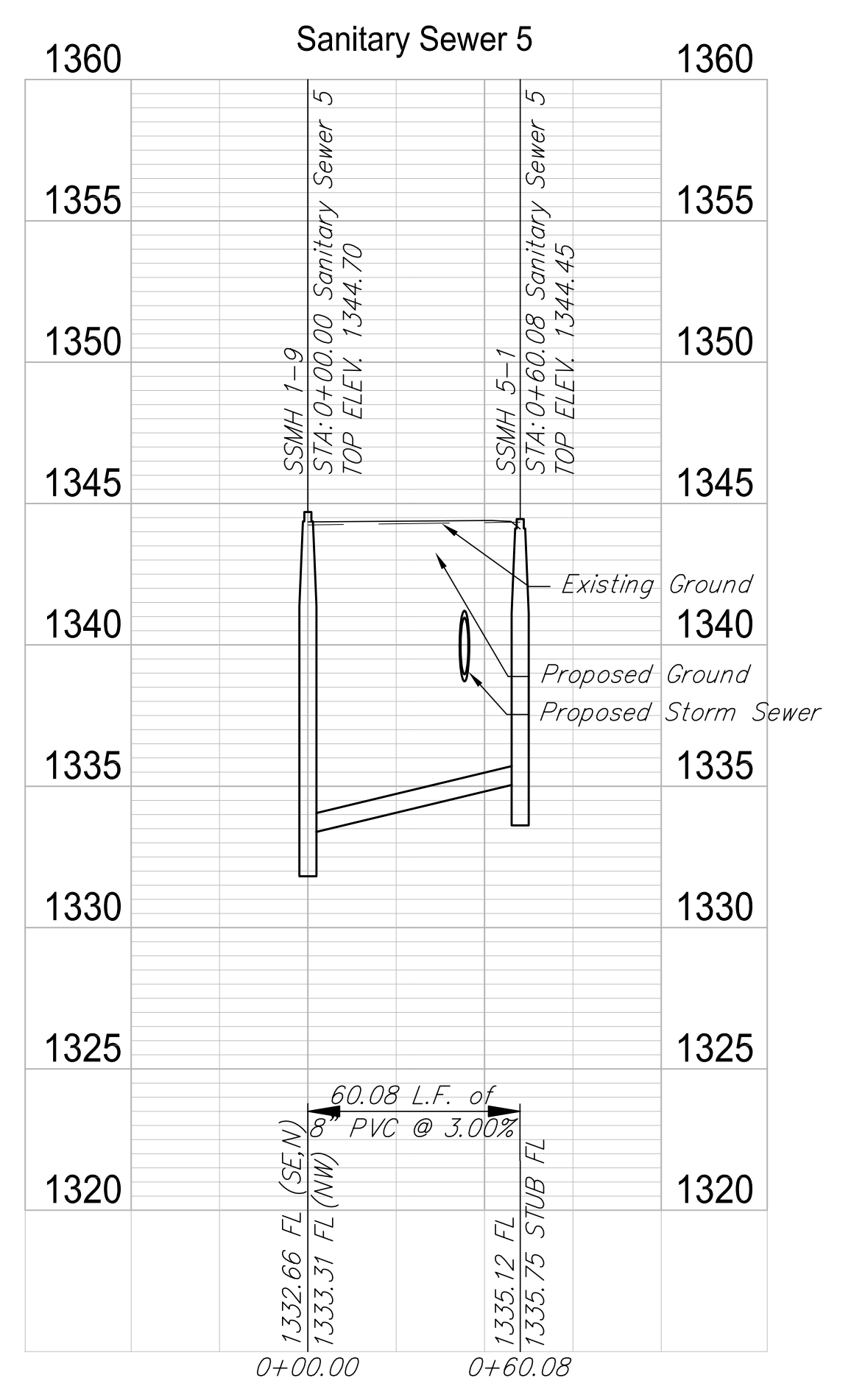
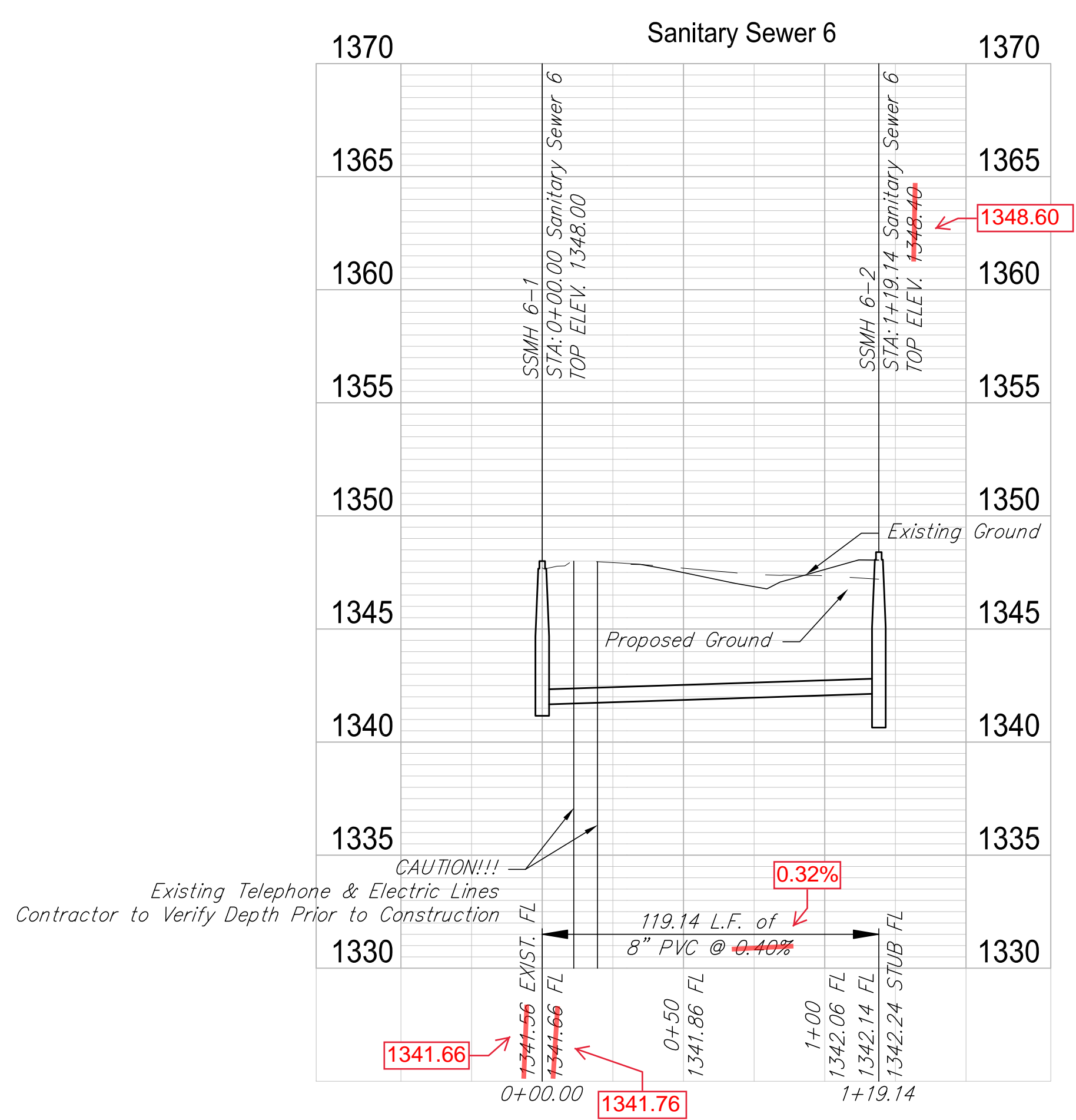


REVISIONS:  
 REVISED: April 2017  
 REVIEWED: May 2017  
 DESIGN: CMB, KWL  
 DRAWING DATE: CDJ  
 PROJECT NUMBER: 468-85171  
 DRAWING FILE: 11 - Sanitary Sewers 4 & 7  
**The Paddock at 127th Sanitary 4 & 7**  
 Wichita, Kansas  
 RB JOB: 4858E  
 SHEET: 11 OF 22

SEWER SERVICE TABLE								
NO.	TYPE	SERVING			STATION/ DIRECTION	FOR INFORMATION ONLY		Distance from Main to Riser
		LOT NO.	BLOCK NO.	LINE NO.		APPROX. LENGTH 4" PIPE	VERTICAL	
M4	MH RISER	30	A	6	1+19 L	5.0'	8'	8'L
M5	MH RISER	31	A	6	1+19 R	5.0'	8'	8'R
M6	MH RISER	29	A	5	0+60 L	8.0'	8'	8'L



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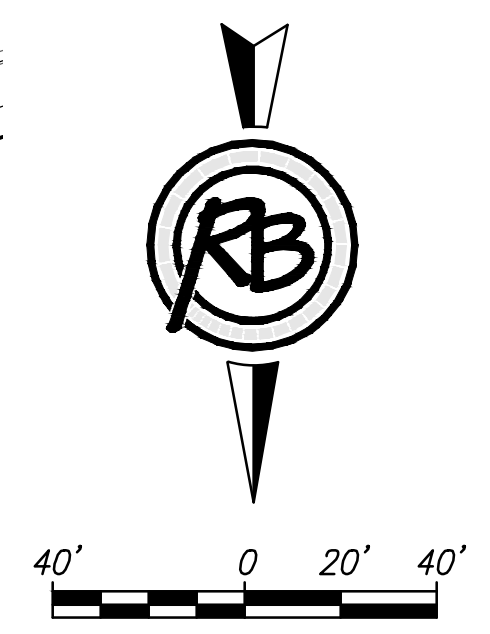
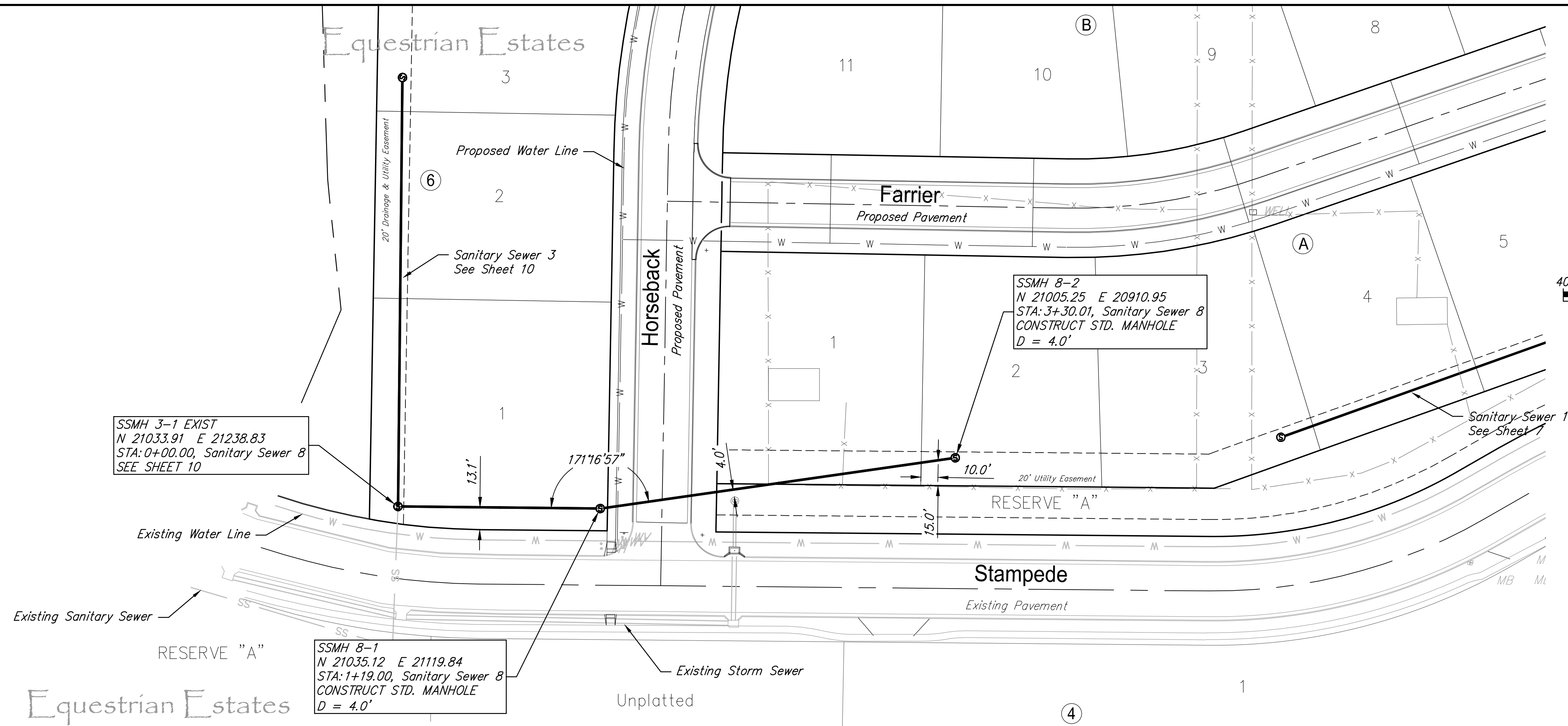


**AS BUILT PLANS**  
Inspector: Dakota Zimmerman  
Ruggles & Bohm, P.A.  
Contractor: Mies Construction  
Super: Albert Mies  
PDF By: DGZ 10/06/20217

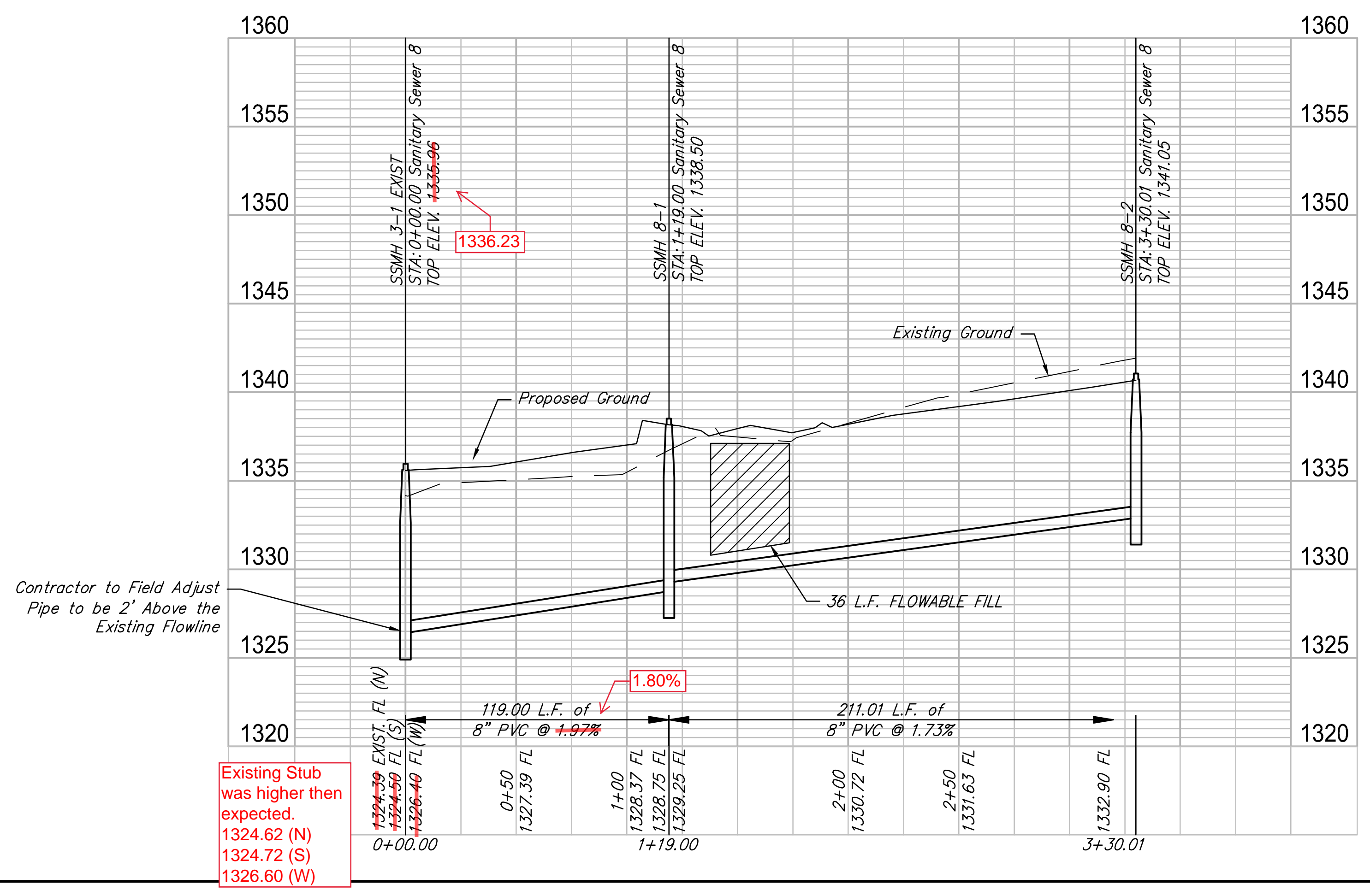
REVISION	DATE
REVIEW	April 2017
DATE	May 2017
DESIGN	CMB, KWL
DRAWING	CDJ

PROJECT NUMBER: 468-85171  
DRAWING FILE: 12 - Sanitary Sewers 5 & 6

**The Paddock at 127th Sanitary 5 & 6**  
Wichita, Kansas



**AS BUILT PLANS**  
 Inspector: Dakota Zimmerman  
 Ruggles & Bohm, P.A.  
 Contractor: Mies Construction  
 Super: Albert Mies  
 PDF By: DGZ 10/06/20217



Existing Stub was higher than expected.  
 1324.62 (N)  
 1324.72 (S)  
 1326.60 (W)

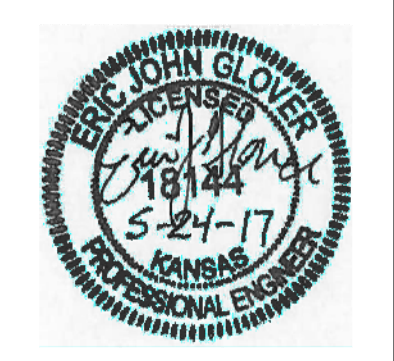
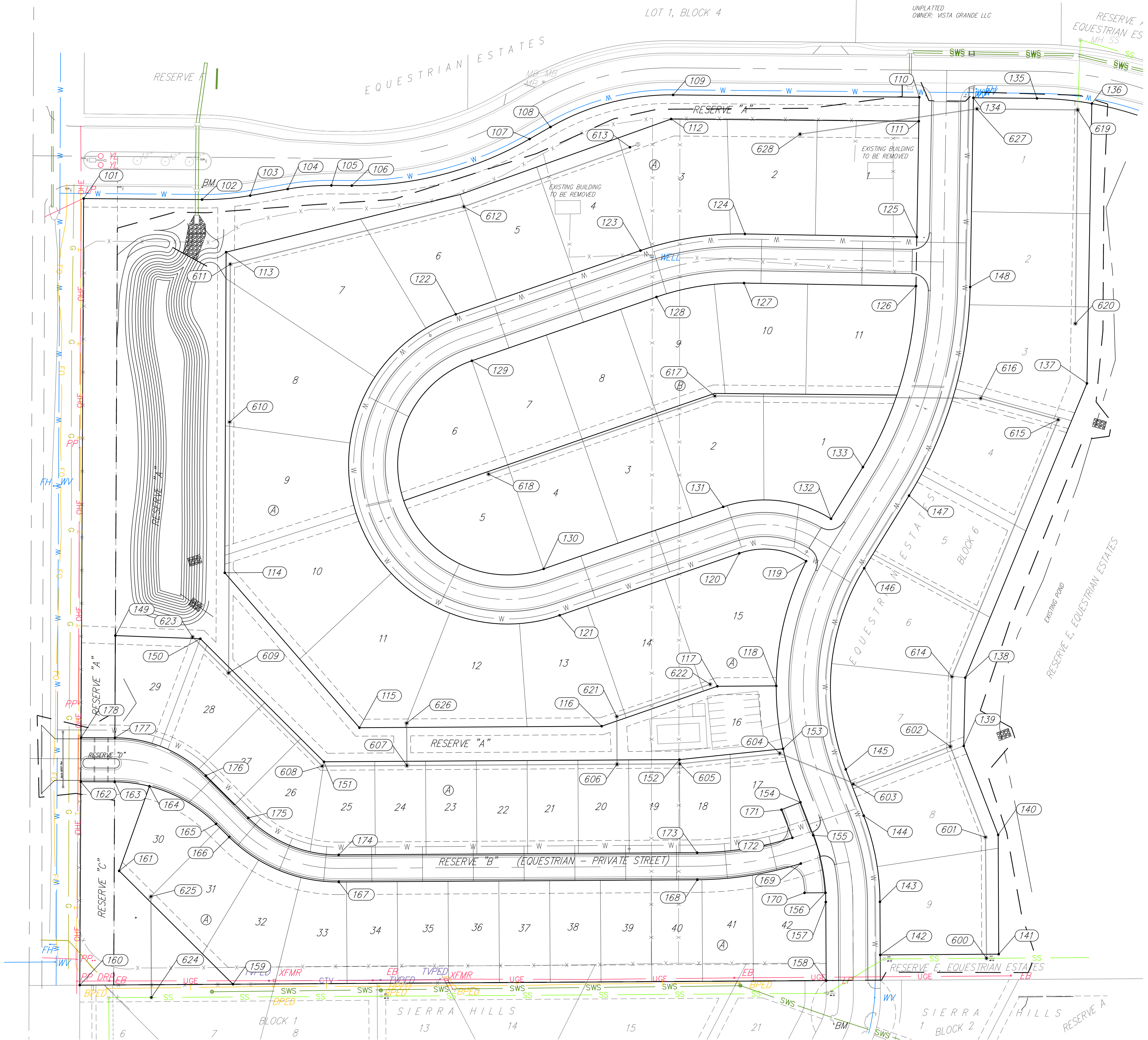
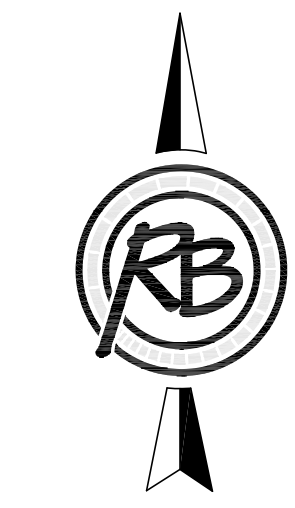
REVISION	DATE
REVIEW	April 2017
REVIEW	May 2017
DESIGN	CMB, KWL
DRAWN	CDJ

PROJECT NUMBER: 468-65171  
 DRAWING FILE: 13 - Sanitary Sewer 8

The Paddock at 127th  
**Sanitary 8**  
 Wichita, Kansas

LOT 1, BLOCK 4

UNPLATTED  
OWNER: VISTA GRANDE LLC



### The Paddock at 127th Bubble Map



ENGINEERING | SURVEYING | LANDSCAPE ARCHITECTURE | GOVERNMENT  
924 NORTH MAIN WICHITA, KANSAS 67203 P (316) 264-8008 F (316) 264-4621  
WWW.RBKANSAS.COM

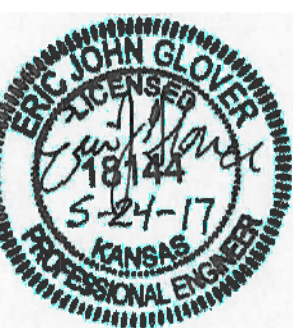
PROJECT NUMBER: 468-85171  
RB JOB NO.: 4858E  
DWG. SCALE: 60  
DRAWING FILE: 4858E Bubble Maps [Bubble Map]


DATE: May 2017  
DESIGN: CMB, KWL  
DRAWN: CDJ  
REVIEW: April 2017  
SHEET: 20  
OF: 22

Point Table			
Point #	Northing	Easting	Description
101	20929.22	20064.49	PROP CNR
102	20928.01	20204.42	PC
103	20932.70	20261.29	PT
104	20940.44	20305.57	PC
105	20944.69	20357.20	PT
106	20944.48	20381.31	PC
107	20999.53	20591.34	PT
108	21013.69	20615.99	PC
109	21051.61	20760.91	PT
110	21048.84	21051.73	PROP CNR
111	21020.52	21051.23	LOT CNR
112	21023.12	20758.59	LOT CNR
113	20865.91	20232.84	LOT CNR
114	20487.25	20231.25	LOT CNR
115	20304.38	20390.31	LOT CNR
116	20306.12	20676.54	LOT CNR
117	20353.31	20813.25	LOT CNR
118	20353.74	20882.78	LOT CNR
119	20501.02	20918.11	LOT CNR
120	20510.32	20839.07	PT
121	20437.09	20626.87	PC
122	20792.51	20504.20	PT
123	20867.80	20722.34	PC
124	20887.39	20845.72	PT
125	20883.85	21048.86	LOT CNR
126	20825.86	21047.85	LOT CNR/PT
127	20829.40	20844.71	PC
128	20812.97	20741.27	PT
129	20737.68	20523.12	PC
130	20491.91	20607.95	PT
131	20565.15	20820.15	PC
132	20551.04	20947.49	LOT CNR
133	20612.06	20985.16	PC
134	21048.23	21115.73	PROP CNR
135	21047.51	21190.77	PC
136	21041.39	21255.62	PROP CNR
137	20710.92	21249.87	PROP CNR
138	20363.45	21106.11	PROP CNR
139	20282.88	21104.28	PROP CNR
140	20177.88	21144.95	PROP CNR

Point Table			
Point #	Northing	Easting	Description
141	20036.93	21145.59	PROP CNR
142	20036.08	21005.59	PROP CNR
143	20098.80	21005.31	PC
144	20200.46	20986.07	PT
145	20255.18	20964.87	PC
146	20492.75	20986.72	PT
147	20578.45	21039.62	PC
148	20824.75	21111.84	PT
149	20413.14	20102.00	LOT CNR
150	20409.44	20202.39	LOT CNR
151	20264.12	20348.43	LOT CNR
152	20266.68	20768.42	LOT CNR
153	20279.48	20890.79	LOT CNR
154	20216.20	20911.34	PT
155	20177.34	20926.39	PC
156	20109.51	20940.99	LOT CNR
157	20098.51	20941.31	PT
158	20005.73	20941.73	PROP CNR
159	20001.47	20240.94	LOT CNR
160	20000.37	20060.00	PROP CNR
161	20135.28	20106.47	LOT CNR
162	20240.65	20061.16	LOT CNR
163	20240.46	20101.16	PC
164	20235.23	20142.29	LOT CNR
165	20190.69	20220.91	PT
166	20175.22	20236.46	PC
167	20122.23	20365.96	PT
168	20124.81	20789.52	PC
169	20143.95	20911.76	LOT CNR
170	20109.35	20916.18	LOT CNR
171	20207.54	20888.96	LOT CNR
172	20174.37	20901.81	LOT CNR
173	20156.81	20789.33	LOT CNR
174	20154.23	20365.77	PC
175	20197.90	20259.03	PT
176	20247.79	20208.90	PC
177	20292.46	20101.41	PT
178	20292.65	20061.42	LOT CNR
600	20032.10	21131.20	SS1 CONNECT
601	20175.04	21129.96	SS1 1+4.3 MH

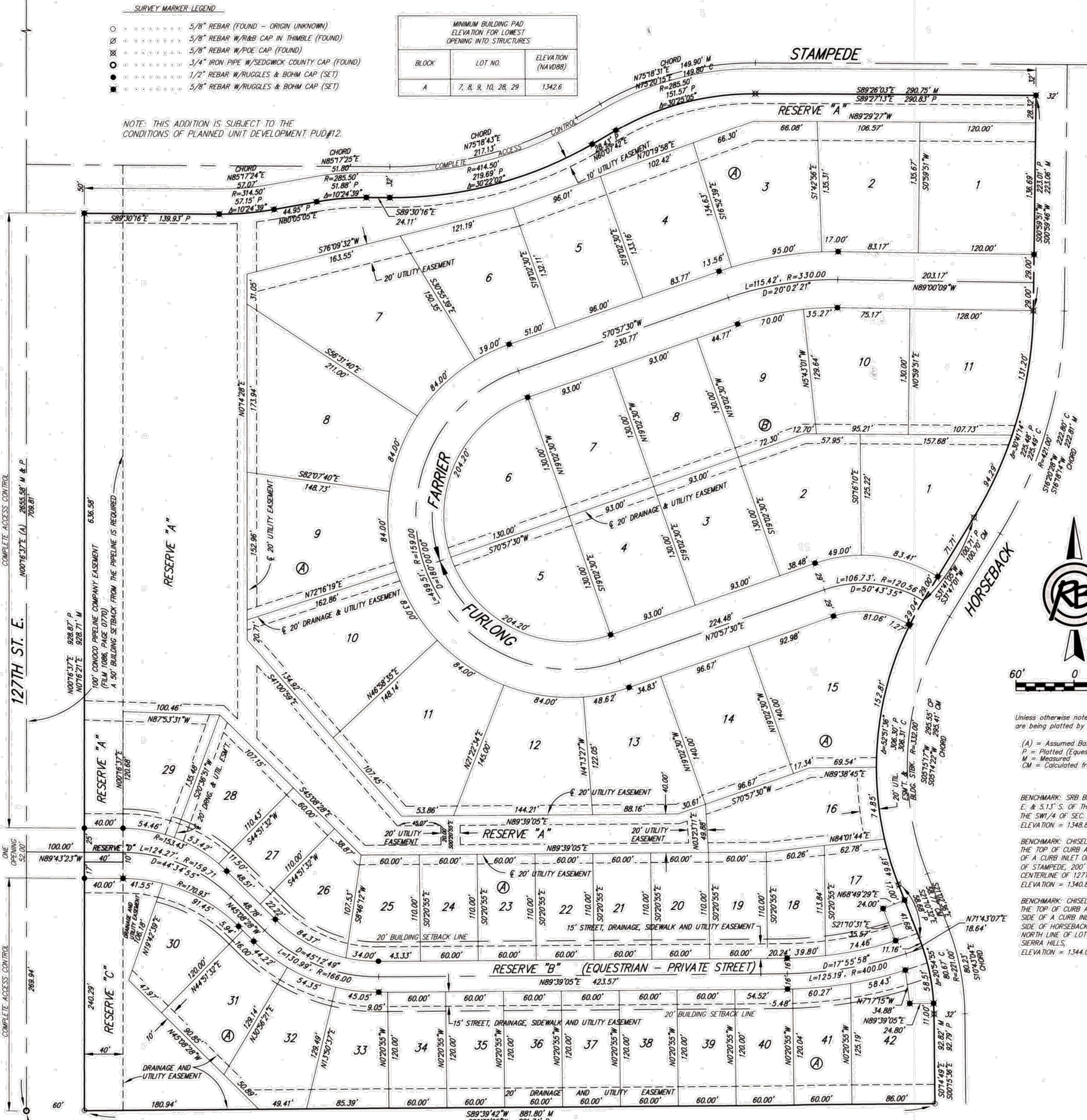
Point Table			
Point #	Northing	Easting	Description
602	20282.12	21088.48	SS1/2 2+58 MH
603	20237.69	20973.79	SS1 3+81 MH
604	20274.05	20886.91	SS1 4+75 MH
605	20261.68	20768.70	SS1 5+94 MH
606	20261.23	20694.73	SS1/4 6+68 MH
607	20259.71	20446.42	SS1/7 9+16 MH
608	20259.11	20346.38	SS1 10+16 MH
609	20369.19	20235.75	SS1/5 11+72 MH
610	20665.27	20237.00	SS1 14+68 MH
611	20851.68	20237.78	SS1 16+55 MH
612	20919.65	20513.64	SS1 19+39 MH
613	20989.81	20709.94	SS1 21+47 MH
614	20364.61	21090.36	SS2 0+83 MH
615	20668.09	21215.91	SS2 4+11 MH
616	20693.27	21124.34	SS2 5+06 MH
617	20696.06	20810.19	SS2 8+20 MH
618	20603.81	20542.88	SS2 10+88 MH
619	21033.91	21238.83	SS3/8 0+00 MH
620	20781.56	21236.17	SS3 2+42 MH
621	20317.57	20694.39	SS4 0+56 MH
622	20355.64	20804.68	SS4 1+73 MH
623	20411.57	20193.16	SS5 0+60 MH
624	19985.85	20144.53	SS6 0+00 CONNECT
625	20104.98	20144.00	SS6 1+19 MH
626	20309.71	20446.12	SS7 0+50 MH
627	21035.12	21119.84	SS8 1+34 MH
628	21005.25	20910.95	SS8 3+20 MH



<b>The Paddock at 127th Point Tables</b>			
SEAL	 <b>RUGGLES &amp; BOHM</b>		DATE <b>May 2017</b>
	ENGINEERING   SURVEYING   LANDSCAPE ARCHITECTURE   GOVERNMENT 924 NORTH MAIN WICHITA, KANSAS 67203 P (316) 264-8008 F (316) 264-4621 WWW.RBKANSAS.COM		DESIGN <b>CMB, KWL</b>
PROJECT NUMBER <b>468-85171</b>	RB JOB NO. <b>4858E</b>	DWG. SCALE <b>...</b>	DRAWN <b>CDJ</b>
DRAWING FILE <b>4858E Bubble Maps [Point Tables]</b>			REVIEW <b>April 2017</b>
			21
			22

# THE PADDOCK AT 127TH

## Wichita, Sedgwick County, Kansas



BLOCK	LOT NO.	ELEVATION (NAVD88)
A	7, 8, 9, 10, 28, 29	1,342.6

- SURVEY MARKER LEGEND**
- 5/8" REBAR (FOUND - ORIGIN UNKNOWN)
  - 5/8" REBAR W/R&B CAP IN THIMBLE (FOUND)
  - 5/8" REBAR W/POE CAP (FOUND)
  - 3/4" IRON PIPE W/SEDGWICK COUNTY CAP (FOUND)
  - 1/2" REBAR W/RUGGLES & BOHM CAP (SET)
  - 5/8" REBAR W/RUGGLES & BOHM CAP (SET)

NOTE: THIS ADDITION IS SUBJECT TO THE CONDITIONS OF PLANNED UNIT DEVELOPMENT PUD #12.

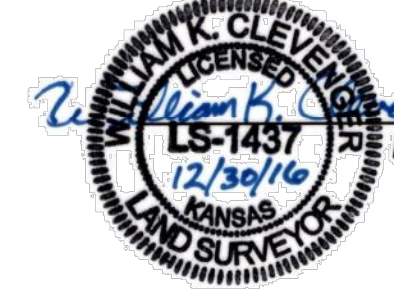
State of Kansas)  
Sedgwick County)

We, Ruggles & Bohm, P.A., Land Surveyors in aforesaid county and state, do hereby certify that, under the supervision of the undersigned, we have surveyed and platted "THE PADDOCK AT 127TH", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows:

Lot 1, Block 5, Equestrian Estates, an addition to Wichita, Kansas, Sedgwick County, Kansas.

All public easements and dedications are hereby vacated by virtue of K.S.A. 12-512b, as amended.

*William K. Clevenger*  
Land Surveyor  
Ruggles & Bohm, P.A.



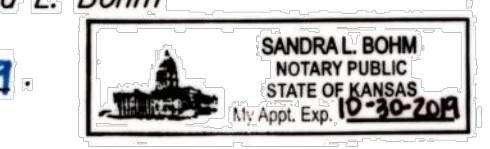
Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots, Blocks, Reserves and Streets, to be known as "THE PADDOCK AT 127TH", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted for the construction and maintenance of all public utilities. No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements. The drainage easements are hereby granted to the public as indicated for drainage purposes. The drainage & utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The street, drainage, sidewalk & utility easements are hereby granted as indicated for street, sidewalk and drainage purposes and for the construction and maintenance of all public utilities. Access Controls as indicated are hereby granted to the appropriate governing body. The streets are hereby dedicated to and for the use of the public. Reserve "A" is hereby reserved for irrigation, walls, signage, walks, lighting, landscaping, berms, community buildings, gates, gate equipment, playground equipment, lakes, drainage, drainage structures, and utilities confined to easements. Reserves "B" and "D" are hereby reserved for signage, entry features, irrigation, gates, gate equipment, walks, private streets, and utilities confined to easements. Reserve "C" is hereby reserved for signage, landscaping, irrigation, gates, gate equipment, berms, walks, community buildings, playground equipment, and utilities confined to easements. The Reserves are to be owned and maintained by the Home Owners Association for the addition. A Minimum Pad Elevation for lowest openings has been established for this addition and is shown on the table below. A drainage plan has been developed for this plat and all drainage easements, rights-of-way, or reserves shall remain at established grades, or as modified with the approval of the City Engineer, and unobstructed to allow for the conveyance of stormwater.

The Paddock at 127th, LLC, a Kansas limited liability company  
*Miles Millspaugh*  
Managing Member

State of Kansas)  
Sedgwick County)

The foregoing instrument acknowledged before me, this 30th day of December, 2016, by Miles Millspaugh, Managing Member of The Paddock at 127th, LLC, a Kansas limited liability company, on behalf of the company.

*Sandra L. Bohm*  
Notary Public  
Sandra L. Bohm



My appointment expires October 30, 2019.

We the undersigned, holders of a mortgage on a portion of the above described property, do hereby consent to this plat of "THE PADDOCK AT 127TH", Wichita, Sedgwick County, Kansas.

*Joseph C. Rottinghaus*  
President  
Joseph

State of Kansas)  
Sedgwick County)

The foregoing instrument acknowledged before me this 30th day of December, 2016, by Joseph C. Rottinghaus, President of Conway Bank, on behalf of the Bank.

*Joseph C. Rottinghaus*  
Notary Public

My appointment expires October 30, 2019.

We the undersigned, holders of a mortgage on a portion of the above described property, do hereby consent to this plat of "THE PADDOCK AT 127TH", Wichita, Sedgwick County, Kansas.

*John W. McKay, Jr.*  
Managing Member  
John W. McKay, Jr.

State of Kansas)  
Sedgwick County)

The foregoing instrument acknowledged before me this 30th day of December, 2016, by John W. McKay, Jr., Managing Member of EED, LLC, on behalf of the corporation.

*John W. McKay, Jr.*  
Notary Public



My appointment expires October 30, 2019.

This plat of "THE PADDOCK AT 127TH", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 30th day of October, 2016.

Wichita-Sedgwick County Metropolitan Area Planning Commission  
*David W. Foster*  
Chair  
*Dale Miller*  
Secretary  
Dale Miller

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 1st day of January, 2017.



At the Direction of the City Council  
*Jeff Longwell*  
Mayor  
*Karen Sublett*  
City Clerk  
Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this 5th day of January, 2017.

*Tricia L. Robello*  
Deputy County Surveyor  
Tricia L. Robello, LS #1246

Entered on transfer record this 5th day of January, 2017.  
*Kelly B. Arnold*  
County Clerk  
Kelly B. Arnold

State of Kansas)  
Sedgwick County)

This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 5th day of January, 2017, at 10:00 o'clock A.M., and is duly recorded.

*Tonya Buckingham*  
Register of Deeds  
*Judy J. Paget*  
Deputy

