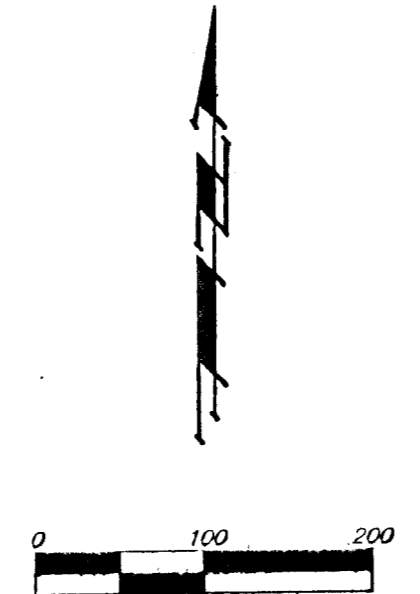


# TYLER'S LANDING ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

BENCHMARK  
CITY OF WICHITA BENCHMARK 0852 -  
SE COR. OF THE INTERSECTION OF  
TYLER RD. & 37TH STREET NORTH  
12.30' S. OF E  
32.00' E. OF P.P.  
55.50' E. OF P.P.  
9.20' SE. OF P.P.  
43.20' SE. OF SEC. COR. IRON  
ELEV. = 1358.4 CITY DATUM  
ELEV. = 1354.4 NGVD29

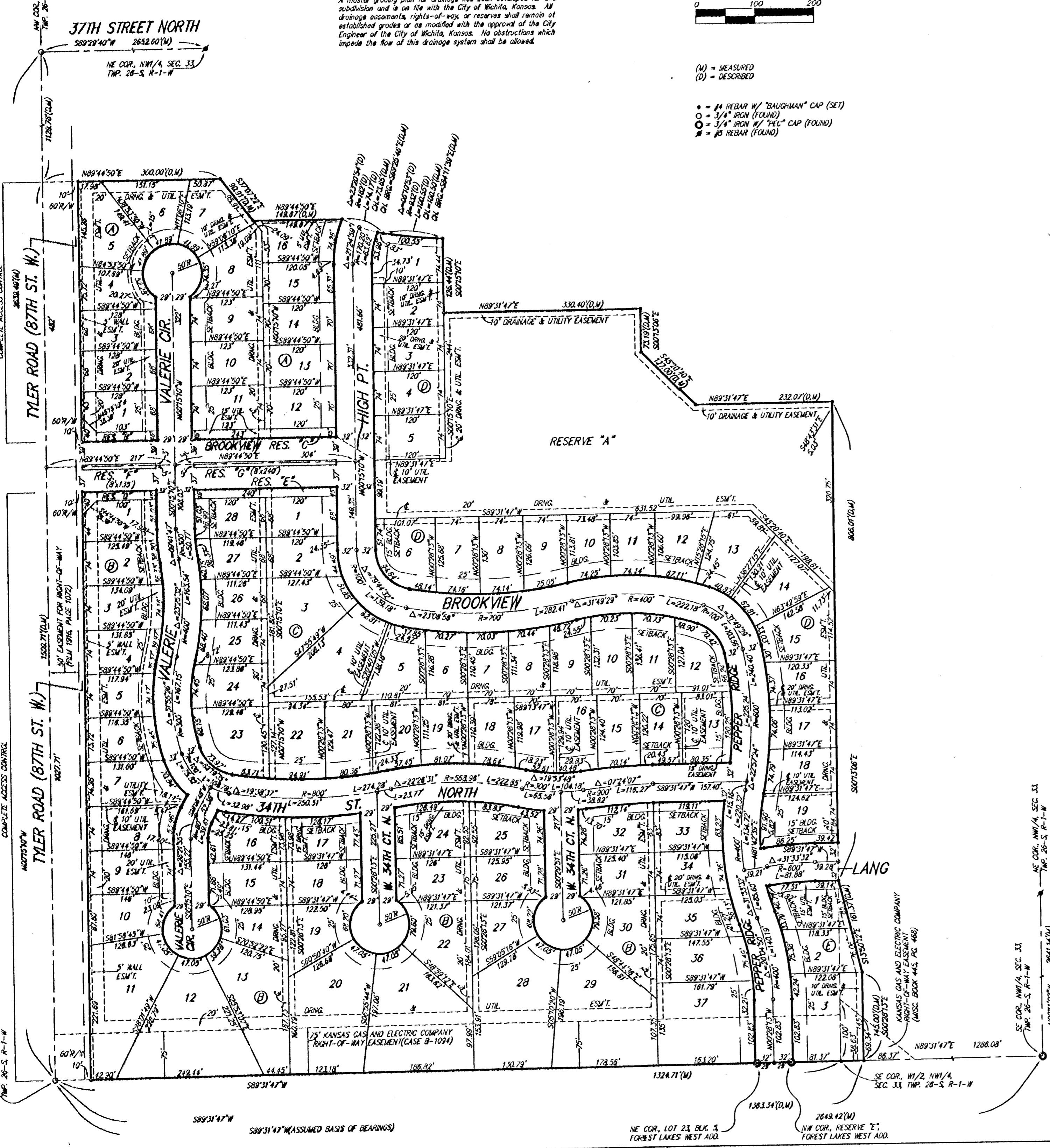
LOT	BLOCK	CITY DATUM	NGVD29
2-15	D	151.0	1338.4

NOTE:  
A master grading plan for drainage has been developed for this subdivision and is on file with the City of Wichita, Kansas. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the City Engineer of the City of Wichita, Kansas. No obstructions which impede the flow of this drainage system shall be allowed.



(M) = MEASURED  
(D) = DESCRIBED

- = #4 REBAR W/ BAUGHMAN CAP (SET)
- = 3/4" IRON (FOUND)
- = 3/4" IRON W/ PEC CAP (FOUND)
- = #5 REBAR (FOUND)



State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) do hereby certify that we have surveyed and  
platted "TYLER'S LANDING ADDITION", Wichita, Sedgwick County, Kansas  
and that the accompanying plat is a true and correct exhibit of the  
property surveyed, described as follows: That part of the NW1/4 of  
Sec. 33, Twp. 26-S, R-1-W of the 6th P.M., Sedgwick County, Kansas  
described as commencing at the NW corner of said NW1/4, thence  
S00°15'10"E (assumed) along the west line of said NW1/4, 1129.78 feet  
for a point of beginning; thence N89°44'50"E perpendicular to the west  
line of said NW1/4, 300.00 feet; thence S37°07'22"E, 90.91 feet; thence  
N89°44'50"E, 149.67 feet to a point on a curve to the left; thence  
southeasterly along said curve, having a central angle of 23°20'54" and  
a radius of 182.00 feet, an arc distance of 74.17 feet, (having a chord  
length of 73.65 feet bearing S69°25'46"E), to the P.C.C. of a curve to  
the left; thence easterly along said curve, having a central angle of  
06°10'53" and a radius of 932.00 feet, an arc distance of 100.55 feet,  
(having a chord length of 100.50 feet bearing S84°11'39"); thence  
S00°15'10"E, 126.44 feet; thence N89°31'47"E, 330.40 feet; thence  
S00°13'06"E, 73.19 feet; thence S45°20'40"E, 127.00 feet; thence  
N89°31'47"E, 232.07 feet to a point on the east line of the W1/2  
of said NW1/4, thence S00°13'06"E along the east line of the W1/2  
of said NW1/4, 808.01 feet; thence S13°50'12"E, 161.37 feet; thence  
S00°28'13"E, 145.00 feet to a point on the south line of said NW1/4;  
thence S89°31'47"W along the south line of said NW1/4, 1383.34 feet  
to the SW corner of said NW1/4; thence N00°15'10"W along the west  
line of said NW1/4, 1509.71 feet to the point of beginning, all being  
subject to road rights-of-way of record.

Existing public easements and dedications  
being vacated by virtue of K.S.A. 12-512(b).  
Baughman Company, P.A.

*Michael G. Conroy*  
Michael G. Conroy, Surveyor

We the undersigned, holders of a mortgage on  
the above described property, do hereby consent to this plat of "TYLER'S  
LANDING ADDITION", Wichita, Sedgwick County, Kansas.  
Legacy Bank

*Brad E. Jaeger* Sr. VP  
BRAD E. JAEGER

State of Kansas) SS The foregoing instrument acknowledged be-  
Sedgwick County) fore me, this 5 day of December, 2002, by *Brad E. Jaeger*  
Sr. VP, of Legacy Bank, on behalf of the bank.

My App'l. Exp. 11/14/04  
*Dana M. Decker*, Notary Public

This plat of "TYLER'S LANDING ADDITION",  
Wichita, Sedgwick County, Kansas has been submitted to and approved by  
the Wichita-Sedgwick County Metropolitan Area Planning Commission,  
Wichita, Kansas.

Dated this 21 day of NOVEMBER, 2002  
Wichita-Sedgwick County Metropolitan Area Planning Commission

*Bernard A. Henzler*, Chair  
Bernard A. Henzler  
*Dale Miller*, Secretary  
Dale Miller

This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this 7 day of January, 2003

At the direction of the City Council  
*Chris Emerichs*, City Manager  
Chris Emerichs  
*Pat Graves*, City Clerk  
Pat Graves

Reviewed in accordance with K.S.A. 58-2005  
on this 9th day of December, 2002.  
*Maria L. Robella*, Deputy County Surveyor  
Maria L. Robella, L.S. #1246  
Sedgwick County, Kansas

Entered on transfer record this 30th day  
of JANUARY, 2003  
*Don Brace*, County Clerk  
Don Brace

State of Kansas) SS This is to certify that this plat has been  
Sedgwick County) filed for record in the office of the Register of Deeds, this 20th day  
of January, 2003 at 1:00 o'clock P.M. and is duly recorded.  
*Bill Meek*, Register of Deeds  
Bill Meek  
*Linda Kizzira*, Deputy  
Linda Kizzira

State of Kansas) SS The foregoing instrument acknowledged before me,  
Sedgwick County) this 4th day of December, 2002, by Kevin M. Mullen, President of  
R & R Realty, LLC, as Manager of R & R Realty, LLC, a Kansas  
limited liability company, on behalf of the limited liability company.

*Susan K. Monette*, Notary Public  
SUSAN K. MONETTE  
My App'l. Exp. 11-9-03

Know all men by these presents that we,  
the undersigned, have caused the land in the surveyors certificate to be  
platted into Lots, Blocks, Streets, and Reserves to be known as "TYLER'S  
LANDING ADDITION", Wichita, Sedgwick County, Kansas. The utility  
easements are hereby granted as indicated for the construction and  
maintenance of all public utilities. The drainage and utility easements are  
hereby granted as indicated for drainage purposes and for the  
construction and maintenance of all public utilities. The drainage  
easements are hereby granted as indicated for drainage purposes. The  
wall easements are hereby granted as indicated for the construction and  
maintenance of a private screening wall and utility main lines and service  
lines shall be allowed to cross these easements. The streets are hereby  
dedicated to and for the use of the public. Reserves "A" is hereby  
reserved for lakes, landscaping, open space, berms, sidewalks, gazebos,  
drainage purposes, utilities as confined to easements. Reserves "B", "C",  
"D", and "E" are hereby reserved for entry monuments, landscaping, berms,  
open space, drainage purposes, and utilities as confined to easements.  
Reserve "F" and "G" are hereby reserved for entry monuments,  
landscaping, open space, streets, drainage purposes, and utilities as  
confined to easement. Reserves "A", "B", "C", "D", "E", "F" and "G"  
shall be owned and maintained by the homeowners association for the  
addition. Access controls shall be as depicted on the face of the plat  
and are hereby granted to the City of Wichita, Kansas. The Minimum  
Building Pod Elevations for the lowest opening to the structures shall be  
as indicated on the face of the plat.

R & R Realty, LLC,  
a Kansas limited liability company  
*Joy W. Russell*, Manager  
Joy W. Russell  
Ritchie Associates, Inc., Manager  
*Kevin M. Mullen*, President  
Kevin M. Mullen

State of Kansas) SS The foregoing instrument acknowledged before me,  
Sedgwick County) this 4th day of December, 2002, by Joy W. Russell, Manager of  
R & R Realty, LLC, a Kansas limited liability company, on behalf of the  
limited liability company.

*Susan K. Monette*, Notary Public  
SUSAN K. MONETTE  
My App'l. Exp. 11-9-03

**BAUGHMAN COMPANY P.A.**  
ENGINEERING, SURVEYING, & PLANNING  
318-282-7871 • WICHITA, KANSAS 67211  
P:\V\TYLER'S LANDING\DWG\TYLERLANDING.DWG