

BENCHMARK

Square Cut on Top of Curb Along 34th Street North, 150' East of SW Corner of Lot 7, Comotara Industrial Park Fifth Addition.
Elev. = 1419.19 M.S.L.

LEGAL DESCRIPTION

Lot 7, Comotara Industrial Park Fifth Addition an addition to Wichita, Sedgewick County, Kansas EXCEPT the East 65.00 feet thereof.

SITE INFORMATION

Total Area: 475,035.80 sq. ft. (1.72 acres)
Area Disturbed: 444,780 sq. ft. (1.02 acres)
Impervious Area: 358,295 sq. ft. (1.57 acres)
Building Area: 49,042.75 sq. ft.
Parking Provided: 31 Spaces, incl. 2 Universal Accessible Stalls

GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas).....1-888-482-4950
Aquila Energy (Gas).....1-800-303-0357
Westar Energy (Electric).....383-8650
Gas Communications (Cablevision).....268-4270
Southwestern Bell (Telephone).....268-4270
City of Wichita Water Dept. (Water).....268-2245 or 1-800-288-8313
City of Wichita Sewer Maint. (San. Sewer).....268-4024 or 268-4000
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4000
City of Wichita Traffic Maint. (Traffic Control).....268-4034 or 268-4203
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....329-6600 or 1-800-324-9696
Phillips Pipeline Co. (Petroleum).....1-800-768-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 5 percent lime or 14 to 18 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Handicap accessible ramps shall be constructed at both drive approach locations. The ramps shall be constructed in accordance with ADA standards and Local City Specifications.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.

DATE
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Jeff Krehbiel Associates

McCULLOUGH EXCAVATION INC.
9210 E. 34th NORTH
WICHITA, KANSAS

PROJECT NUMBER
06049
SHEET TITLE
SITE GRADING PLAN

SHEET NUMBER
SG1
OF - SHEETS

Construct 16.75 LF of 18" RCP with Std. 2x4 Drop Inlet. Refer to Private Storm Water Sewer Plans Prepared By Baughman Company, P.A.

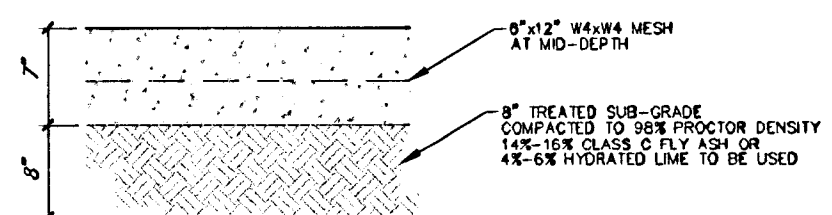
Construct 7" Concrete Pavement Per Detail 1/ This Sheet

Construct 7" Concrete Pavement Per Detail 1/ This Sheet

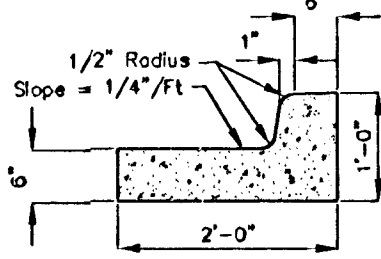
Construct 112 LF of 18" RCP with Type 1 Inlet. Refer to Private Storm Water Sewer Plans Prepared By Baughman Company, P.A.

Re-Route Existing Roof Drains to Connect with 12" PVC Stub at Manhole

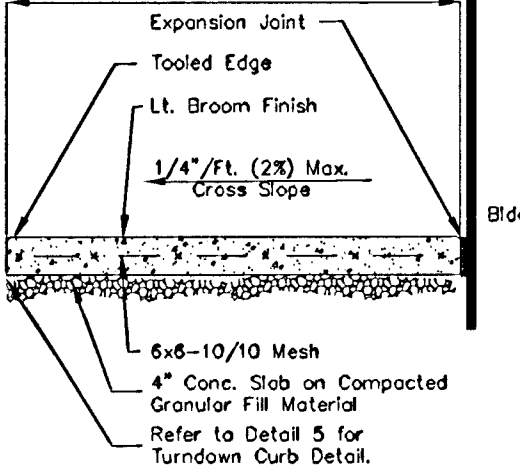
SITE BENCHMARK
Cut on Top of Curb
Elev. = 1419.19 M.S.L.



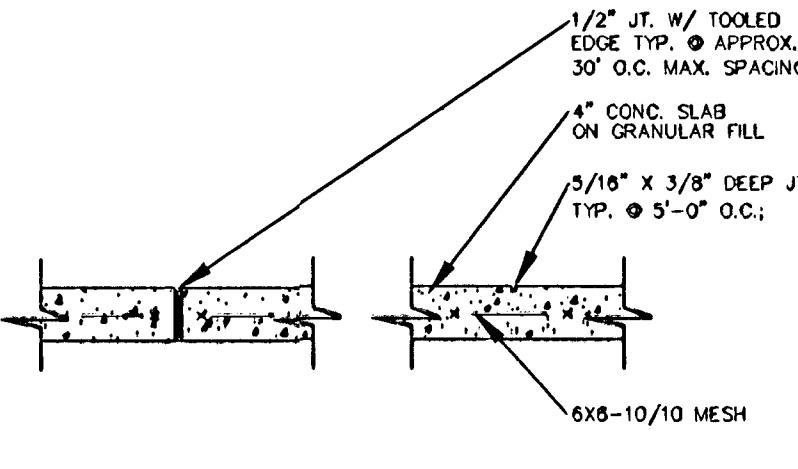
1 7" CONCRETE PAVEMENT
NOT TO SCALE



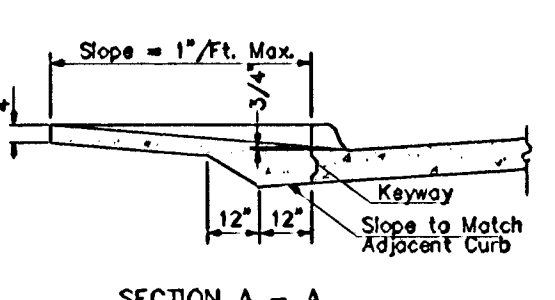
2 TYP. CURB & GUTTER DETAIL
NOT TO SCALE



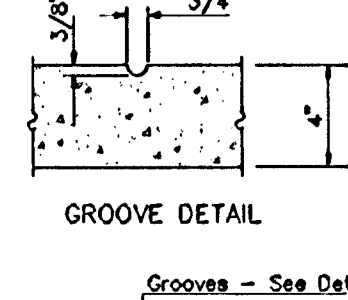
3 TYP. CONC. WALK @ BLDG WALL.
NOT TO SCALE



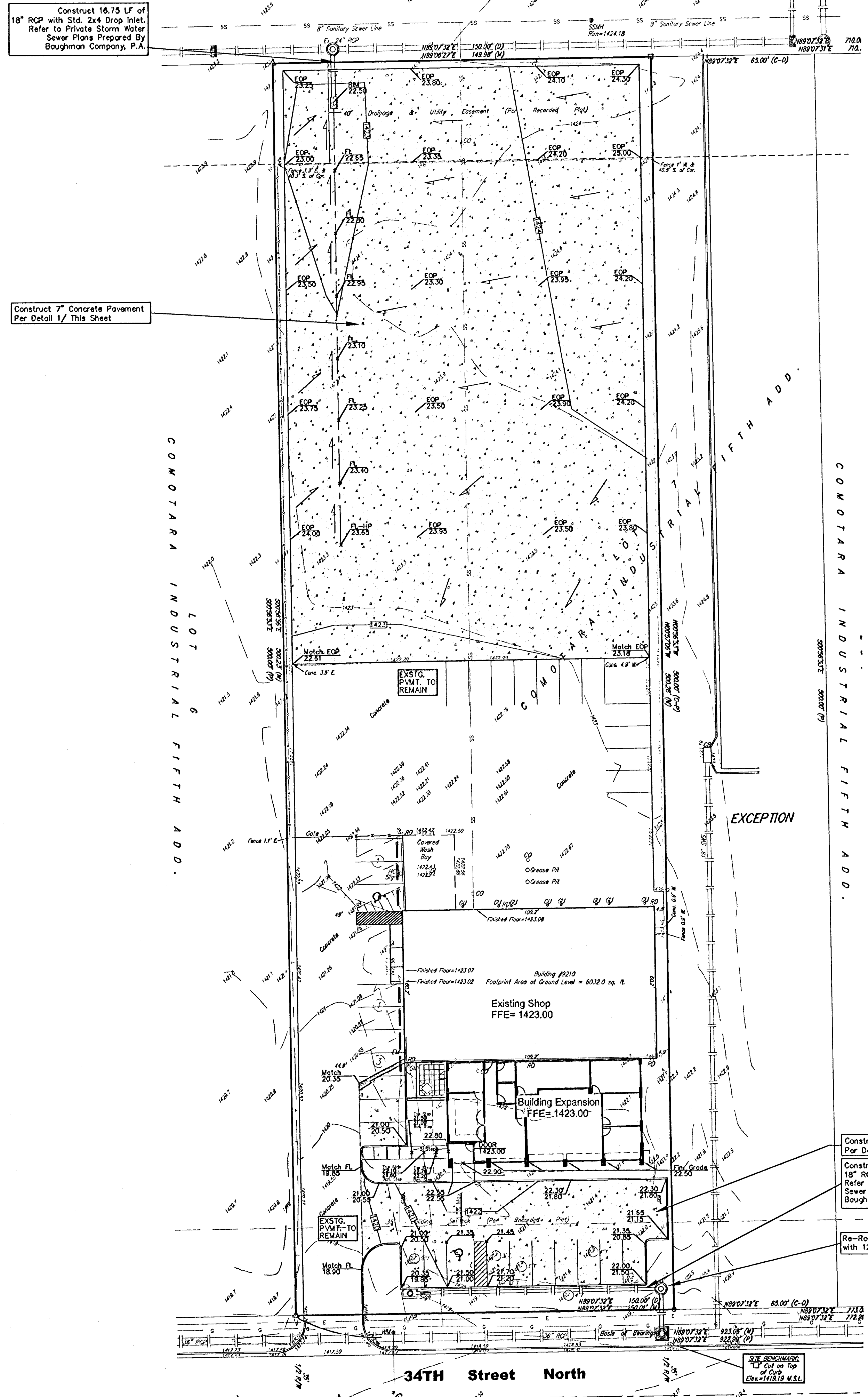
4 SIDEWALK JOINTS
NOT TO SCALE



5 WHEELCHAIR RAMP DETAIL
NOT TO SCALE



WHEELCHAIR RAMP PLAN VIEW



SITE GRADING PLAN
No Scale - For Reference Only



Baughman
ENGINEERING SURVEYING & PLANNING
LANDSCAPE ARCHITECTURE
Baughman Company, P.A.
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