

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
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The Contractor must notify the following in case of an emergency:

AT&T	1-800-246-8464
Black Hills Energy	1-800-694-8989
City of Wichita Water & Sewer	1-316-219-8921
City of Wichita Stormwater	1-316-268-4090
City of Wichita Traffic	1-316-268-4034
Cox Communications	1-888-249-3530
Kansas Gas Service	1-888-482-4950
Westar Energy	1-800-544-4857
- Utility Service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved burrow location.
- Trees and shrubs in a public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the inspecting engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.
- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- All applicable fees (tap, equity, in lieu of & main benefit) must be paid before any connections can be made on this project. Quotes can be obtained on fees by calling 316-268-4555.
- City maintenance of sanitary sewer ends at the last structure in the easement or right-of-way.
- All stubs and capped pipes shall be located with green plastic tape in the same manner as risers.
- Connecting to Existing Manholes: Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where the stub is unusable due to the elevation grade or alignment, the Contractor shall remove the stub and plug the hole, and reshape the existing manhole invert to provide smooth flow. Where connecting to an existing manhole that does not have an existing stub, the Contractor shall core cut into existing manhole wall to make connecting using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost to connecting to existing manholes is incidental to the project.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.
- The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractors proposed method for maintaining sewage flow shall be submitted and approved by the Sewer Maintenance Division (316-268-4073) prior to starting and by-passing of sewage flows.
- Any over excavation from manhole and pipe removal shall be backfilled with AB-3 compacted to 90-95% ASTM D698.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.

SANITARY SEWER to serve SALTGRASS STEAKHOUSE

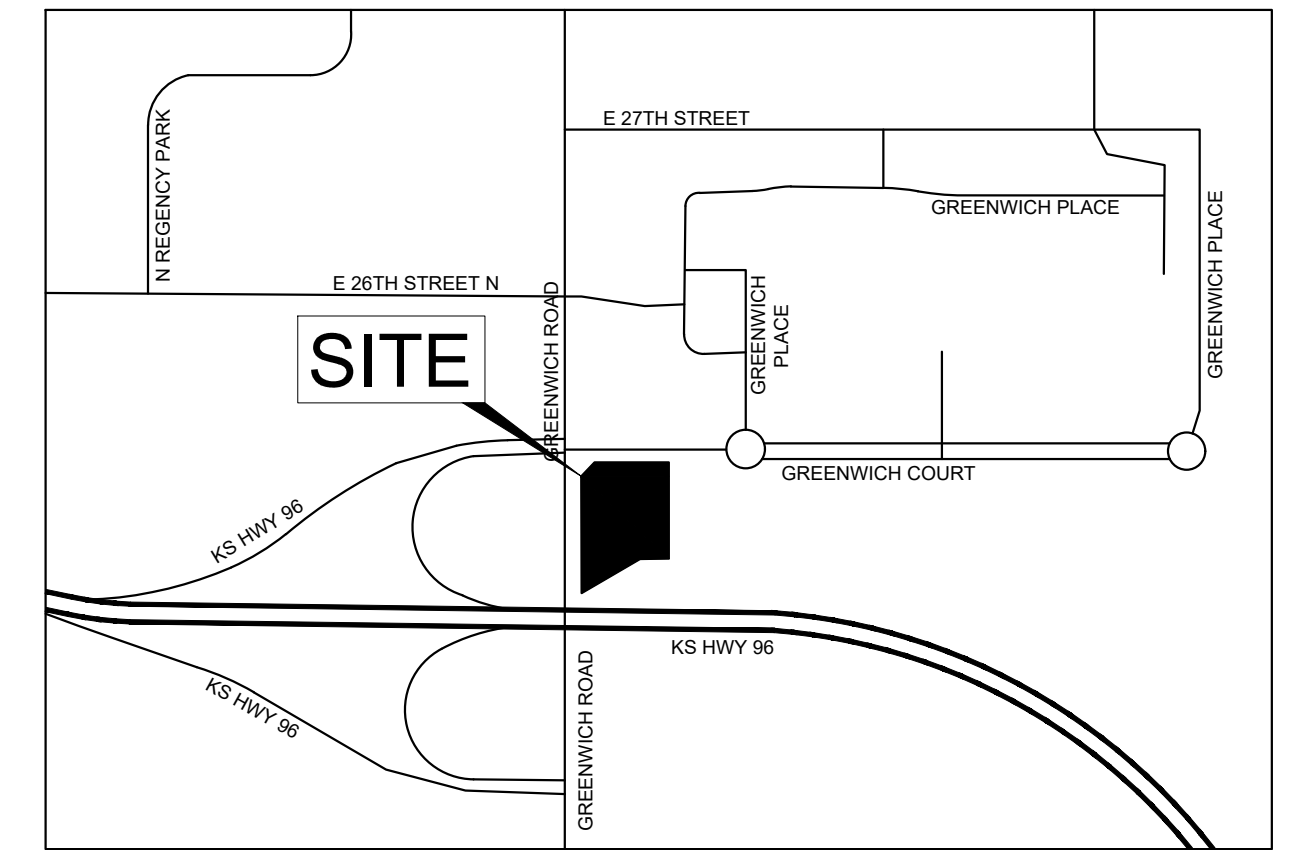
2624 N. GREENWICH ROAD

CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer

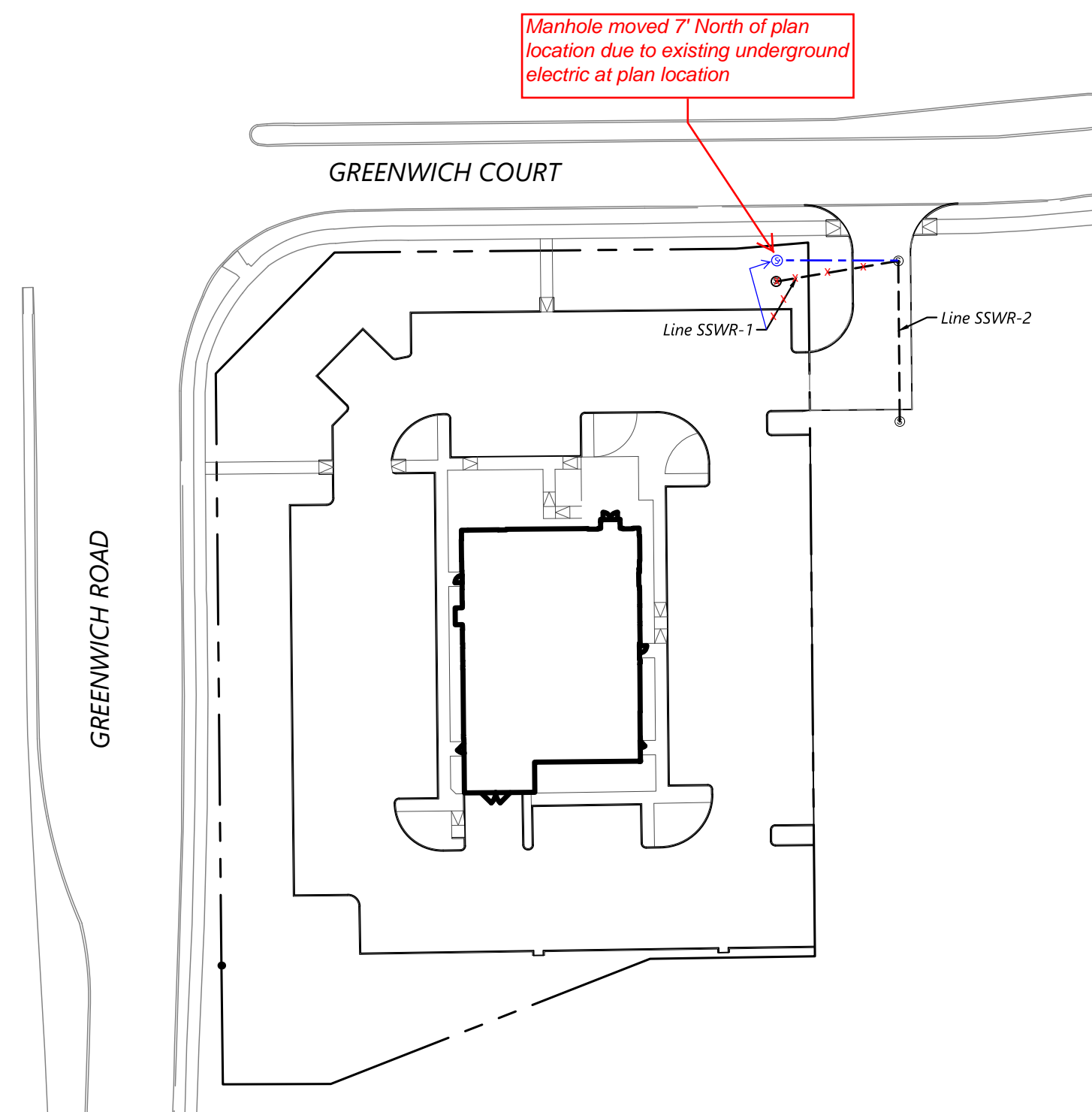
Project Number

2371 PPS (184011)



Vicinity Map

T. Mason - City of Wichita, Inspector
Release Date: 6/3/2019
: apr 6/3/2019



Sheet Index

- Title Sheet
- Site Plan
- Plan & Profile
- Erosion Control Plan
- Erosion Control Details
- Alta Survey

AS BUILTS

Contractor: Wilks Underground
Inspector: Matt Perez
Date: 4-12-19

117 E. Lewis,
Wichita, KS 67202 (316)264-0242

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS
ENGINEERING DIVISION

Engineering - *John Hatcher* 1.11.19

Utilities - *[Signature]* 1-11-19

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

January, 2019

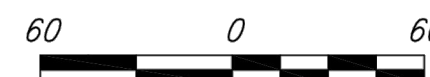
Design Consultant: Kimley-Horn

KANSAS REGISTRATION NO. E-480

13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: JENNIFER MOORE, P.E.

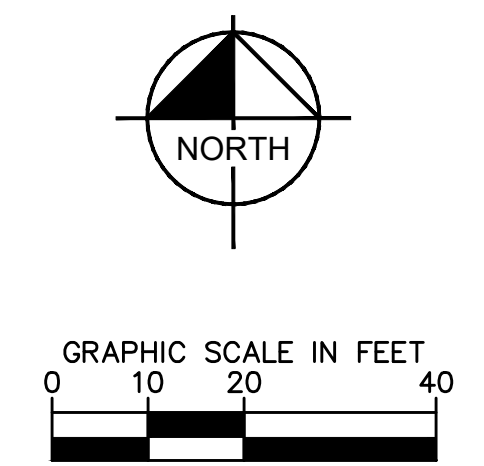
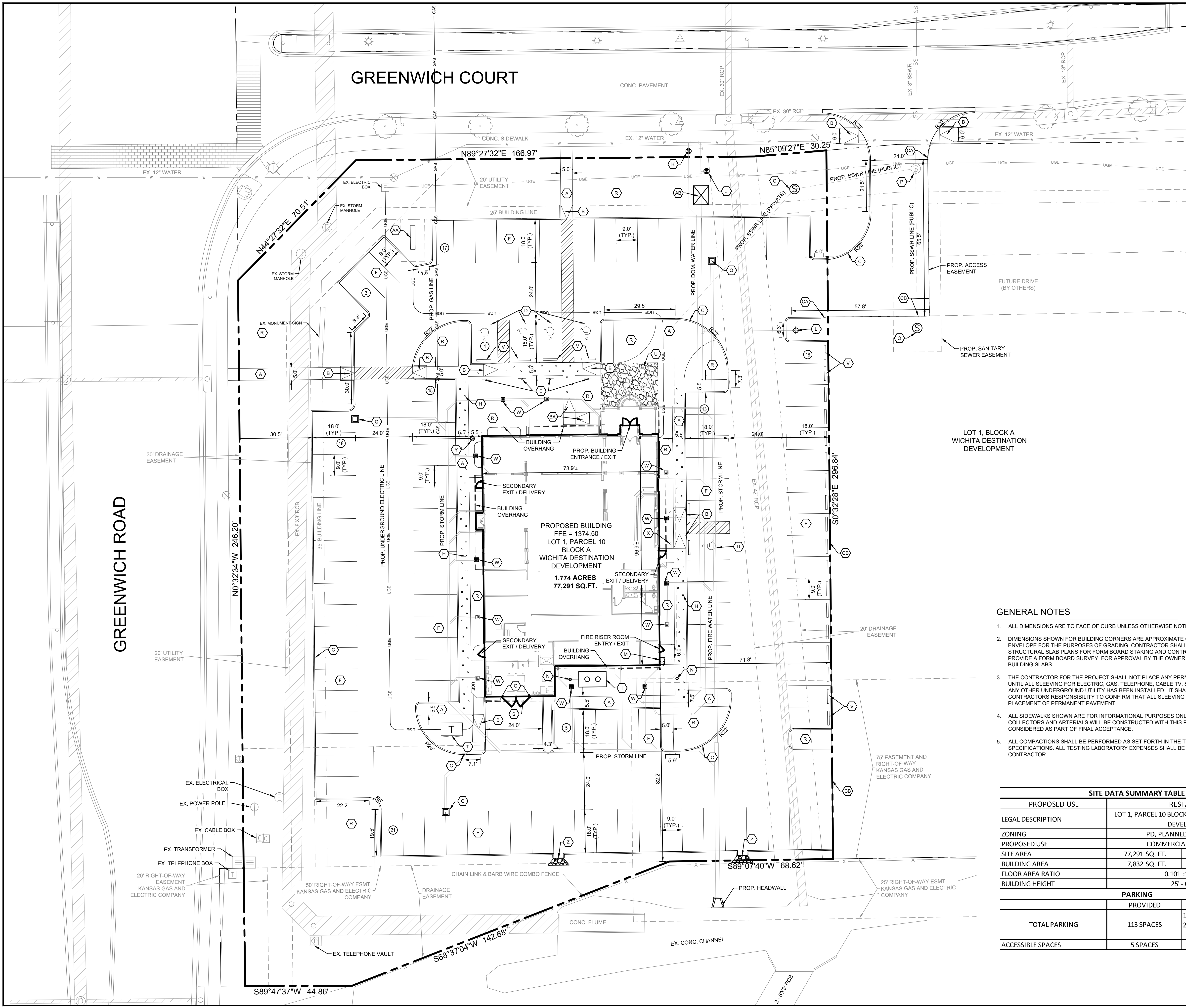
Benchmarks:

- BM #1: "L" CUT ON THE NORTH CORNER OF A CONCRETE TRAFFIC SIGNAL MANHOLE, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF GREENWICH COURT AND GREENWICH. ELEV= 1372.56'
- BM #2: SQUARE CUT ON THE 2ND CURB INLET WEST OF FIRST ROUND-A-BOUN, ON THE SOUTH SIDE OF GREENWICH COURT. ELEV= 1370.97'



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DESIGNED BY: KIMLEY-HORN AND ASSOCIATES, INC.
DATE: 1/11/2019 10:08:14 AM
PROJECT: 2371 PPS (184011)
SHEET: 1 OF 1
SCALE: AS SHOWN
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DRAWN BY: KIMLEY-HORN AND ASSOCIATES, INC.
CHECKED BY: KIMLEY-HORN AND ASSOCIATES, INC.
DATE: 1/11/2019 10:08:14 AM

Images: Courtesy of Google Earth, Aerial, XREF: 1-2326
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LEGEND

---	PROPERTY LINE
---	FULL DEPTH SAWCUT
○	PARKING STALL COUNT
⊕	TRANSFORMER PAD
⊙	PROPOSED WATER METER
●	EXISTING TREE
- - -	PROPOSED LIMITS OF CONSTRUCTION

KEYNOTE LEGEND

A	PROPOSED CONCRETE SIDEWALK (REFERENCE ARCH PLANS FOR STAMP IN-LAY)
B	ADA ACCESSIBLE CURB RAMP
BA	ADA ACCESSIBLE RAMP
C	PROPOSED 6" CURB
CA	PROPOSED FADE-OUT CURB
CB	PROPOSED NO-CURB
D	ACCESSIBLE PARKING SPACE (TYP.)
E	ADA ACCESSIBLE SIGN (TYP.) (REF ARCH PLAN FOR DETAIL)
F	90 DEGREE 9'X18' PARKING SPACE (TYP.) [4" WIDE WHITE PAINTED STRIPE (TYP.)]
G	PROPOSED BOLLARDS
H	HORSESHOE IN-LAY (REF. ARCH PLAN FOR DETAIL)
I	PROPOSED GREASE TRAP (BY OTHERS)
J	PROPOSED 1" IRRIGATION METER
K	PROPOSED 2" WATER METER
L	PROPOSED FIRE HYDRANT
M	PROPOSED FDC
N	PROPOSED SANITARY SEWER CLEANOUT
O	PROPOSED SANITARY SEWER MANHOLE
P	EXISTING SANITARY SEWER MANHOLE
Q	PROPOSED CATCH BASIN
R	LANDSCAPE AREA
S	PROPOSED DUMPSTER ENCLOSURE W/ GATES (REFERENCE ARCHITECTURE PLAN FOR DETAILS)
T	PROPOSED TRANSFORMER PAD (REFERENCE LANDSCAPE PLAN FOR SCREENING)
U	STAMPED FLAGSTONE PAVEMENT (REFERENCE ARCHITECTURE PLAN FOR DETAIL)
V	PROPOSED WHEEL STOP
W	PROPOSED LANDSCAPE DRAIN
X	PROPOSED ACCESSIBLE PARKING TO-GO SIGNAGE
Y	PROPOSED GAS METER
Z	PROPOSED 4" CONC. FLUME
AA	PROPOSED MONUMENT SIGN
AB	PROPOSED FIRE SERVICE VAULT

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - DIMENSIONS SHOWN FOR BUILDING CORNERS ARE APPROXIMATE OUTER BUILDING ENVELOPE FOR THE PURPOSES OF GRADING. CONTRACTOR SHALL USE ARCHITECT'S STRUCTURAL SLAB PLANS FOR FORM BOARD STAKING AND CONTRACTOR SHALL PROVIDE A FORM BOARD SURVEY, FOR APPROVAL BY THE OWNER, PRIOR TO POURING BUILDING SLABS.
 - THE CONTRACTOR FOR THE PROJECT SHALL NOT PLACE ANY PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, OR ANY OTHER UNDERGROUND UTILITY HAS BEEN INSTALLED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACEMENT OF PERMANENT PAVEMENT.
 - ALL SIDEWALKS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. SIDEWALKS ALONG COLLECTORS AND ARTERIALS WILL BE CONSTRUCTED WITH THIS PROJECT AND WILL BE CONSIDERED AS PART OF FINAL ACCEPTANCE.
 - ALL COMPACTIONS SHALL BE PERFORMED AS SET FORTH IN THE TECHNICAL SPECIFICATIONS. ALL TESTING LABORATORY EXPENSES SHALL BE PAID FOR BY THE CONTRACTOR.

SITE DATA SUMMARY TABLE		
PROPOSED USE	RESTAURANT	
LEGAL DESCRIPTION	LOT 1, PARCEL 10 BLOCK A, WICHITA DESTINATION DEVELOPMENT	
ZONING	PD, PLANNED DEVELOPMENT	
PROPOSED USE	COMMERCIAL / RESTAURANT	
SITE AREA	77,291 SQ. FT.	1.77 AC.
BUILDING AREA	7,832 SQ. FT.	10.1 %
FLOOR AREA RATIO	0.101 :1	
BUILDING HEIGHT	25' - 0"	
PARKING		
TOTAL PARKING	PROVIDED	REQUIRED
	113 SPACES	1 SPACE/ 3 SEATS 276 SEATS
ACCESSIBLE SPACES	5 SPACES	92 SPACES 4 SPACES

BENCHMARKS

BM #1: "L" CUT ON THE NORTH CORNER OF A CONCRETE TRAFFIC SIGNAL MANHOLE, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF GREENWICH COURT AND GREENWICH. ELEV= 1372.56'

BM #2: SQUARE CUT ON THE 2ND CURB INLET WEST OF FIRST ROUND-A-BOUT, ON THE SOUTH SIDE OF GREENWICH COURT. ELEV= 1370.97'

13455 NOEL ROAD, SUITE 700, DALLAS, TEXAS
PHONE: 972-770-1300 FAX: 972-239-3820
KANSAS REGISTERED ENGINEERING FIRM E-480

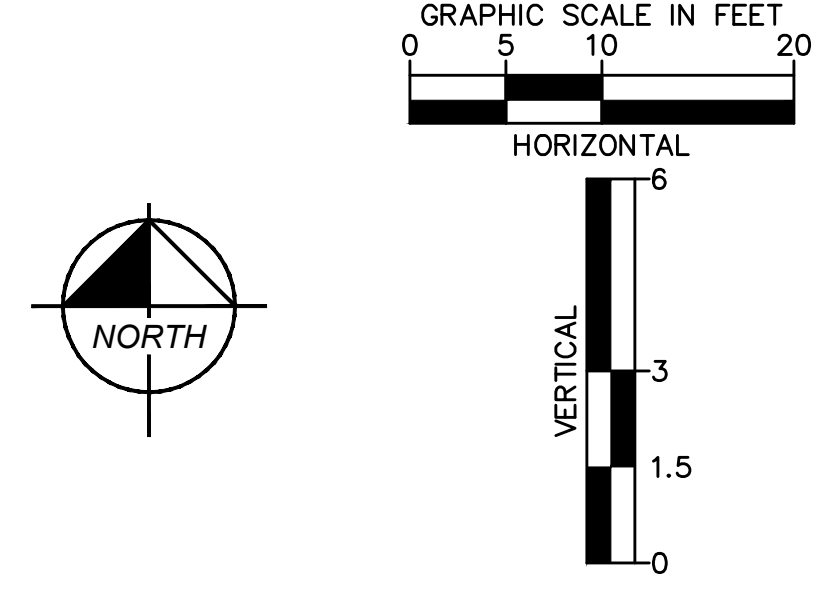
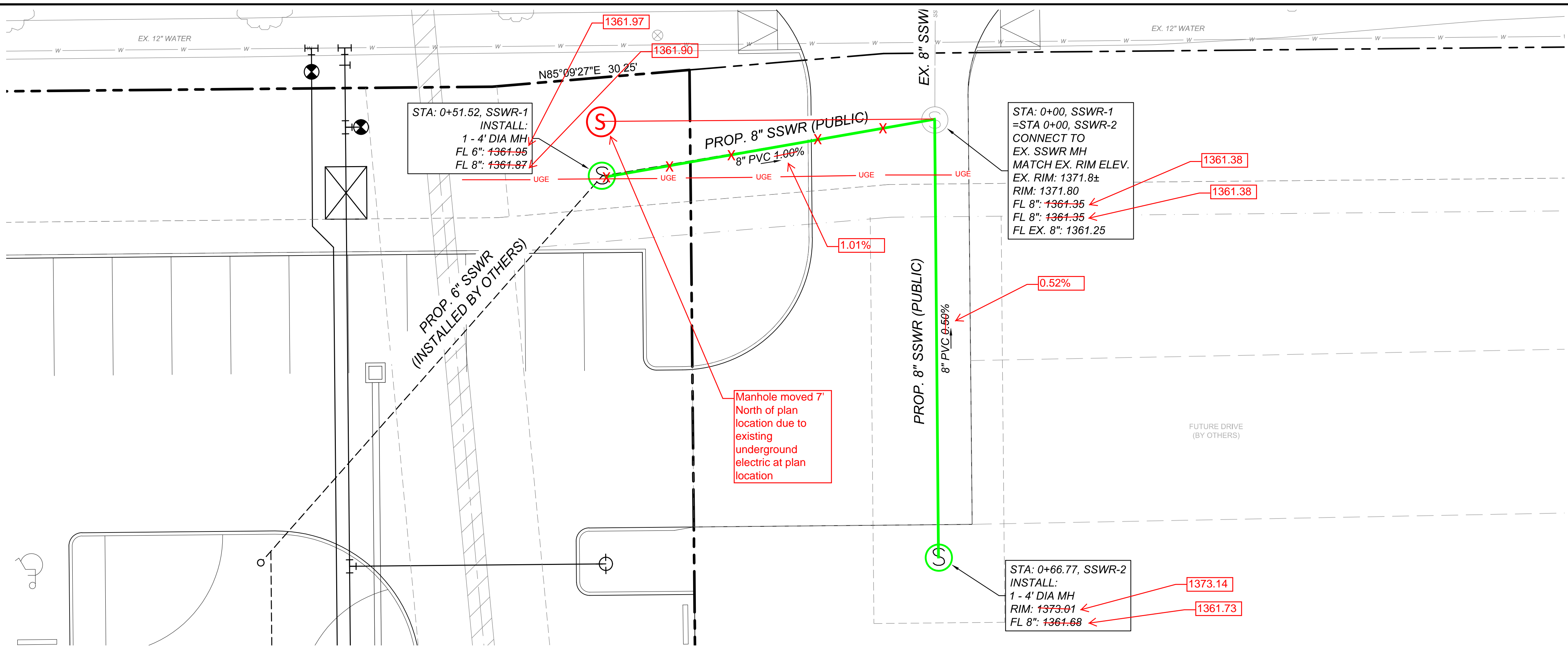
SALTGRASS STEAKHOUSE

2624 N. GREENWICH ROAD
WICHITA, KS

SITE PLAN

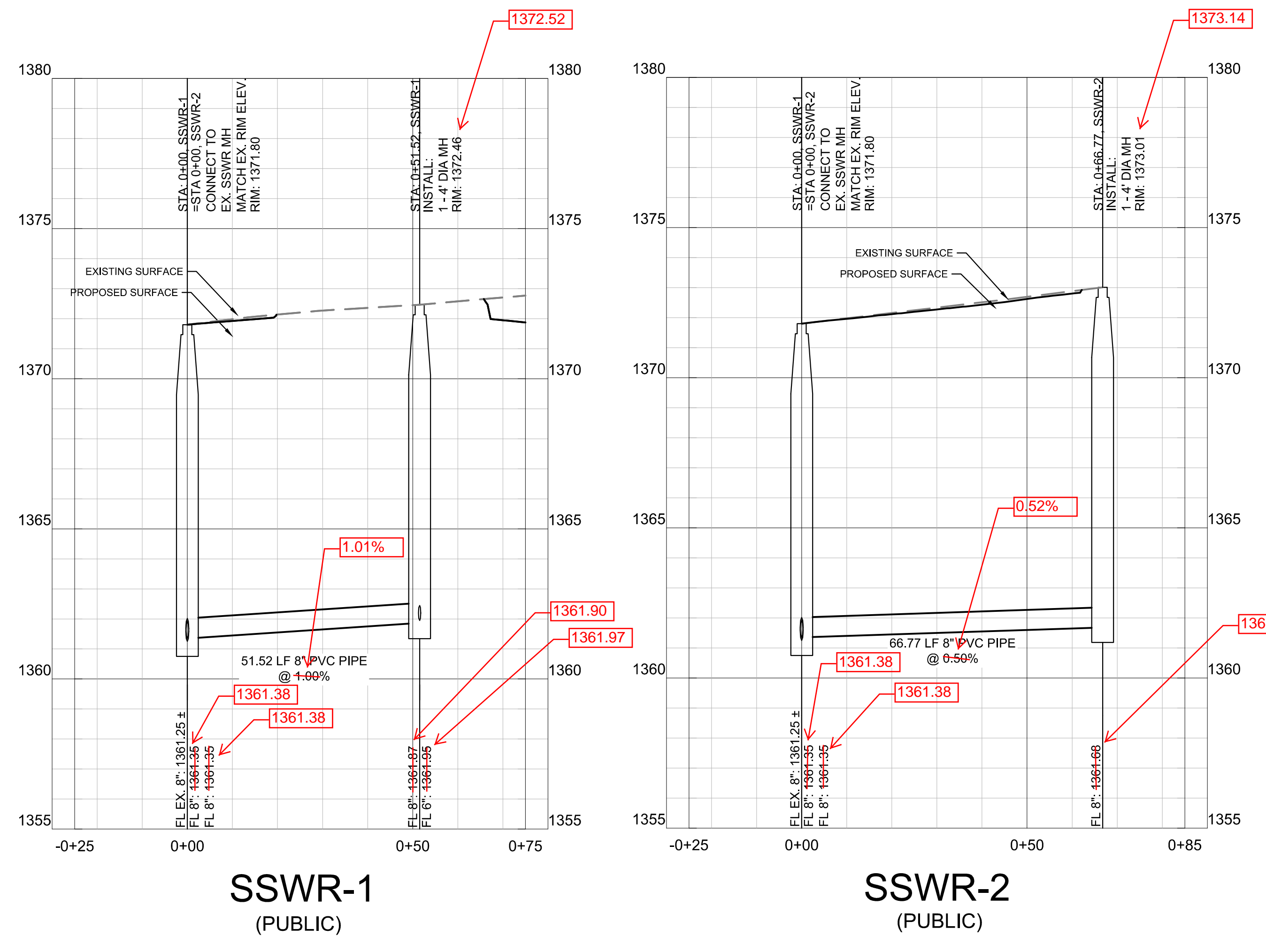
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SHEET NUMBER PPS-0.1					No. REVISIONS DATE BY

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LEGEND

	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND COMMUNICATIONS LINE
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED WATER VALVE
	EXISTING FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED FIRE DEPARTMENT CONNECTION
	FLOW LINE ELEVATION
	PROPOSED STORM GRATE INLET PER CITY DETAIL SW-108
	PROPOSED LANDSCAPE DRAIN
	PROPOSED GAS METER



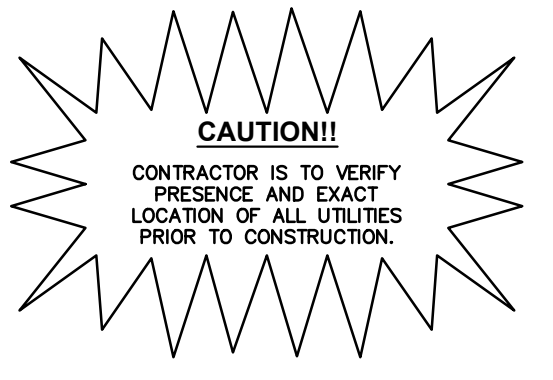
AS BUILTS

Contractor: Wilks Underground
 Inspector: Matt Perez
 Date: 4-12-19

KEMILLER
 ENGINEERING PA

117 E. Lewis,
 Wichita, KS 67202 (316)264-0242

- UTILITY PLAN NOTES**
- REFER TO KDHEKS DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
 - UTILITY CONNECTIONS TERMINATE 5' FROM BUILDING ENVELOPE. SEE MEP PLANS FOR CONTINUATION. CONTRACTOR TO COORDINATE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO BIDDING.
 - CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.
 - ANY WATER OR SANITARY SEWER SERVICE LOCATED OUTSIDE OF A STREET, ALLEY OR EASEMENT SHALL BE INSTALLED BY A PLUMBER AND BE INSPECTED BY CODE ENFORCEMENT.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO, CITY/COUNCIL RIGHTS-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES.
 - ALL SANITARY SEWER CLEANOUT LIDS TO BE SET AT A FINISH GRADE. REFER GRADING PLAN FOR DETAILS.



BENCHMARKS

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 KANSAS REGISTERED ENGINEERING FIRM E-480

KEVIN S. GASKEL
 LICENSED PROFESSIONAL ENGINEER
 18257
 1/9/2018

PROJECT No.	080814H
DATE:	JAN. 2019
SCALE:	AS SHOWN
DESIGNED BY:	MM
DRAWN BY:	RNI
CHECKED BY:	JGM

SALTGRASS STEAKHOUSE
 2624 N. GREENWICH ROAD
 WICHITA, KS

PPS PLAN AND PROFILE

SHEET NUMBER
PPS-1

DATE
 REVISIONS
 No. BY

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