

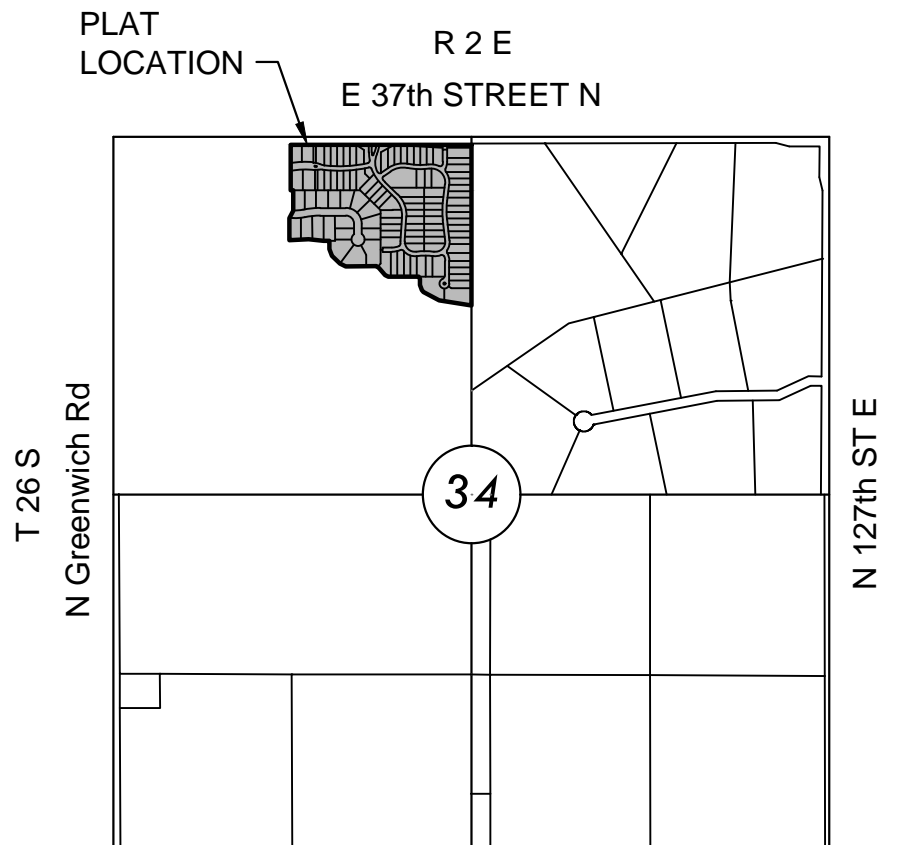
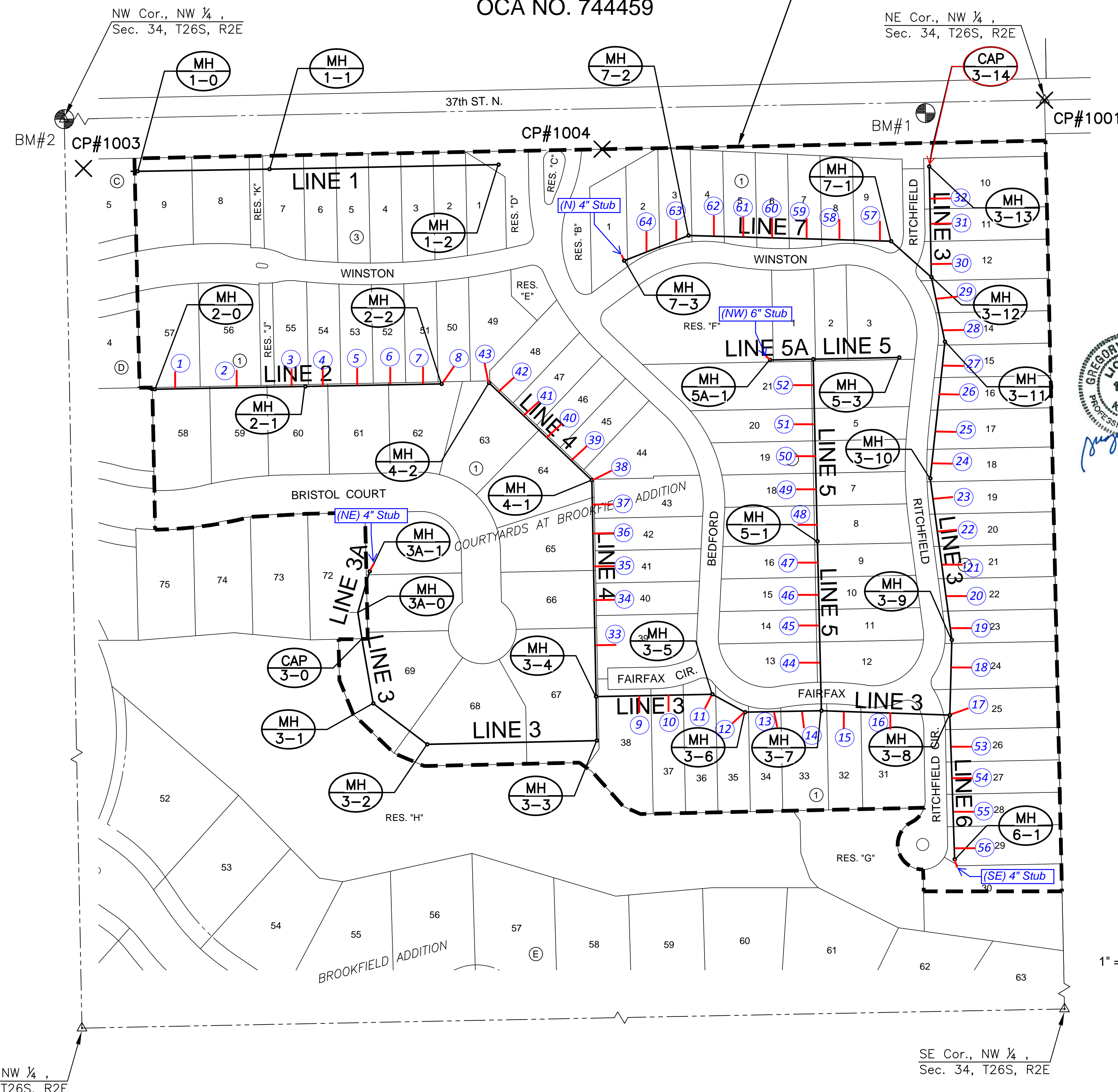
**GENERAL NOTES**

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS:  
KANSAS ONE-CALL 687-2470  
THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:  
AT&T 1-800-246-8464  
BLACK HILLS ENERGY (GAS) 1-800-694-8989  
CITY OF WICHITA WATER & SEWER 1-316-219-8921  
CITY OF WICHITA STORMWATER 1-316-268-4090  
CITY OF WICHITA TRAFFIC 1-316-268-4034  
COX COMMUNICATIONS 1-888-249-3530  
KANSAS GAS SERVICE 1-888-482-4950  
WESTAR ENERGY 1-800-544-4857
- UTILITY SERVICE LINES, POLES, ETC. ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE CITY ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- THE ENGINEERING DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FIELD GRADES BY THE CONTRACTOR.
- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER, BRIAN COON AT [traffic@wichita.gov](mailto:traffic@wichita.gov) BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE SEEDED AND MULCHED. COST SHALL BE CONSIDERED SUBSIDIARY TO PROJECT SEEDING.
- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
- EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDED AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUND SHALL BE CONSTRUCTED WITH NEW DEVELOPMENT A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.
- ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
- CONNECTING TO EXISTING MANHOLES:  
PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST TO CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR SHALL PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS FLOW OF SEWAGE THROUGH CONSTRUCTION. CONTRACTOR'S PROPOSED METHOD FOR MAINTAINING SEWAGE FLOW SHALL BE SUBMITTED AND APPROVED BY THE SEWER MAINTENANCE DIVISION (316-268-4073) PRIOR TO STARTING AND BY-PASSING OF SEWAGE FLOWS.
- ALL TRAFFIC CONTROL DEVICES IN THE WORK ZONE (INCLUDING MARKINGS AND SIGNS) AND THEIR INSTALLATION AND MAINTENANCE SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL DEVICES IN THE TRAVELED WAY OR CLEAR ZONE SHALL BE CRASHWORTHY (NCHRP REPORT 350 OR MASH COMPLIANT).  
[http://safety.fhwa.dot.gov/roadwaydept/policy/guide/road hardware/wzd](http://safety.fhwa.dot.gov/roadwaydept/policy/guide/road%20hardware/wzd)
- ALL CONSTRUCTION EQUIPMENT, INCLUDING VEHICLES, MATERIALS, AND DEBRIS, SHALL BE STORED OUTSIDE OF THE CLEAR ZONE. WHERE THIS CANNOT BE ACHIEVED THE CONTRACTOR SHALL PLACE APPROPRIATE SIGNS, SUBJECT IDENTIFIERS, AND/OR BARRICADES IN COMPLIANCE WITH MUTCD.
- EXCEPT WHEN REQUIRED FOR SAFETY, TRAFFIC CONTROL SHALL NOT BLOCK ANY LANES OR SIDEWALKS WHEN WORK IS NOT BEING PERFORMED.
- FOLLOW THE LINK BELOW FOR DETAILS ON SPECIFIC CITY OF WICHITA STANDARD DETAILS:  
<http://www.wichita.gov/PWU/Pages/Regulations.aspx>
- DEVELOPER FOR THIS PROJECT IS:  
RITCHIE ASSOCIATES, INC.  
8100 E. 22nd ST. N., 8LDG 1000  
WICHITA, KANSAS, 67226  
KEVIN MULLEN  
316-684-7300 EXT. 103

SANITARY SEWER  
TO SERVE

**COURTYARDS AT BROOKFIELD ADD.**  
LATERAL 180, WIS

PROJECT NO. 468-85264  
THE CITY OF WICHITA, KANSAS  
GARY JANZEN, P.E. - CITY ENGINEER  
OCA NO. 744459



McCullough Construction - Contractor  
J. Brand - City of Wichita, Field Project Engineer  
S. Stripling - City of Wichita, Inspector  
As-built  
Stubs & Risers  
Final Acceptance Date: 8/2/18  
Completion Date: 9/29/2020  
pdf: 8/28/2018 apr



SHEET NO.	DESCRIPTION
01	TITLE SHEET
02-04	DETAILS
05	SAN LINE 1
06	SAN LINE 2
07-08	SAN LINE 3
09	SAN LINES 3A & 4
10	SAN LINES 5 & 5A
11	SAN LINE 6
12	SAN LINE 7
13	BUBBLE MAP
14	COORDINATE TABLES
15-19	BMP SHEETS
20-21	FINAL PLAT

**BENCHMARKS**

BM#1	CHISELED SQUARE ON CENTERLINE HEADWALL OF R.C.B.C. ON SOUTH SIDE OF 37TH ST. N., 176.9' W. AND 15.8'S. OF THE NE COR. OF NW 1/4 SEC. 34, TWP 26-S, R-2-E ELEVATION = 1373.80 (NAVD 88)
BM#2	TOP OF 1 INCH PIPE AT NW COR., NW 1/4 SEC. 34, TWP 26-S, R-2-E. ELEVATION = 1380.04 (NAVD 88)

**CONTROL**

1001	2" DISC AT SECTION N=1710481.529, E=1688693.979 ELEV.=1373.00 CORNER
1002	1" PIPE AT SECTION CORNER - BM #2 N=1710429.511, E=1686021.965 ELEV.=1380.04
1003	1/2" REBAR W/ BAUGHMAN ID CAP N=1710356.549, E=1686123.907 ELEV.=1378.51
1004	1/2" REBAR W/ BAUGHMAN ID CAP N=1710408.816, E=1688038.505 ELEV.=1379.94
1005	BENCHMARK #1 N=1710462.199, E=1688517.490 ELEV.=1373.80

DATUM:  
The Project Horizontal Datum is based on the NAD83, Kansas State Plane Coordinate System, South Zone, (US Survey Feet Definition), with a Combined Adjustment Factor (CAF) of 1.000120014. All coordinate and dimensions shown on these plans are modified to Ground values.



SANTITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

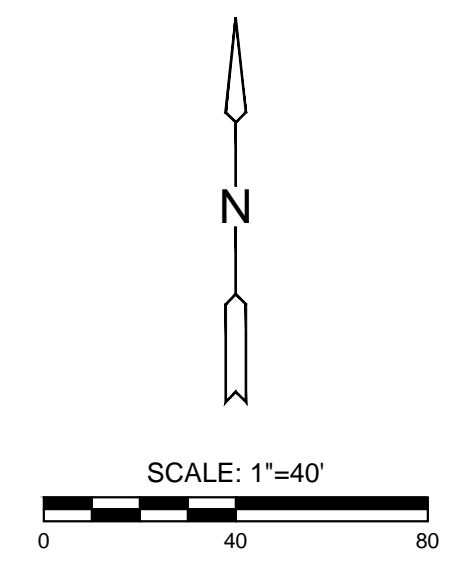
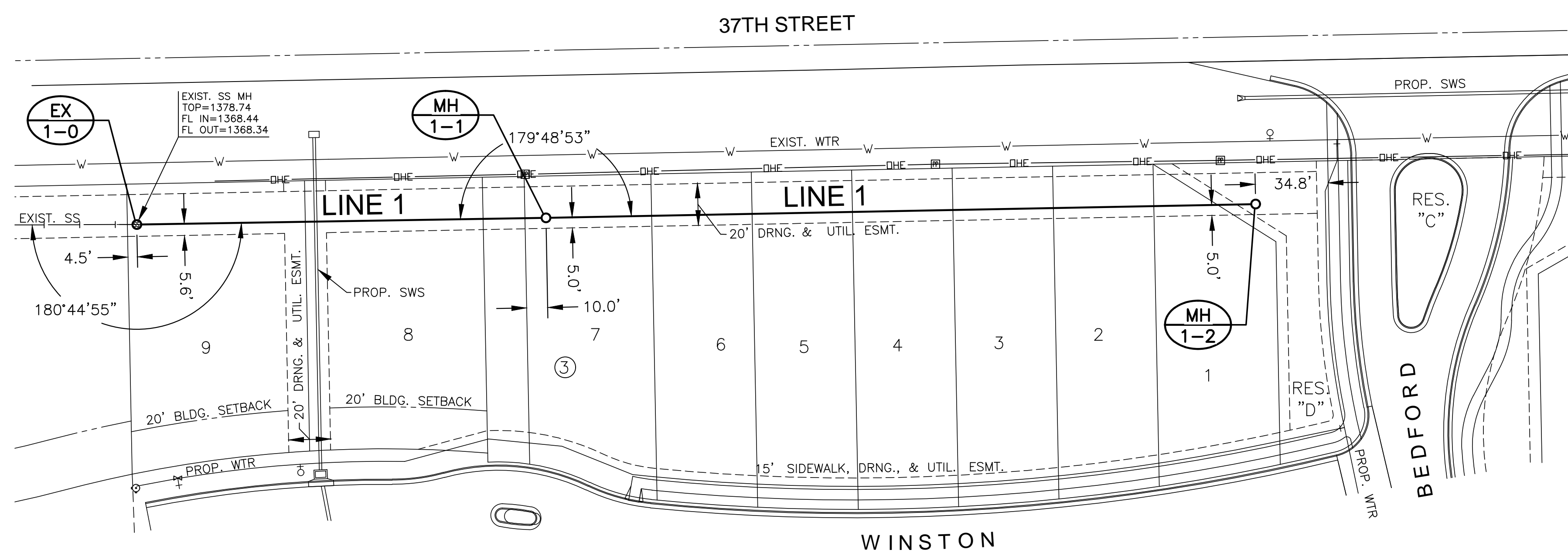
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**TITLE SHEET**

PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 100'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA
NO.	REVISION	DATE
SHEET NO.		
01 OF 21		

PLOTTED: Tuesday, December 12, 2017 @ 02:01PM

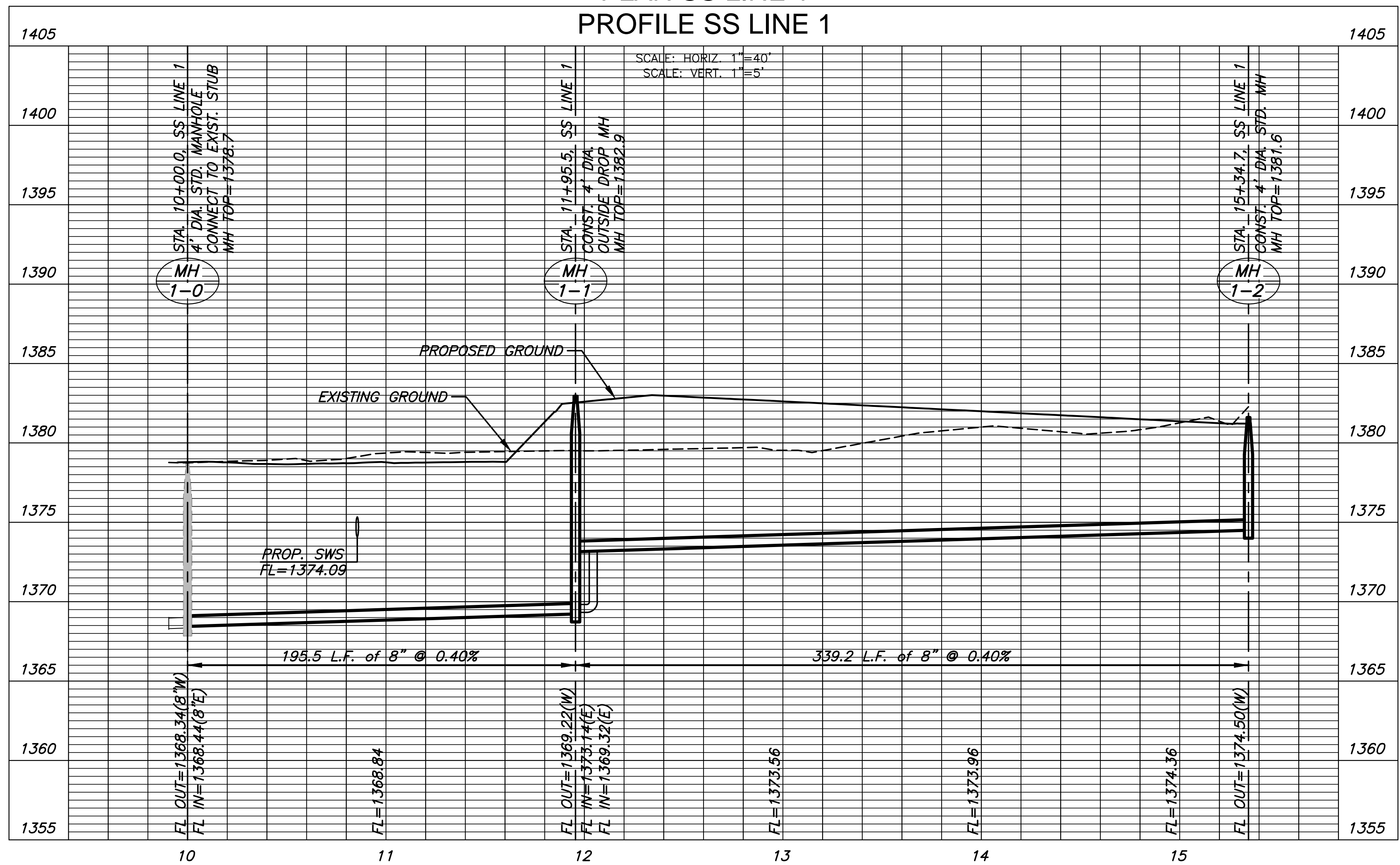
J:\PROJECTS\2016\1601010317 - PERFECTION COURTYARDS AT BROOKFIELD, 16317 CAD\SHS\05 CIVIL\SAN\16317-BP-01.DWG



**NOTE:**  
CONTRACTOR TO VERIFY THE  
DEPTH AND LOCATION OF EXISTING  
UTILITIES PRIOR TO CONSTRUCTION.

AS-BUILT

PLAN SS LINE 1  
PROFILE SS LINE 1



SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

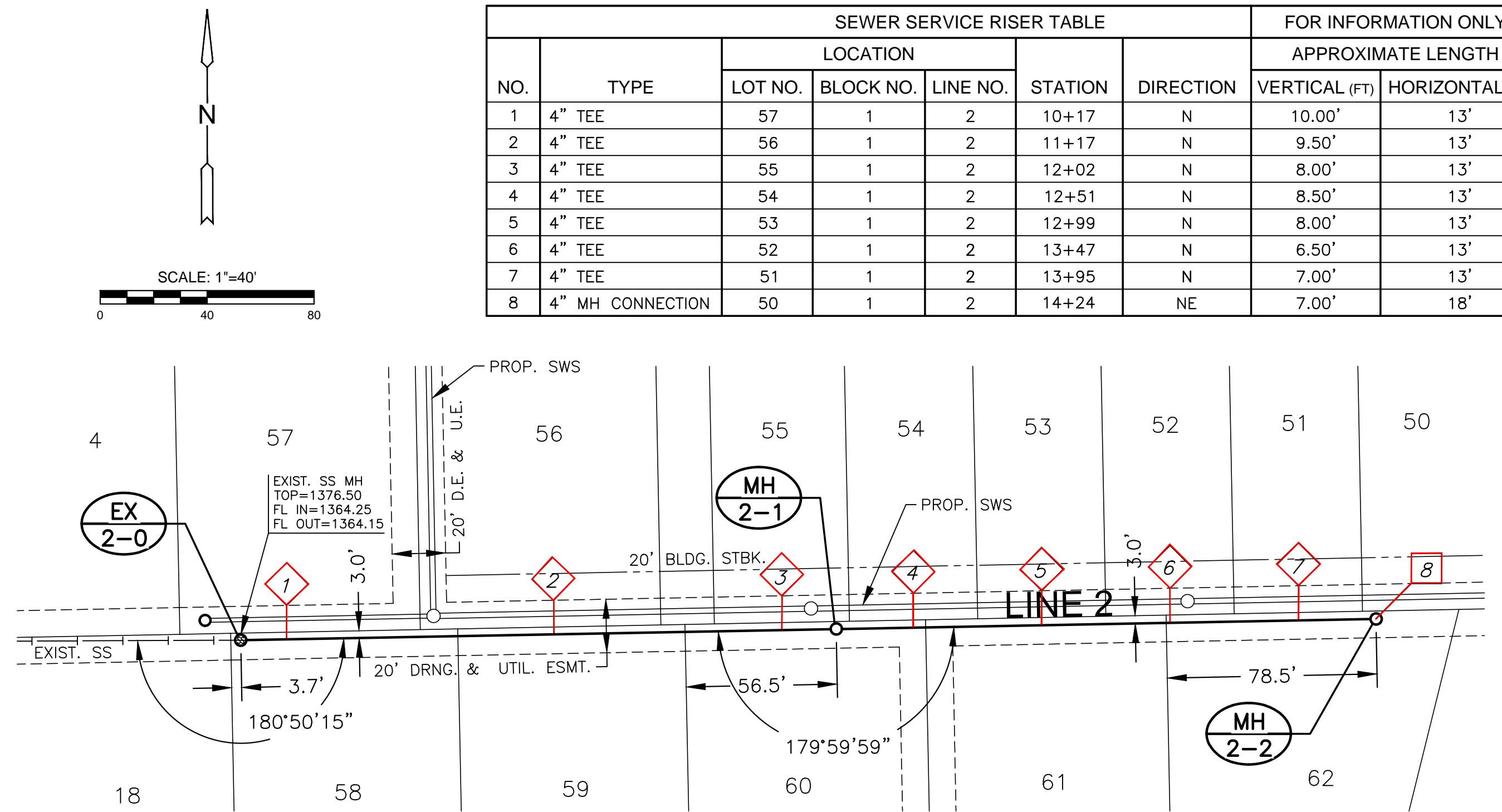
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SAN LINE 1		
PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA
NO.	REVISION	DATE
SHEET NO. 05 OF 21		

PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA

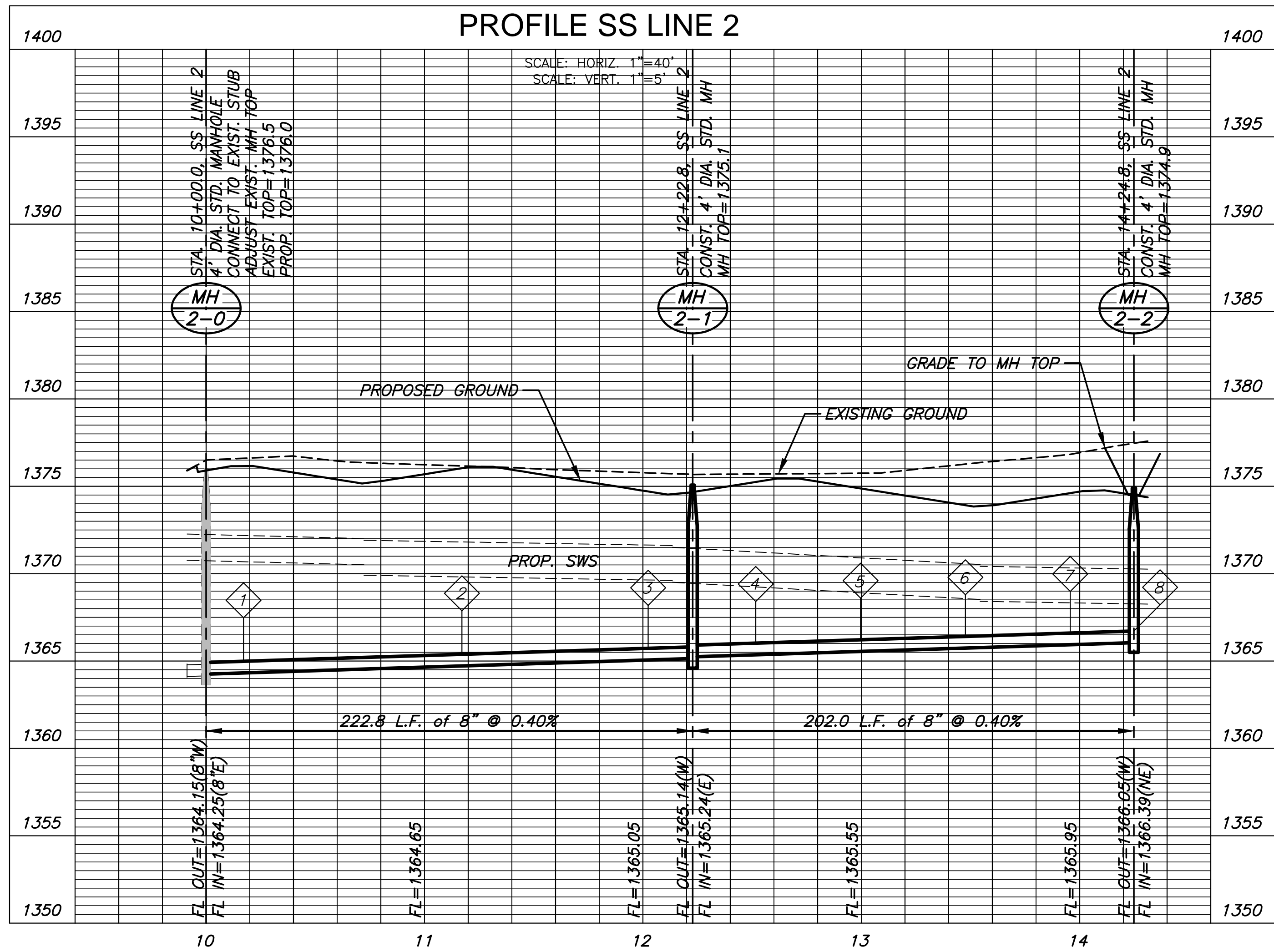
NO.	REVISION	DATE
SHEET NO.		
06 OF 21		

NO.	TYPE	LOCATION				DIRECTION	FOR INFORMATION ONLY		Distance from Main to Riser	Distance from	
		LOT NO.	BLOCK NO.	LINE NO.	STATION		APPROXIMATE LENGTH	VERTICAL (FT)		HORIZONTAL (FT)	Upstream MH
1	4" TEE	57	1	2	10+17	N	10.00'	13'	13' Lt.	206'	17'
2	4" TEE	56	1	2	11+17	N	9.50'	13'	13' Lt.	106'	117'
3	4" TEE	55	1	2	12+02	N	8.00'	13'	13' Lt.	21'	202'
4	4" TEE	54	1	2	12+51	N	8.50'	13'	13' Lt.	174'	29'
5	4" TEE	53	1	2	12+99	N	8.00'	13'	13' Lt.	126'	76'
6	4" TEE	52	1	2	13+47	N	6.50'	13'	13' Lt.	78'	124'
7	4" TEE	51	1	2	13+95	N	7.00'	13'	13' Lt.	30'	172'
8	4" MH CONNECTION	50	1	2	14+24	NE	7.00'	18'	18' Lt.	MH Stub	NE



**NOTE:**  
CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

**PLAN SS LINE 2  
PROFILE SS LINE 2**

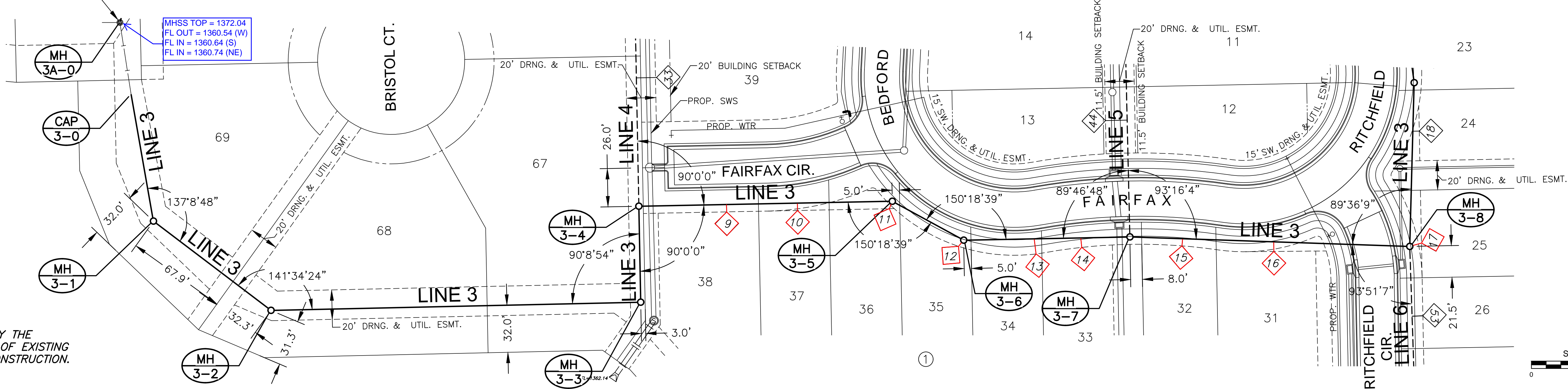


PLOTED: Tuesday, December 12, 2017 @ 02:02PM

Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE						FOR INFORMATION ONLY		
	Upstream MH	Downstream MH	NO.	TYPE	LOCATION			DIRECTION	APPROXIMATE LENGTH		
					LOT NO.	BLOCK NO.	LINE NO.		VERTICAL (FT)	HORIZONTAL (FT)	
5' Rt.	113'	59'	9	4" TEE	38	1	3	15+63	S	8.00'	5'
5' Rt.	65'	107'	10	4" TEE	37	1	3	16+11	S	8.50'	5'
3.5' Rt.	MH Stub	SW	11	4" MH CONNECTION	36	1	3	16+78	SW	9.00'	3.5'
3.5' Rt.	MH Stub	S	12	4" MH CONNECTION	35	1	3	17+33	S	8.50'	3.5'
10.5' Rt.	66'	47'	13	4" TEE	34	1	3	17+79	S	8.00'	10.5'

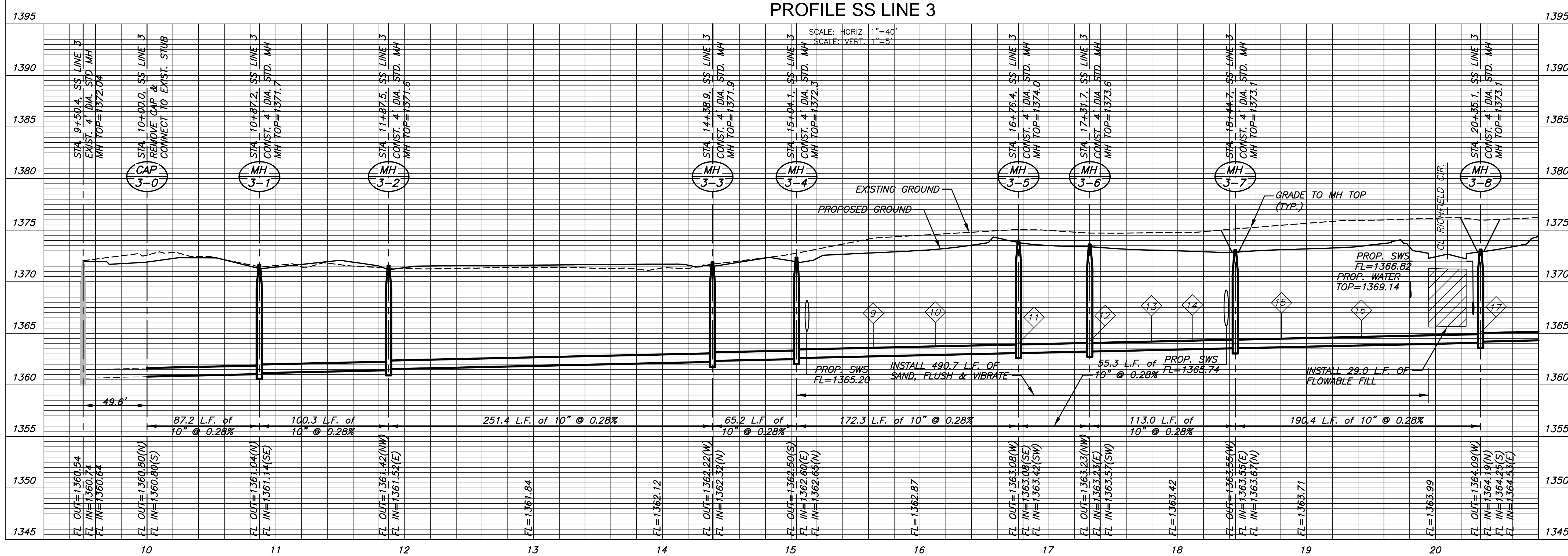
Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE						FOR INFORMATION ONLY		
	Upstream MH	Downstream MH	NO.	TYPE	LOCATION			DIRECTION	APPROXIMATE LENGTH		
					LOT NO.	BLOCK NO.	LINE NO.		VERTICAL (FT)	HORIZONTAL (FT)	
6.5' Rt.	34'	79'	14	4" TEE	33	1	3	18+11	S	7.50'	6.5'
5' Rt.	155'	35'	15	4" TEE	32	1	3	18+80	S	7.40'	5'
6.5' Rt.	93'	97'	16	4" TEE	31	1	3	19+42	S	8.00'	6.5'
6' Rt.	MH Stub	E	17	4" MH CONNECTION	25	1	3	20+37	E	7.00'	6'

Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE						FOR INFORMATION ONLY		
	Upstream MH	Downstream MH	NO.	TYPE	LOCATION			DIRECTION	APPROXIMATE LENGTH		
					LOT NO.	BLOCK NO.	LINE NO.		VERTICAL (FT)	HORIZONTAL (FT)	
6.5' Rt.	34'	79'	14	4" TEE	33	1	3	18+11	S	7.50'	6.5'
5' Rt.	155'	35'	15	4" TEE	32	1	3	18+80	S	7.40'	5'
6.5' Rt.	93'	97'	16	4" TEE	31	1	3	19+42	S	8.00'	6.5'
6' Rt.	MH Stub	E	17	4" MH CONNECTION	25	1	3	20+37	E	7.00'	6'



NOTE: CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PLAN SS LINE 3  
PROFILE SS LINE 3



SANTITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

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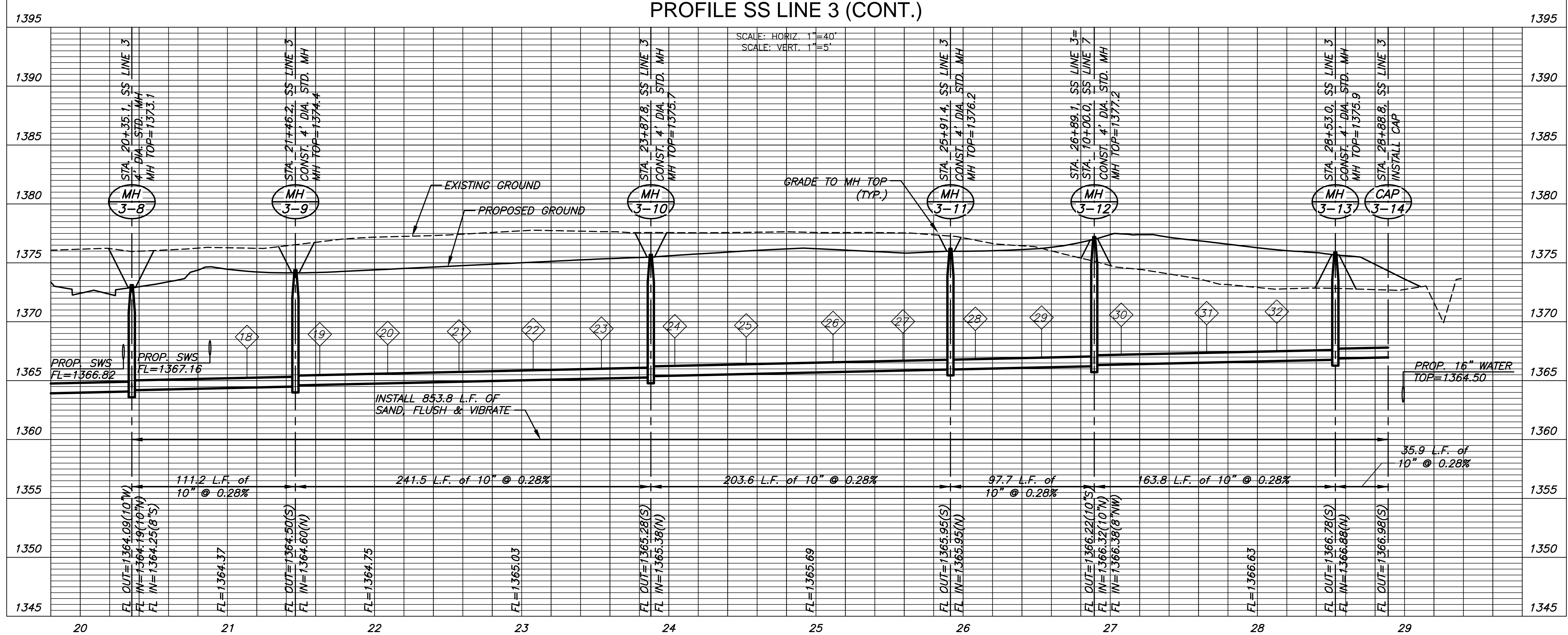
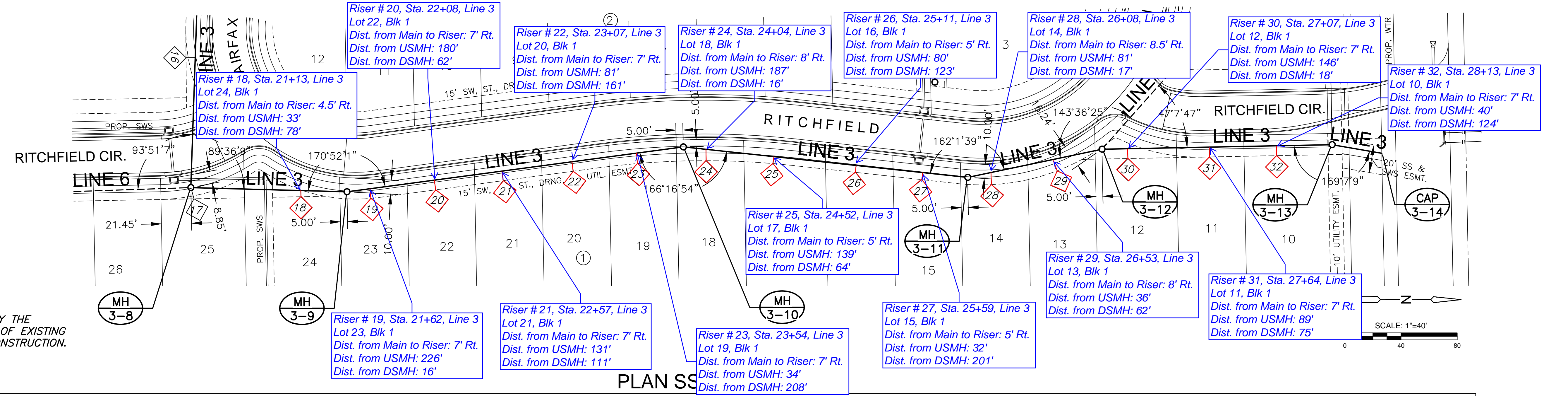
<b>SAN LINE 3</b>	
PROJECT NO.	468-85264
DATE	DEC. 2017
SCALE	1" = 40'
DESIGNED	DRAWN
DFL	RWB
CHECKED	GJA
NO.	REVISION
DATE	
SHEET NO. 07 OF 21	

PLOTTED: Wednesday, December 13, 2017 9:09:59AM

SEWER SERVICE RISER TABLE							FOR INFORMATION ONLY		
NO.	TYPE	LOCATION			STATION	DIRECTION	APPROXIMATE LENGTH		
		LOT NO.	BLOCK NO.	LINE NO.			VERTICAL (FT)	HORIZONTAL (FT)	
18	4" TEE	24	1	3	21+13	E	8.00'	4.5'	
19	4" TEE	23	1	3	21+62	E	8.00'	7'	
20	4" TEE	22	1	3	22+08	E	8.00'	7'	
21	4" TEE	21	1	3	22+57	E	8.00'	7'	
22	4" TEE	20	1	3	23+07	E	8.00'	7'	

SEWER SERVICE RISER TABLE							FOR INFORMATION ONLY		
NO.	TYPE	LOCATION			STATION	DIRECTION	APPROXIMATE LENGTH		
		LOT NO.	BLOCK NO.	LINE NO.			VERTICAL (FT)	HORIZONTAL (FT)	
23	4" TEE	19	1	3	23+54	E	8.50'	7'	
24	4" TEE	18	1	3	24+04	E	8.50'	8'	
25	4" TEE	17	1	3	24+52	E	8.50'	5'	
26	4" TEE	16	1	3	25+11	E	8.50'	5'	
27	4" TEE	15	1	3	25+59	E	8.00'	5'	

SEWER SERVICE RISER TABLE							FOR INFORMATION ONLY		
NO.	TYPE	LOCATION			STATION	DIRECTION	APPROXIMATE LENGTH		
		LOT NO.	BLOCK NO.	LINE NO.			VERTICAL (FT)	HORIZONTAL (FT)	
28	4" TEE	14	1	3	26+08	E	8.00'	8.5'	
29	4" TEE	13	1	3	26+53	E	8.50'	8'	
30	4" TEE	12	1	3	27+07	E	8.25'	7'	
31	4" TEE	11	1	3	27+64	E	8.50'	7'	
32	4" TEE	10	1	3	28+13	E	7.50'	7'	

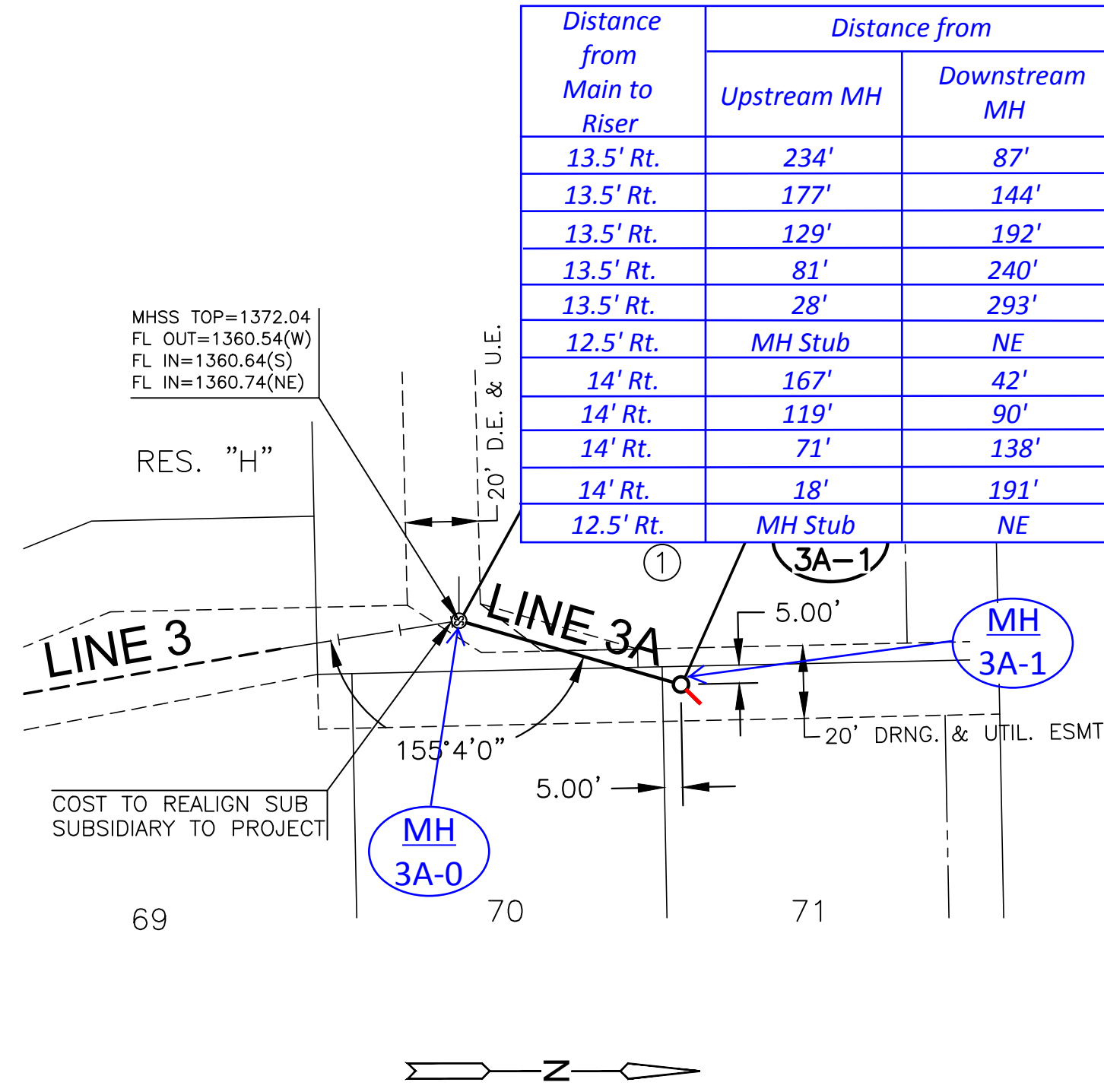


SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

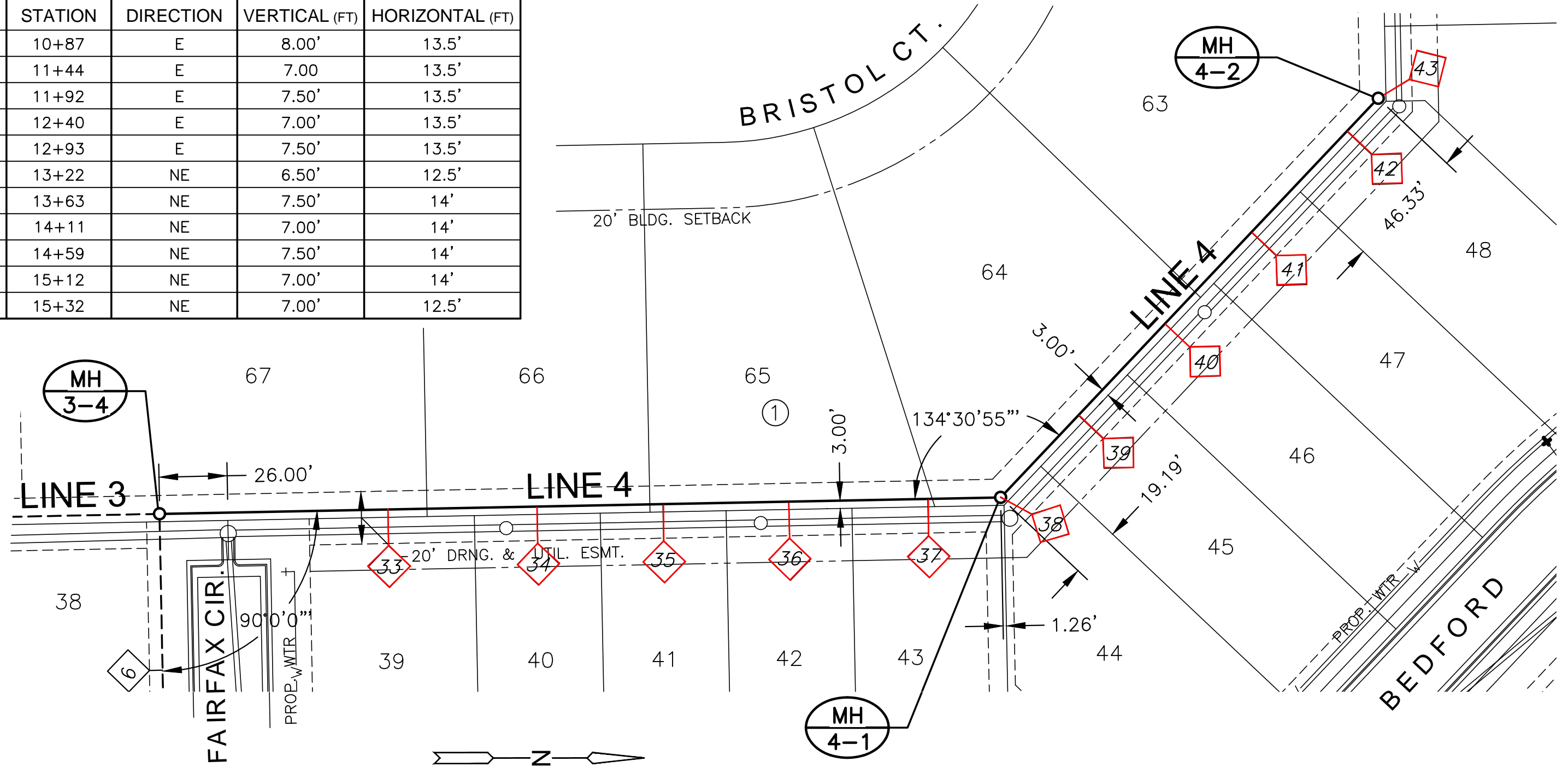
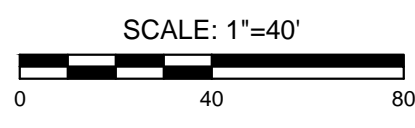
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SAN LINE 3 (CONT.)	
PROJECT NO.	468-85264
DATE	DEC. 2017
SCALE	1" = 40'
DESIGNED	DRAWN
DFL	RWB
CHECKED	GJA
NO.	REVISION
DATE	
SHEET NO. 08 OF 21	

J:\PROJECTS\2017\1601010317 - PERFECTION COURTYARDS AT BROOKFIELD, 16317 CAD\SHS\05 CIVIL\SAN\16317-8P-05.DWG  
 PLOTTED: Tuesday, December 12, 2017 @ 02:24PM  
 MKEC  
 Wichita, KS • 316-684-9600

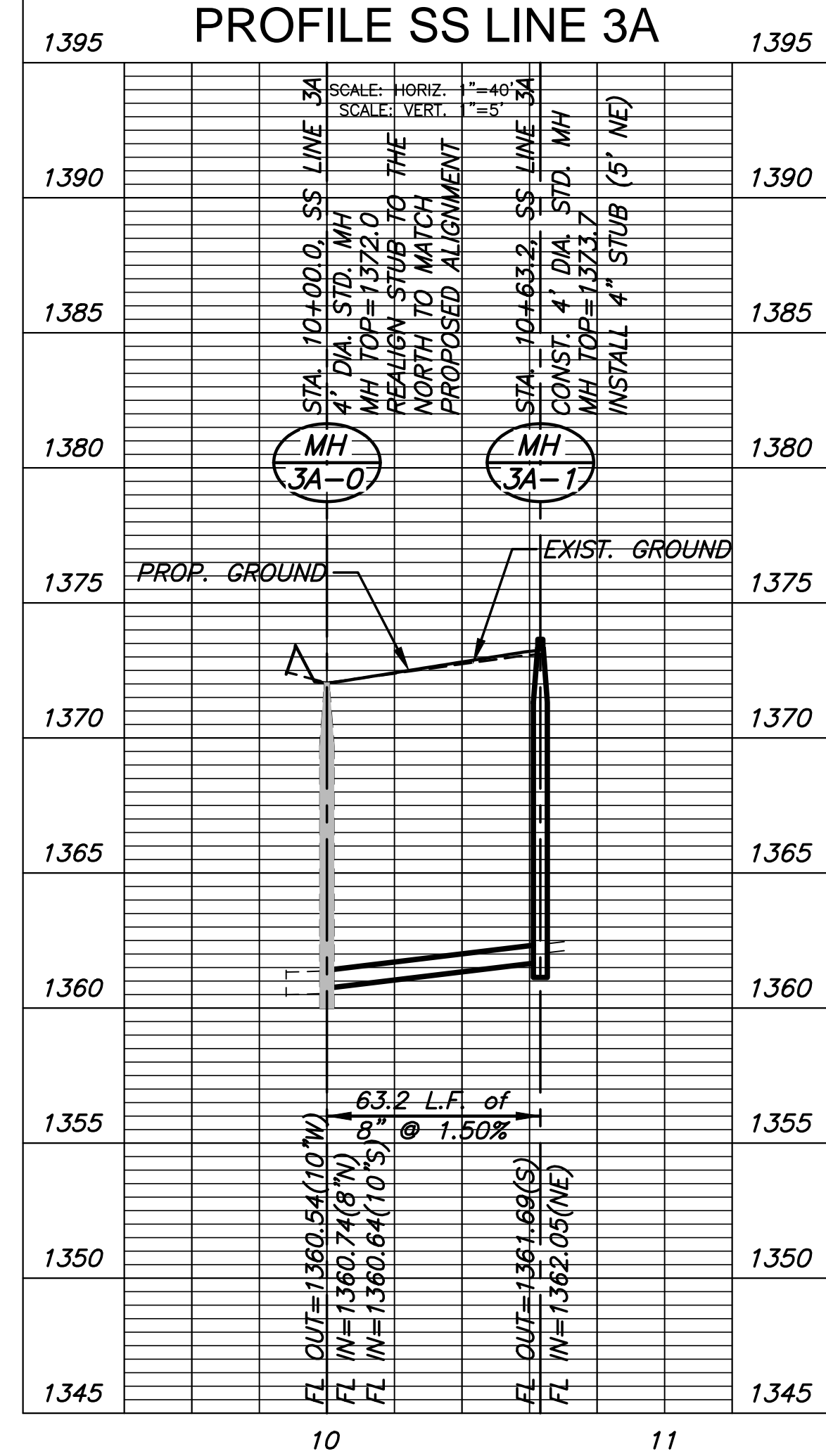


Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE							FOR INFORMATION ONLY	
	Upstream MH	Downstream MH	NO.	TYPE	LOT NO.	BLOCK NO.	LINE NO.	STATION	DIRECTION	VERTICAL (FT)	HORIZONTAL (FT)
13.5' Rt.	234'	87'	33	4" TEE	39	1	4	10+87	E	8.00'	13.5'
13.5' Rt.	177'	144'	34	4" TEE	40	1	4	11+44	E	7.00'	13.5'
13.5' Rt.	129'	192'	35	4" TEE	41	1	4	11+92	E	7.50'	13.5'
13.5' Rt.	81'	240'	36	4" TEE	42	1	4	12+40	E	7.00'	13.5'
13.5' Rt.	28'	293'	37	4" TEE	43	1	4	12+93	E	7.50'	13.5'
12.5' Rt.	MH Stub	NE	38	4" MH CONNECTION	44	1	4	13+22	NE	6.50'	12.5'
14' Rt.	167'	42'	39	4" TEE	45	1	4	13+63	NE	7.50'	14'
14' Rt.	119'	90'	40	4" TEE	46	1	4	14+11	NE	7.00'	14'
14' Rt.	71'	138'	41	4" TEE	47	1	4	14+59	NE	7.50'	14'
14' Rt.	18'	191'	42	4" TEE	48	1	4	15+12	NE	7.00'	14'
12.5' Rt.	MH Stub	NE	43	4" MH CONNECTION	49	1	4	15+32	NE	7.00'	12.5'

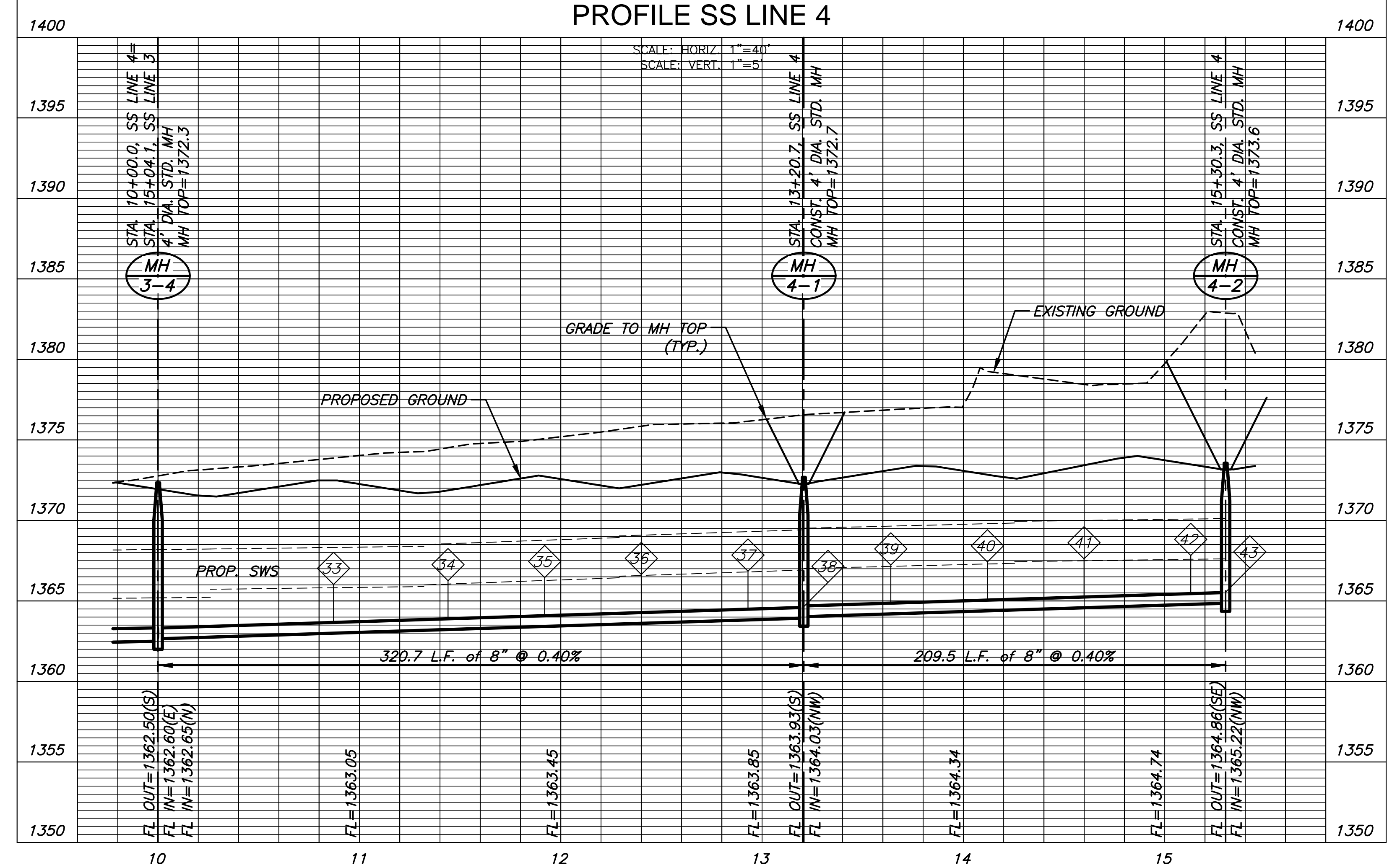


**NOTE:**  
 CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PLAN SS LINE 3A



PLAN SS LINE 4

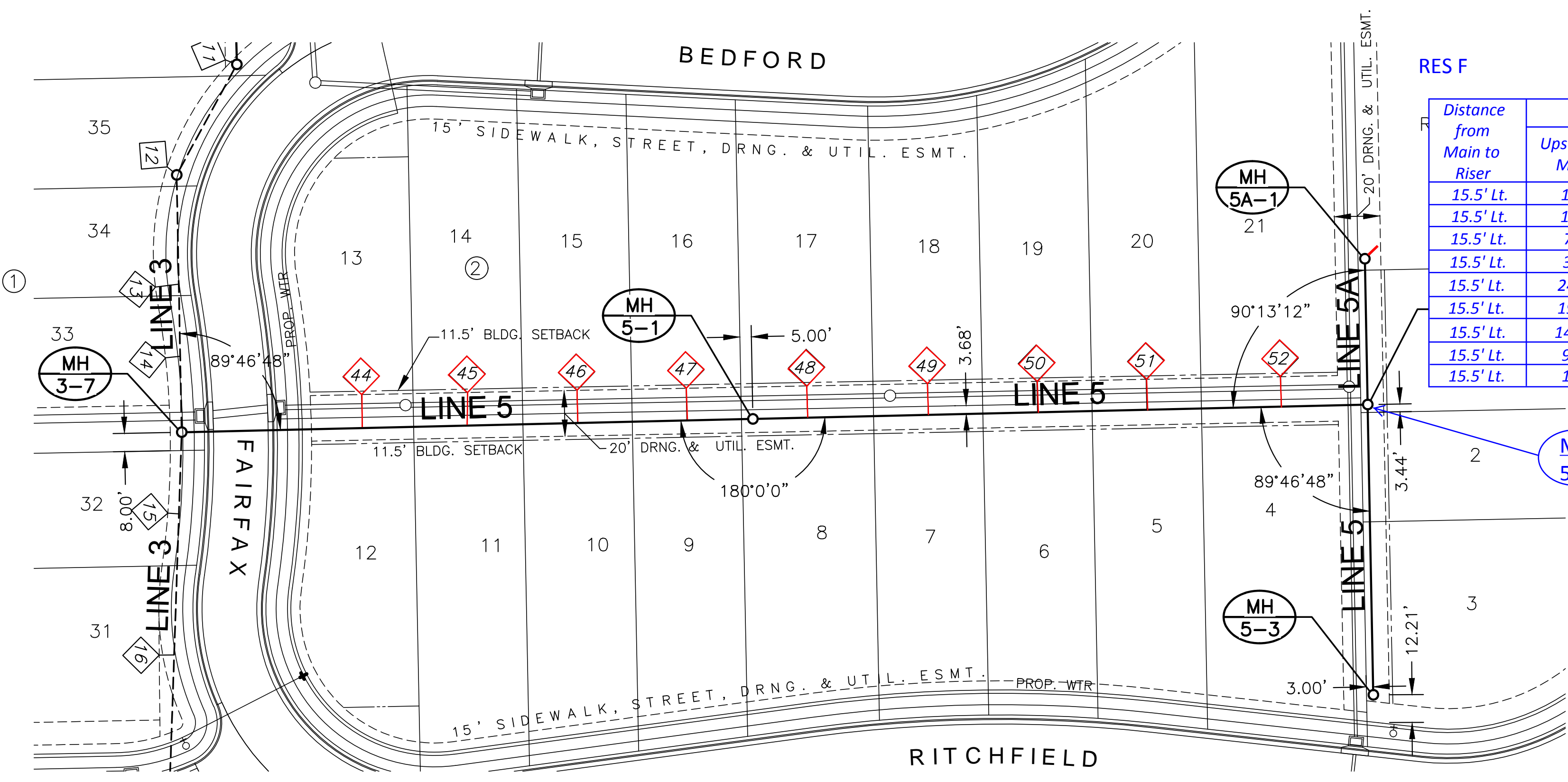


SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

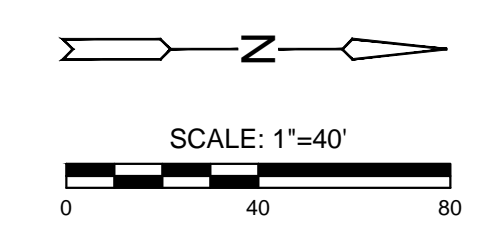
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SAN LINES 3A & 4		
PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA
NO.	REVISION	DATE
SHEET NO. 09 OF 21		

PLOTED: Wednesday, December 13, 2017 @ 09:10AM



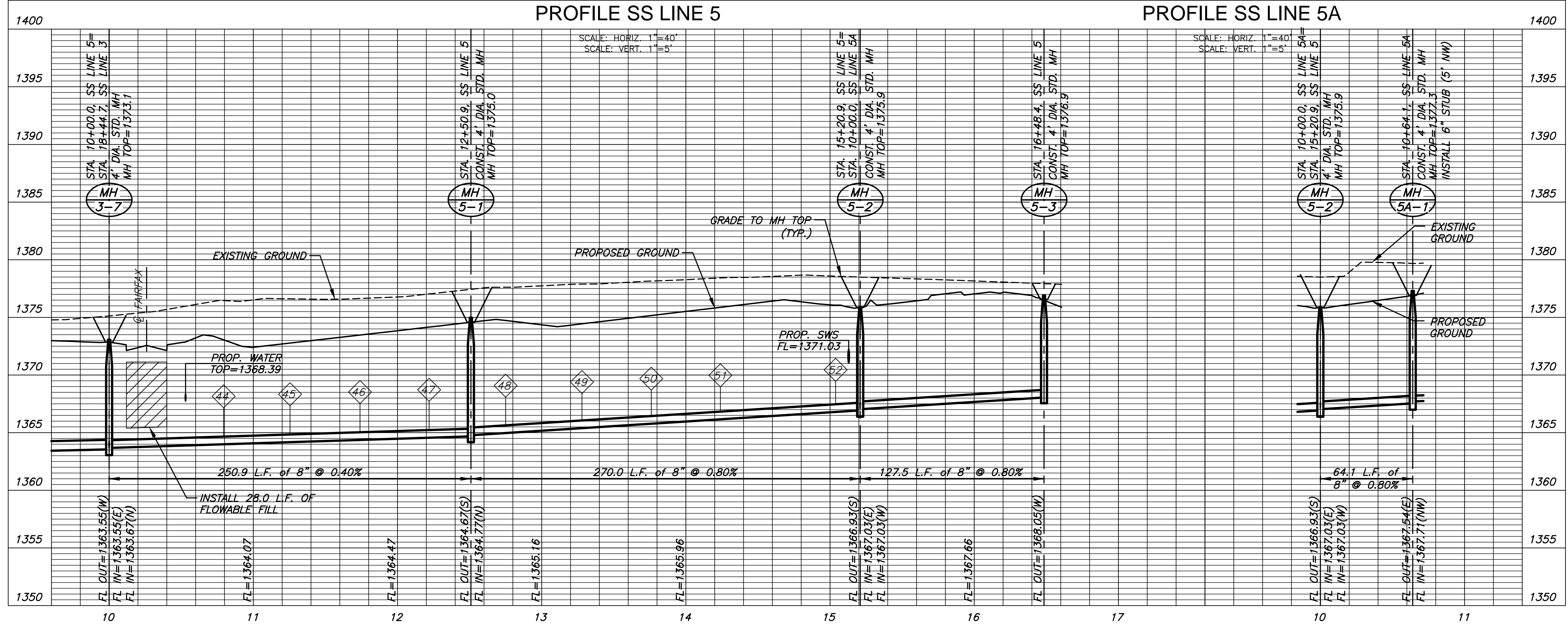
Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE					FOR INFORMATION ONLY			
	Upstream MH	Downstream MH	NO.	TYPE	LOT NO.	BLOCK NO.	LINE NO.	STATION	DIRECTION	VERTICAL (FT)	HORIZONTAL (FT)
15.5' Lt.	172'	79'	44	4" TEE	13	2	5	10+79	W	7.50'	15.5'
15.5' Lt.	126'	125'	45	4" TEE	14	2	5	11+25	W	7.00'	15.5'
15.5' Lt.	78'	173'	46	4" TEE	15	2	5	11+73	W	7.50'	15.5'
15.5' Lt.	30'	221'	47	4" TEE	16	2	5	12+21	W	8.00'	15.5'
15.5' Lt.	247'	23'	48	4" TEE	17	2	5	12+74	W	8.00'	15.5'
15.5' Lt.	194'	76'	49	4" TEE	18	2	5	13+27	W	7.50'	15.5'
15.5' Lt.	146'	124'	50	4" TEE	19	2	5	13+75	W	7.50'	15.5'
15.5' Lt.	98'	172'	51	4" TEE	20	2	5	14+23	W	8.00'	15.5'
15.5' Lt.	18'	252'	52	4" TEE	21	2	5	15+03	W	7.50'	15.5'



NOTE:  
CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PLAN SS LINE 5  
PROFILE SS LINE 5

PLAN SS LINE 5A  
PROFILE SS LINE 5A



SANTITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

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**SAN LINES 5 & 5A**

PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA

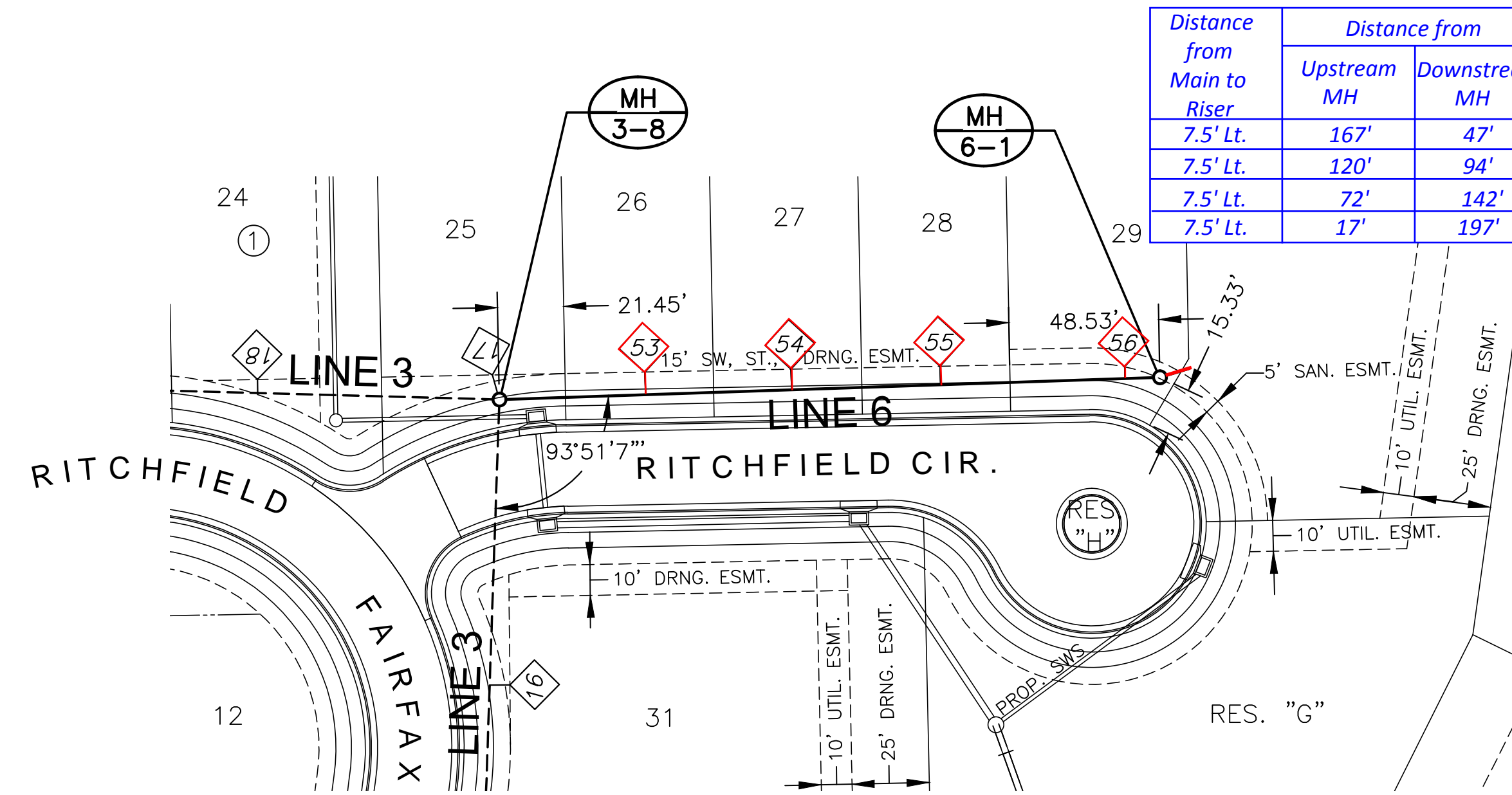
NO.	REVISION	DATE

SHEET NO.  
**10 OF 21**

J:\PROJECTS\2017\1601010317 - PERFECTION COURTYARDS AT BROOKFIELD, 16317 CAD\SHS\05 CIVIL\SAN\16317-8P-08.DWG

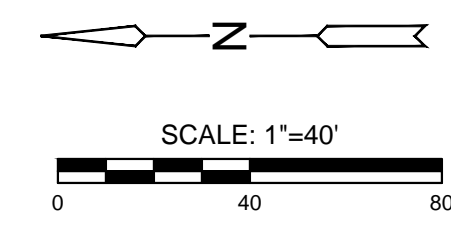
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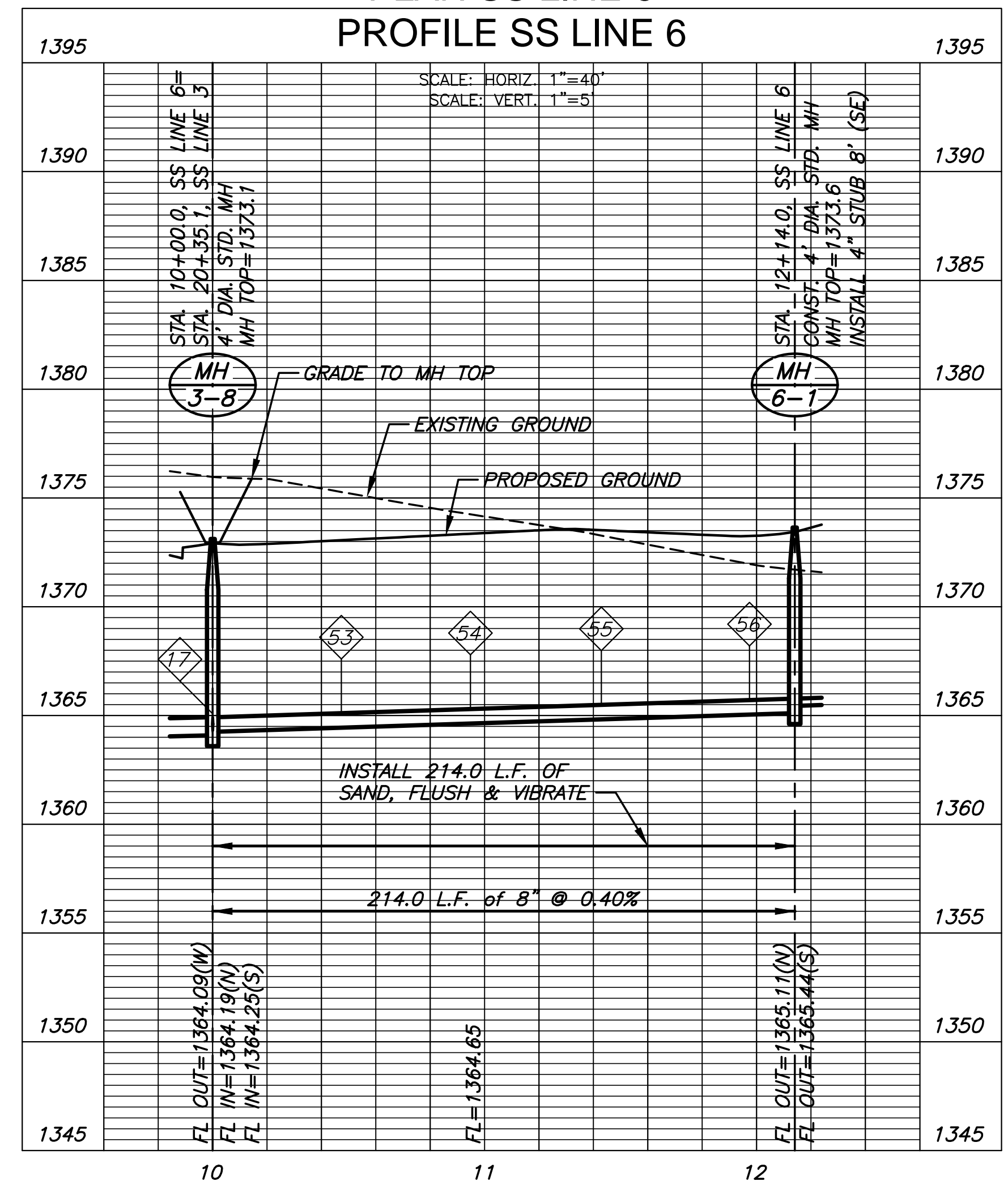


Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE							FOR INFORMATION ONLY	
	Upstream MH	Downstream MH	NO.	TYPE	LOCATION			STATION	DIRECTION	APPROXIMATE LENGTH	
					LOT NO.	BLOCK NO.	LINE NO.			VERTICAL (FT)	HORIZONTAL (FT)
7.5' Lt.	167'	47'	53	4" TEE	26	1	6	10+47	E	7.00'	7.5'
7.5' Lt.	120'	94'	54	4" TEE	27	1	6	10+94	E	7.00'	7.5'
7.5' Lt.	72'	142'	55	4" TEE	28	1	6	11+42	E	7.00'	7.5'
7.5' Lt.	17'	197'	56	4" TEE	29	1	6	11+97	E	6.50'	7.5'

**NOTE:**  
CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



PLAN SS LINE 6  
PROFILE SS LINE 6

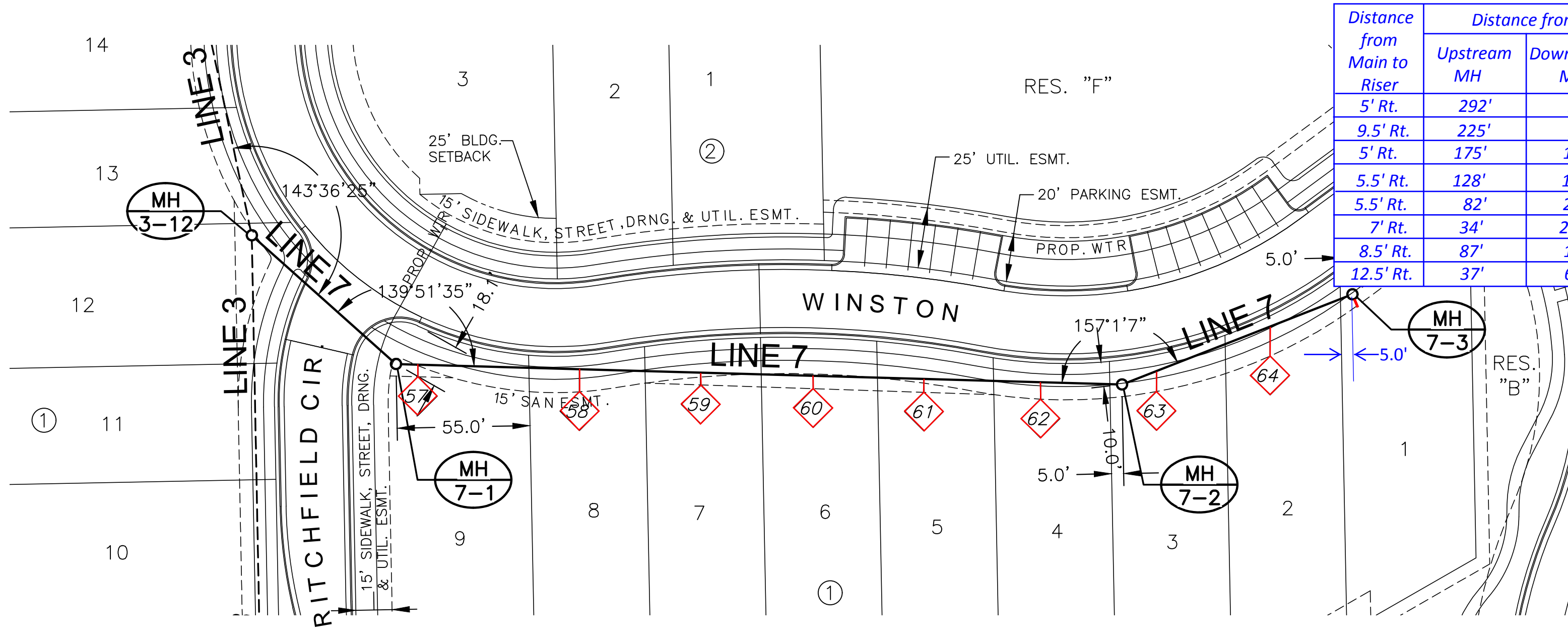


SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

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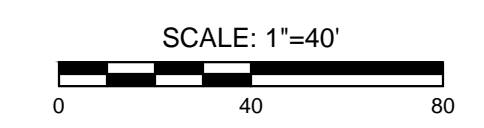
SAN LINE 6		
PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA
NO.	REVISION	DATE
SHEET NO.		
11 OF 21		

J:\PROJECTS\2017\1601010317 - PERFECTION COURTYARDS AT BROOKFIELD, 16317 CAD\SHS\05 CIVIL\SAN\16317-SP-08.DWG  
 PLOTTED: Wednesday, December 13, 2017 @ 09:11AM

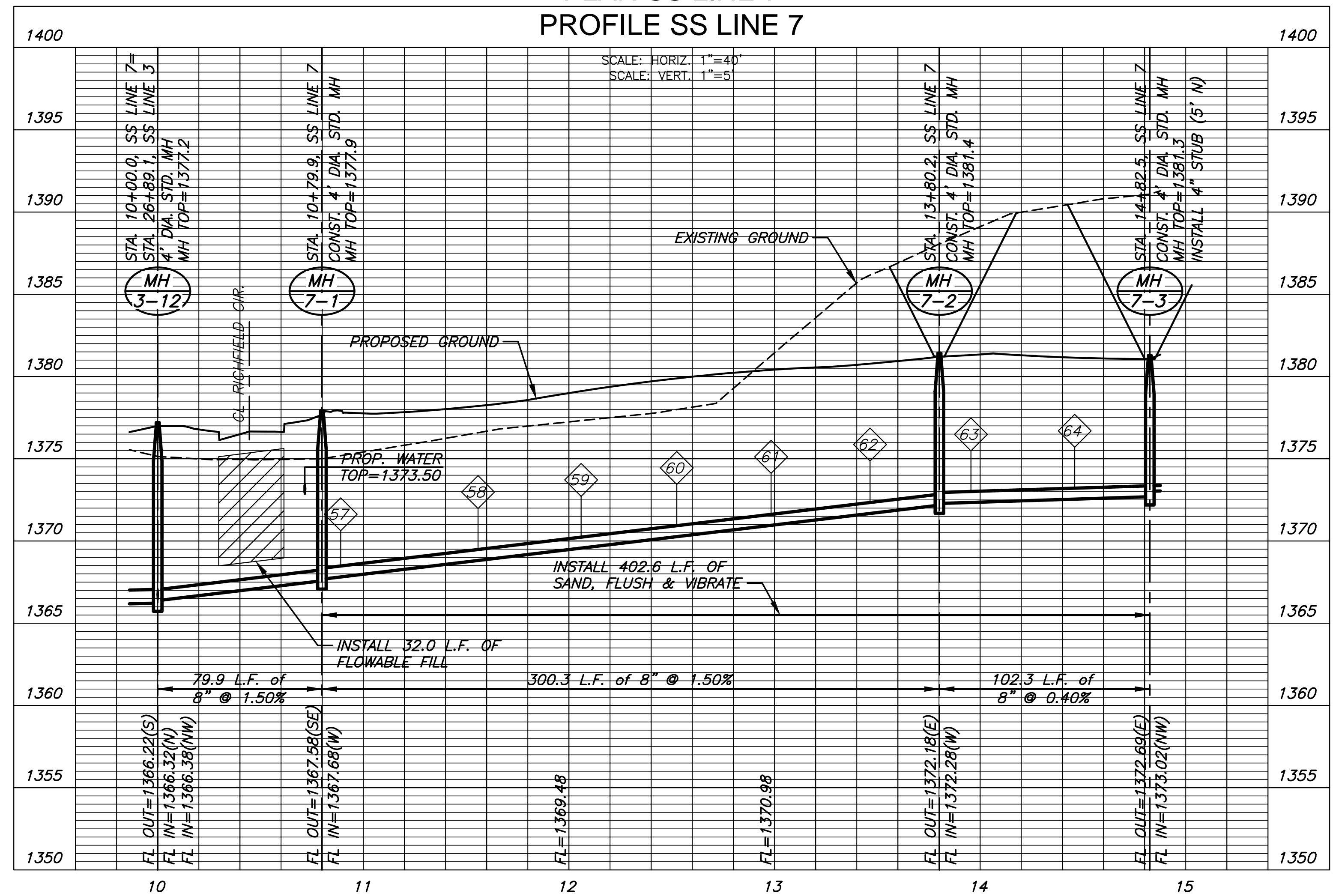


Distance from Main to Riser	Distance from		SEWER SERVICE RISER TABLE						FOR INFORMATION ONLY		
	Upstream MH	Downstream MH	NO.	TYPE	LOCATION			DIRECTION	APPROXIMATE LENGTH		
					LOT NO.	BLOCK NO.	LINE NO.	STATION		VERTICAL (FT)	HORIZONTAL (FT)
5' Rt.	292'	9'	57	4" TEE	9	1	7	10+88	N	8.00'	5'
9.5' Rt.	225'	76'	58	4" TEE	8	1	7	11+55	N	8.00'	9.5'
5' Rt.	175'	126'	59	4" TEE	7	1	7	12+05	N	9.00'	5'
5.5' Rt.	128'	173'	60	4" TEE	6	1	7	12+52	N	8.00'	5.5'
5.5' Rt.	82'	219'	61	4" TEE	5	1	7	12+98	N	8.00'	5.5'
7' Rt.	34'	267'	62	4" TEE	4	1	7	13+46	N	7.50'	7'
8.5' Rt.	87'	15'	63	4" TEE	3	1	7	13+95	N	7.50'	8.5'
12.5' Rt.	37'	65'	64	4" TEE	2	1	7	14+45	N	7.00'	12.5'

**NOTE:**  
 CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



**PLAN SS LINE 7**  
**PROFILE SS LINE 7**



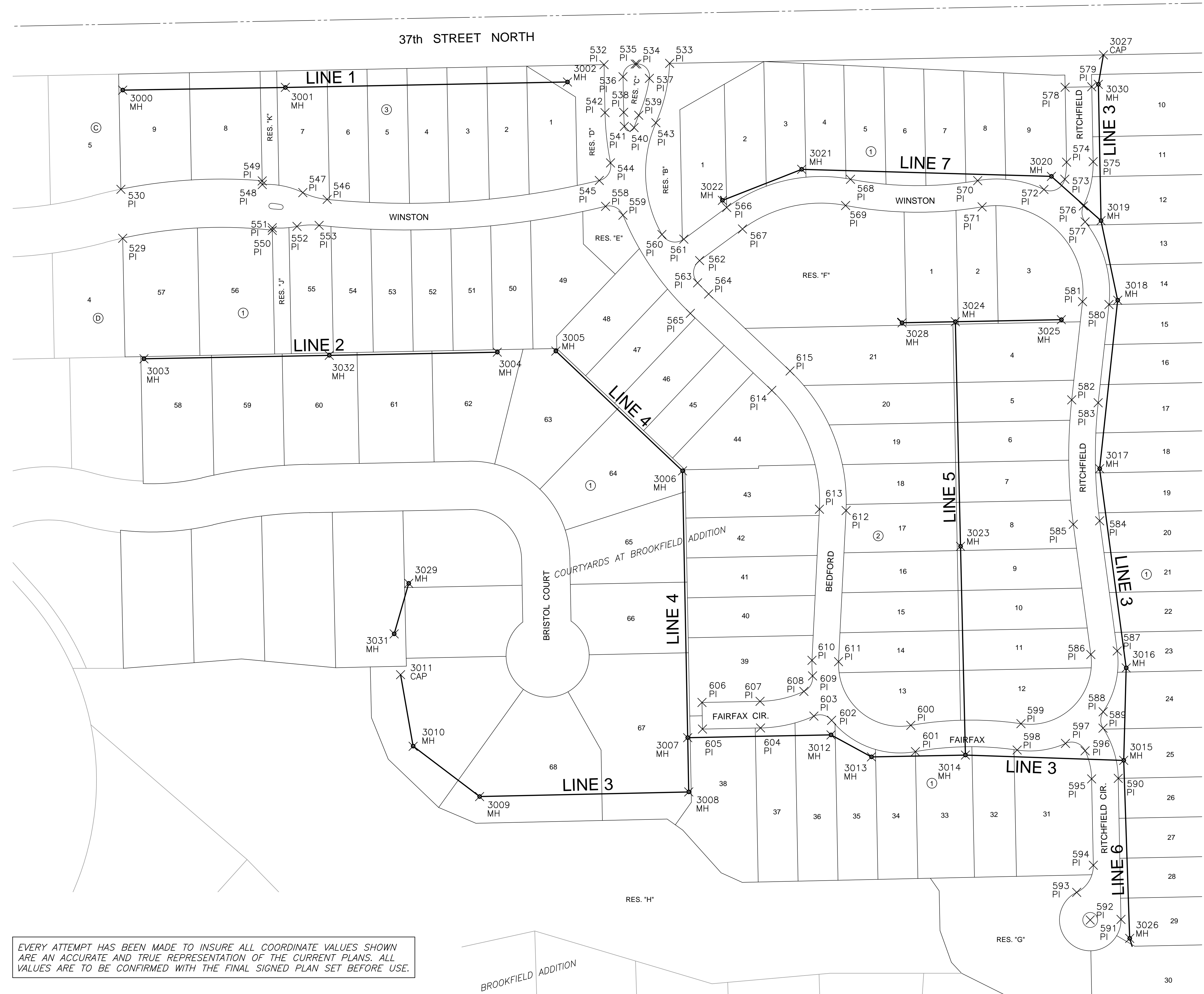
SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

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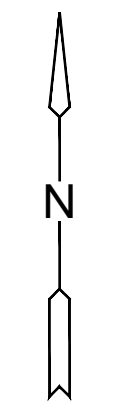
<b>SAN LINE 7</b>	
PROJECT NO.	468-85264
DATE	DEC. 2017
SCALE	1" = 40'
DESIGNED	DRAWN
DFL	RWB
CHECKED	GJA
NO.	REVISION
	DATE
SHEET NO.	
12 OF 21	

PLOTTED: Tuesday, December 12, 2017 @ 02:05PM

J:\PROJECTS\2016\1601010317 - PERFECTION COURTYARDS AT BROOKFIELD, 16317 CAD\SHS\05 CIVIL\PLAN\16317-BB-01.DWG



EVERY ATTEMPT HAS BEEN MADE TO INSURE ALL COORDINATE VALUES SHOWN ARE AN ACCURATE AND TRUE REPRESENTATION OF THE CURRENT PLANS. ALL VALUES ARE TO BE CONFIRMED WITH THE FINAL SIGNED PLAN SET BEFORE USE.



1" = 60'

SEE SHEET 14 FOR COORDINATE TABLES



SANITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

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**BUBBLE MAP**

PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	1" = 60'	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA

NO.	REVISION	DATE

SANTITARY SEWER PLANS FOR  
**COURTYARDS AT BROOKFIELD ADD.**

PLAT POINTS			
Point #	Northing	Easting	Desc.
500	1710429.51	1686021.96	SC
501	1710481.53	1688693.98	SC
502	1707827.60	1688752.52	SC
503	1707777.19	1686089.24	SC
529	1710197.92	1687350.37	PI
530	1710256.76	1687348.23	PI
532	1710406.62	1687928.92	PI
533	1710408.16	1688007.77	PI
534	1710407.39	1687968.33	PI
535	1710407.35	1687966.42	PI
536	1710392.06	1687951.71	PI
537	1710390.15	1687983.46	PI
538	1710349.36	1687952.54	PI
539	1710345.77	1687970.67	PI
540	1710330.98	1687965.01	PI
541	1710332.42	1687953.33	PI
542	1710348.93	1687930.05	PI
543	1710336.78	1687991.29	PI
544	1710288.51	1687936.70	PI
545	1710267.44	1687923.29	PI
546	1710244.66	1687596.12	PI
547	1710252.80	1687566.87	PI
548	1710262.54	1687518.15	PI
549	1710266.88	1687518.06	PI
550	1710207.43	1687530.22	PI
551	1710210.65	1687530.16	PI
552	1710212.21	1687559.88	PI
553	1710213.48	1687586.49	PI
554	1710238.12	1687541.05	PI
555	1710232.70	1687540.46	PI
556	1710233.45	1687528.81	PI
557	1710239.91	1687529.52	PI
558	1710236.33	1687930.78	PI
559	1710225.68	1687951.65	PI
560	1710202.50	1687998.51	PI
561	1710196.93	1688024.82	PI
562	1710171.17	1688043.80	PI
563	1710144.38	1688041.34	PI
564	1710130.97	1688054.67	PI
565	1710107.72	1688032.68	PI
566	1710234.90	1688076.35	PI
567	1710209.14	1688095.33	PI

PLAT POINTS			
Point #	Northing	Easting	Desc.
568	1710268.80	1688225.19	PI
569	1710237.35	1688219.23	PI
570	1710267.25	1688378.03	PI
571	1710235.69	1688383.35	PI
572	1710256.61	1688457.64	PI
573	1710268.90	1688482.72	PI
574	1710289.44	1688484.86	PI
575	1710290.06	1688516.85	PI
576	1710236.81	1688505.06	PI
577	1710217.70	1688507.13	PI
578	1710379.41	1688483.11	PI
579	1710380.03	1688515.10	PI
580	1710118.31	1688535.81	PI
581	1710121.80	1688504.00	PI
582	1710003.76	1688491.06	PI
583	1710000.27	1688522.87	PI
584	1709858.49	1688524.63	PI
585	1709854.21	1688492.92	PI
586	1709697.78	1688514.04	PI
587	1709702.06	1688545.75	PI
588	1709628.99	1688528.83	PI
589	1709609.27	1688528.65	PI
590	1709548.91	1688546.98	PI
591	1709379.42	1688550.28	PI
592	1709378.70	1688513.28	PI
593	1709411.96	1688497.07	PI
594	1709444.56	1688517.00	PI
595	1709548.29	1688514.98	PI
596	1709582.06	1688507.17	PI
597	1709590.94	1688483.57	PI
598	1709582.99	1688425.44	PI
599	1709614.65	1688430.05	PI
600	1709612.61	1688297.61	PI
601	1709581.10	1688303.19	PI
602	1709618.64	1688202.43	PI
603	1709623.74	1688181.15	PI
604	1709609.50	1688117.05	PI
605	1709608.14	1688047.27	PI
606	1709640.14	1688046.65	PI
607	1709641.50	1688116.43	PI
608	1709653.41	1688169.12	PI
609	1709672.08	1688179.55	PI

PLAT POINTS			
Point #	Northing	Easting	Desc.
610	1709690.74	1688178.83	PI
611	1709689.15	1688210.79	PI
612	1709870.79	1688219.82	PI
613	1709872.38	1688187.86	PI
614	1710015.21	1688130.52	PI
615	1710038.46	1688152.50	PI

SANITARY POINTS			
Point #	Northing	Easting	Desc.
3000	1710375.99	1687350.38	MH
3001	1710379.37	1687545.88	MH
3002	1710385.76	1687884.98	MH
3003	1710053.13	1687375.93	MH
3004	1710061.05	1687800.62	MH
3005	1710062.43	1687871.00	MH
3006	1709918.48	1688023.23	MH
3007	1709597.79	1688029.47	MH
3008	1709532.61	1688030.74	MH
3009	1709527.07	1687779.38	MH
3010	1709587.45	1687699.44	MH
3011	1709673.51	1687684.34	CAP
3012	1709601.15	1688201.78	MH
3013	1709574.72	1688250.30	MH
3014	1709576.92	1688363.28	MH
3015	1709570.50	1688553.55	MH
3016	1709681.63	1688556.53	MH
3017	1709921.05	1688524.59	MH
3018	1710123.51	1688546.30	MH
3019	1710219.14	1688526.24	MH
3020	1710272.33	1688466.65	MH
3021	1710280.79	1688166.47	MH
3022	1710243.51	1688071.18	MH
3023	1709827.74	1688357.44	MH
3024	1710097.67	1688351.15	MH
3025	1710100.15	1688478.59	MH
3026	1709356.61	1688560.72	MH
3027	1710418.31	1688529.13	CAP
3028	1710096.42	1688287.09	MH
3029	1709783.28	1687694.13	MH
3030	1710382.95	1688523.05	MH
3031	1709722.55	1687676.65	MH
3032	1710057.29	1687598.66	MH

SEE SHEET 13 FOR  
COORDINATE POINTS

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**COORDINATE  
TABLES**

PROJECT NO.	468-85264	
DATE	DEC. 2017	
SCALE	N/A	
DESIGNED	DRAWN	CHECKED
DFL	RWB	GJA

NO.	REVISION	DATE

# FINAL PLAT

## COURTYARDS AT BROOKFIELD ADDITION

### AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

a replat of a portion of Brookfield Addition, Wichita, Sedgwick County, Kansas

UPPLATED

37TH ST. N.

NE. cor., NW ¼, Sec. 34,  
T26S, R2E, 6th P.M.  
Fnd. 1" Iron Pipe (BM #3)  
"Sedgwick County" Cap

#### LEGEND

Date of Survey: 5/30/17

- △ = Section Corner Monument Found
- = Set ½" rebar w/ MKEC CLS 39 id. cap
- ⊕ = Benchmark
- (M) = Measured
- (P) = Platted
- (CM) = Calculated from Measurement
- (CP) = Calculated from Plat
- Drng. = Drainage
- Util. = Utility
- Sdwk. = Sidewalk
- St. = Street
- Esmt. = Easement
- ① = Lot
- ② = Block

SCALE: 1"=60'

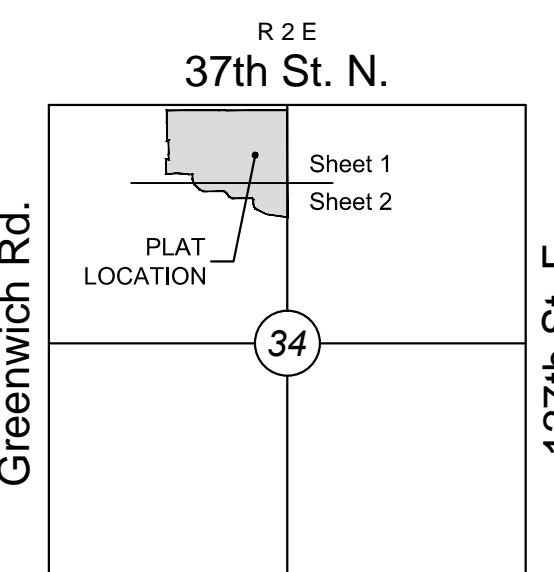
Basis of Bearings: Kansas coordinate system of 1983 south zone bearing of N88°53'05"E on the north line of the Northwest Quarter, Section 34, Township 26 South, Range 2 East of the 6th Principal Meridian. This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728

FOUR OAKS ADDITION

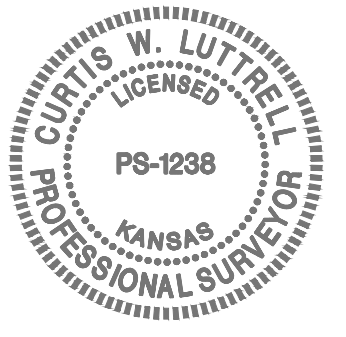
MINIMUM PAD ELEVATION (LOWEST OPENING)		
LOTS (inclusive)	BLOCK	ELEVATION NAVD88
4 - 12	1	1377.3
26 - 38	1	1374.0
66 - 75	1	1374.0

#### BENCHMARKS

- BM#1 Chiseled square on centerline of R.C.B.C on south side of 37th St. N., 176.9' W. & 15.8' S. of the NE cor., NW ¼, Sec. 34, T26S, R2E. Elev.=1373.80 NAVD88
- BM#2 Chiseled square on E. side of school signal pole base, W. side of Greenwich Road, 302' S. & 21.9' W. of the SW cor., NW ¼, Sec. 34, T26S, R2E, (offsite) Elev.=1387.64 NAVD88
- BM#3 Top of 1" iron pipe at NW cor., NW ¼, Sec. 34, T26S, R2E, (offsite) Elev.=1380.04 NAVD88



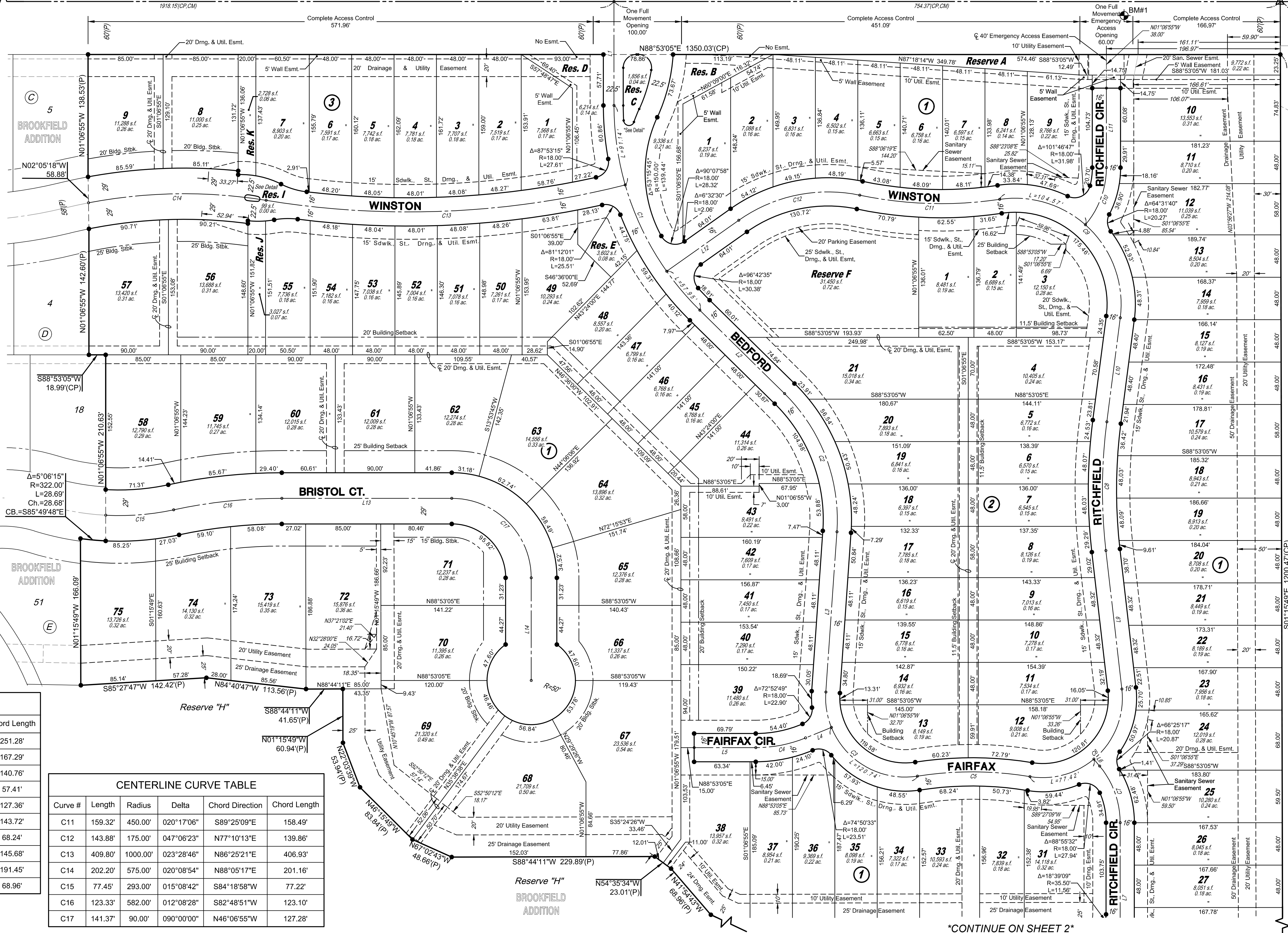
#### VICINITY MAP



Line #	Length	Direction
L1	117.71'	N01°06'55"W
L2	134.65'	N46°36'00"W
L3	181.87'	N02°50'48"E
L4	31.66'	S66°49'05"W
L5	69.79'	S88°53'05"W
L6	10.19'	N41°00'50"W
L7	169.53'	N01°06'55"W
L8	21.00'	N88°53'05"E
L9	157.85'	S07°41'14"E
L10	118.74'	S06°15'30"W
L11	89.98'	N01°06'55"W
L12	100.00'	N53°37'01"E
L13	192.48'	S88°53'05"W
L14	116.23'	N01°06'55"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	258.00'	325.00'	045°29'05"	N23°51'27"W	251.28'
C2	172.60'	200.00'	049°26'48"	N21°52'36"W	167.29'
C3	161.62'	90.00'	102°53'34"	N48°35'58"W	140.76'
C4	57.77'	150.00'	022°04'00"	S77°51'05"W	57.41'
C5	127.91'	400.00'	018°19'17"	S89°06'53"W	127.36'
C6	166.45'	90.00'	105°57'45"	S45°17'39"W	143.72'
C7	69.64'	100.00'	039°53'55"	N21°03'53"W	68.24'
C8	146.04'	600.00'	013°56'44"	S00°42'52"E	145.68'
C9	221.63'	120.00'	105°49'12"	S46°39'06"E	191.45'
C10	70.41'	100.00'	040°20'26"	N19°03'18"E	68.96'

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C11	159.32'	450.00'	020°17'06"	S89°25'09"E	158.49'
C12	143.88'	175.00'	047°06'23"	N77°10'13"E	139.86'
C13	409.80'	1000.00'	023°28'46"	N86°25'21"E	406.93'
C14	202.20'	575.00'	020°08'54"	N88°05'17"E	201.16'
C15	77.45'	293.00'	015°08'42"	S84°18'58"W	77.22'
C16	123.33'	582.00'	012°08'28"	S82°48'51"W	123.10'
C17	141.37'	90.00'	090°00'00"	N46°06'55"W	127.28'



\*CONTINUE ON SHEET 2\*

SUB2017-00023 Courtyards at Brookfield Addition

SUB2017-00023 Courtyards at Brookfield Addition

# FINAL PLAT

## COURTYARDS AT BROOKFIELD ADDITION

### AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

a replat of a portion of Brookfield Addition, Wichita, Sedgwick County, Kansas

#### MORTGAGE CERTIFICATE

Intrust Bank, N.A., holder of a mortgage on the above described property, does hereby consent to the "COURTYARDS AT BROOKFIELD ADDITION" final plat.

INTRUST BANK, N.A.

Gary D. Schmitt, Managing Director

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_, 2017, by Gary D. Schmitt, Managing Director of Intrust Bank, N.A.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public:  
print name \_\_\_\_\_  
My Term Expires: \_\_\_\_\_

#### PLANNING COMMISSION CERTIFICATE

This plat of "COURTYARDS AT BROOKFIELD ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Area Planning Commission, Wichita, Kansas.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2017.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

By \_\_\_\_\_  
Joseph A. Johnson, Chairman

Attest:

Dale Miller, Secretary

#### GOVERNING BODY CERTIFICATE

This plat approved and all dedications shown hereon, accepted by the Wichita City Council of the City of Wichita, Kansas dated this \_\_\_\_ day of \_\_\_\_\_, 2017.

At the direction of the City Council.

Jeff Longwell, Mayor

Attest:

Karen Sublett, City Clerk

#### REGISTER OF DEEDS' CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this \_\_\_\_ day of \_\_\_\_\_, 2017, at \_\_\_\_ o'clock \_\_\_\_ M. and is duly recorded.

Tonya E. Buckingham, Register of Deeds

Attest:

Judy J. Paget, Deputy

#### TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this \_\_\_\_ day of \_\_\_\_\_, 2017.

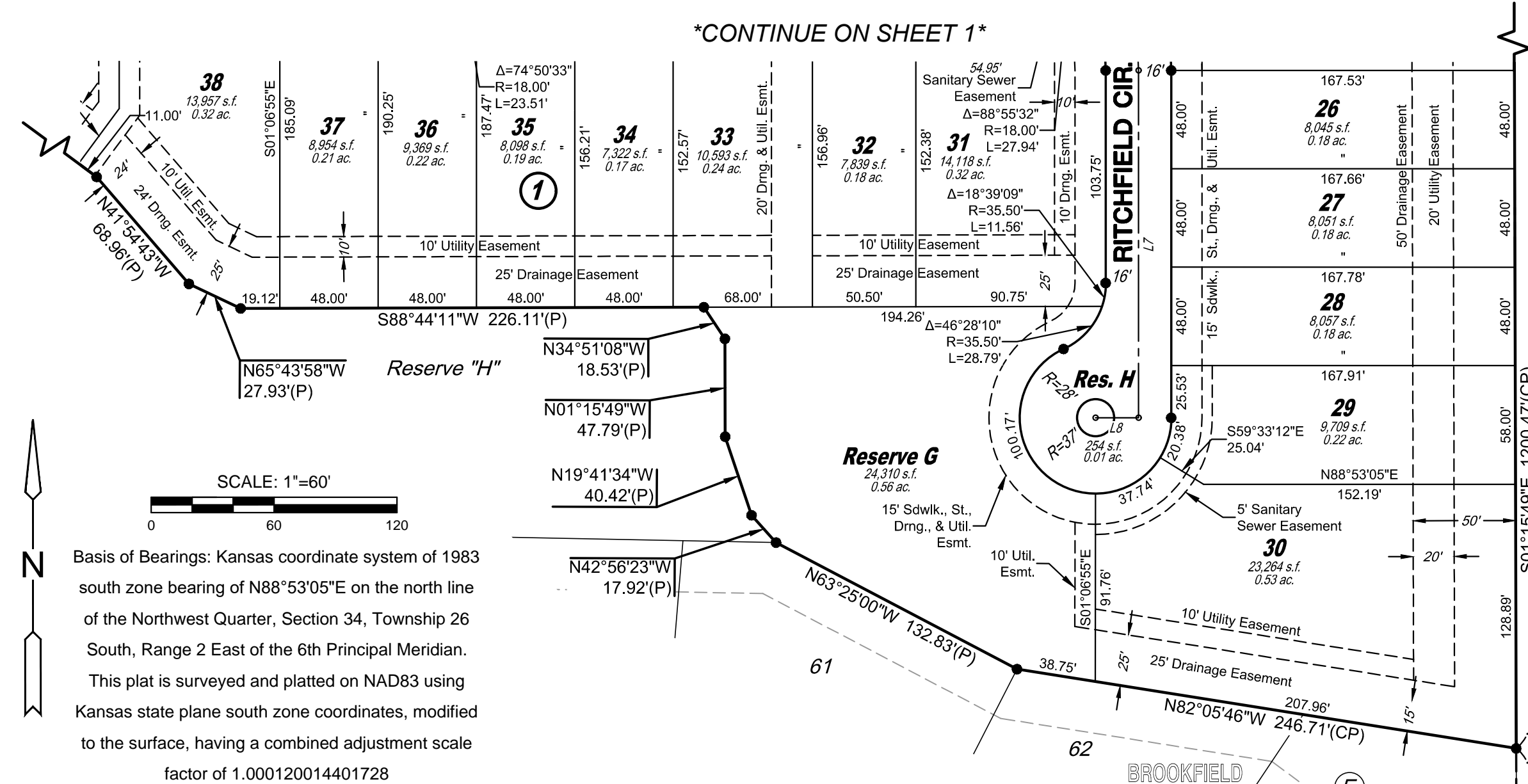
Kelly B. Arnold, County Clerk

#### COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_ day of \_\_\_\_\_, 2017.

Tricia L. Robello, P.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas



Basis of Bearings: Kansas coordinate system of 1983 south zone bearing of N88°53'05"E on the north line of the Northwest Quarter, Section 34, Township 26 South, Range 2 East of the 6th Principal Meridian.

This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728

#### OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Professional Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks, Reserves, and Streets, the same to be known as "COURTYARDS AT BROOKFIELD ADDITION" an addition to Wichita, Sedgwick County, Kansas.

The streets are hereby dedicated to and for the use of the public.

Easements for the construction and maintenance of sidewalks, streets, drainage, utilities, and sanitary sewer, as indicated hereon, are hereby granted to the public. No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements unless permitted by the Public Works Department of the appropriate governing body. The wall easements are non-exclusive and are hereby platted for the construction and maintenance of private walls; utilities may cross under the private walls. The walls shall be owned and maintained by the developer, and/or a lot owner's association, and/or their successors and/or assigns.

Parking easements are non-exclusive and are granted for short term overflow residential parking only. No utility obstructions or other vertical obstructions shall prohibit the placement of paved parking within said parking easement. The parking easements as indicated hereon are hereby granted to and for the use of the public. The parking within the parking easements shall be maintained by the developer, and/or a lot owner's association, and/or their successors and/or assigns.

All abutters rights of access to or from 37th Street North over and across the north line of "COURTYARDS AT BROOKFIELD ADDITION," are hereby granted to the appropriate governing body, provided however one full movement opening shall be allowed as indicated hereon and one full movement emergency access opening as indicated hereon (sheet 1 of 2).

The emergency access easement is non-exclusive and is platted for the ingress and egress of vehicular and pedestrian emergency traffic along and across that part of Reserve A, as shown hereon (sheet 1 of 2), and is hereby granted to and for the use of the public.

As to Lots 1-55, inclusive, Block 1, all Lots within Block 2, and Lots 1-7 inclusive, Block 3: Each Lot where abutting and adjoining another lot line within the aforesaid Lots and Blocks shall provide a minimum of a 6 foot maintenance and access easement for the benefit of the adjoining owner(s), their successors and assigns, and/or their agents, and emergency personnel. The maintenance access easements are hereby platted for the purpose of pedestrian emergency access, residence construction and residence maintenance, the extension of the footing, and for a 2-foot overhang of the structure on the adjoining lot. Opposite of the zero lot line, the minimum side yard setback shall be 6 feet, except where abutting a reserve. The minimum rear setback shall be 11.5 feet, except where abutting a reserve may be reduced to 5 feet as needed.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, shall remain at established grades and unobstructed to allow for the conveyance of stormwater or as modified with the approval of the applicable City or County Engineer. Lots 4-12 (inclusive), Lots 26-38 (inclusive), Lots 66-75 (inclusive), Block 1 are required to adhere to the minimum pad elevation as per the "Minimum Pad Elevation" tables shown hereon.

All reserves are platted for open space, berms, landscaping, irrigation, signs, monuments, sidewalks, fences, lighting, conveyance of cross-lot drainage, utilities confined by easement (platted or otherwise separate instrument), and parking confined by easement. Reserves E and G are also platted for drainage facilities, including but not limited to drainage structures and detention/retention ponds. Reserves F and G are also platted for private neighborhood amenities, including but not limited to clubhouse, pools, playgrounds, sports courts, shade structures / gazebos, and neighborhood gardens. Reserves A, B, and D, are also platted for walls for which public and/or utilities may cross under. Reserves J and K are also allowed all land uses per the SF-5 Single Family Zoning District that are permitted by right. The reserves are hereby reserved for the stated uses and shall be owned and maintained by the developer, and/or a lot owner's association, and/or their successors and/or assigns.

FEMA floodplain and regulatory floodway boundaries are subject to periodic change and such change may affect the intended land use within the subdivision.

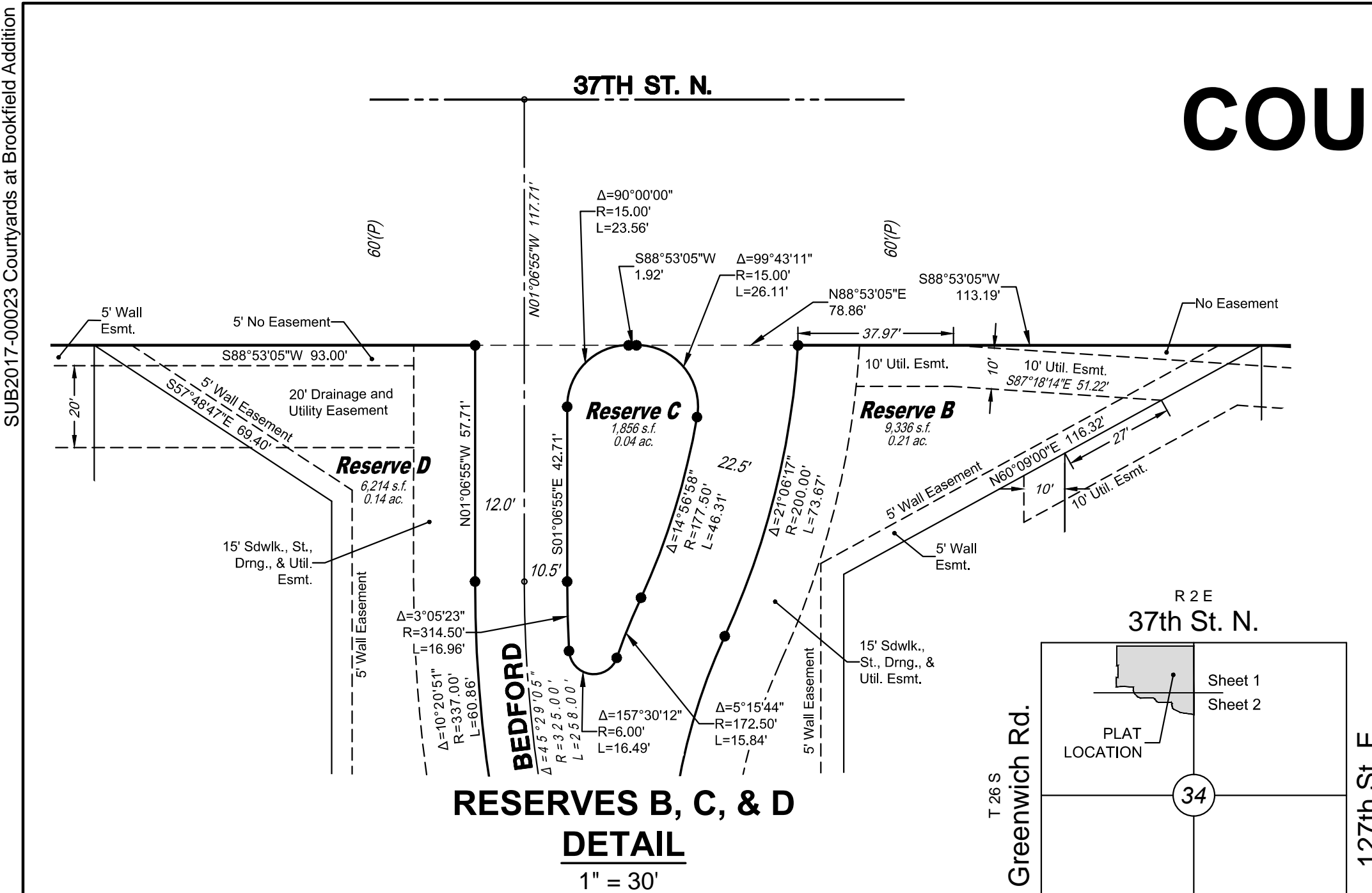
37TH & GREENWICH, LLC,  
a Kansas limited liability company  
by: Ritchie Development Corporation, a Kansas corporation, Manager

Kevin M. Mullen, President

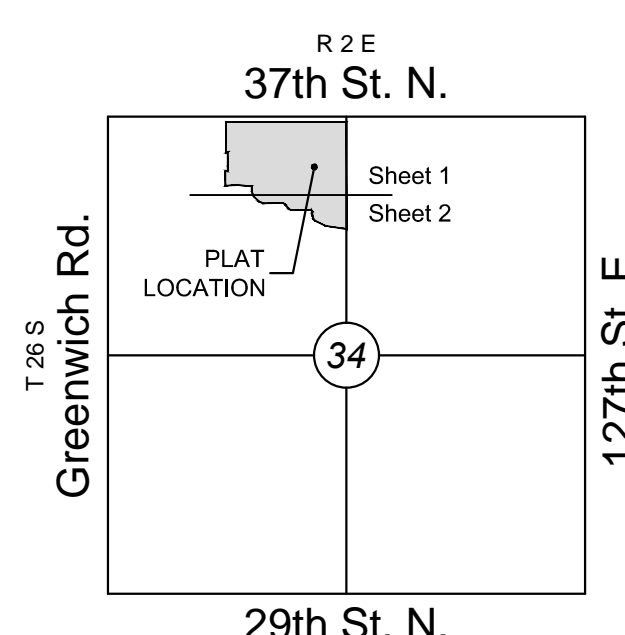
STATE OF KANSAS, SEDGWICK COUNTY) ss:  
This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_, 2017, by Kevin M. Mullen, President of Ritchie Development Corporation, a Kansas corporation, manager of 37th & Greenwich, LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public: \_\_\_\_\_ My Term Expires: \_\_\_\_\_



**RESERVES B, C, & D  
DETAIL**  
1" = 30'



**VICINITY MAP**

#### LEGEND

- Date of Survey: 5/30/17
- △ = Section Corner Monument Found
  - = Set 3/8" rebar w/ MKEC CLS 39 id. cap
  - ⊙ = Benchmark
  - (M) = Measured
  - (P) = Platted
  - (CM) = Calculated from Measurement
  - (CP) = Calculated from Plat
  - Dmg. = Drainage
  - Util. = Utility
  - Sdwk. = Sidewalk
  - St. = Street
  - Esmt. = Easement
  - ① = Lot
  - ② = Block

MINIMUM PAD ELEVATION (LOWEST OPENING)		
LOTS (inclusive)	BLOCK	ELEVATION NAVD83
4 - 12	1	1377.3
26 - 38	1	1374.0
66 - 75	1	1374.0

**RESERVES K, L, & M  
DETAIL**  
1" = 30'

#### CERTIFICATE OF SURVEY

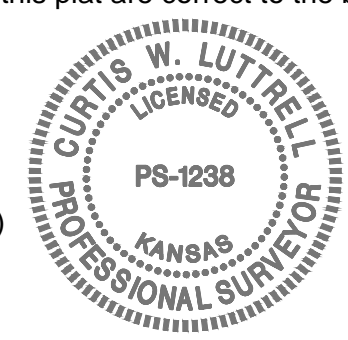
I, Curtis W. Luttrell, a Professional Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "COURTYARDS AT BROOKFIELD ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Reserves, and Streets, the same being accurately set forth in the accompanying plat and described herein:

All of Lots 6 - 12, inclusive, Block C, AND ALSO Lots 5 - 17, inclusive, Block D, AND ALSO Lots 1 - 50, inclusive, Block E, AND ALSO all of Reserve B, AND ALSO all of Reserve 6, AND ALSO all of Bedford Street, AND ALSO that part of Winston Street lying east of the west lines of said Lot 6, Block C and said Lot 5, Block D, AND ALSO all of Winston Circle abutting and adjoining said Block E, AND ALSO that part of Fairfax Street lying east of the west lines of said Lot 17, Block D, and said Lot 50, Block E, AND ALSO all of Fairfax Circle and Fairfax Courts abutting and adjoining said Block E, all platted within Brookfield Addition, Wichita, Sedgwick County, Kansas.

CONTAINS: 1,281,037 square feet or 29.41 acres of land, more or less.

All streets, easements, rights-of-way, building setbacks, access controls, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512b, as amended.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this \_\_\_\_ day of \_\_\_\_\_, 2017.



Curtis W. Luttrell, P.S. #1238  
MKEC Engineering, Inc. (CLS 39)  
411 North Webb Road  
Wichita, Kansas 67206