

## GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS:

KANSAS ONE-CALL 687-2470

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

AT&T	1-800-246-8464
BLACK HILLS ENERGY (GAS)	1-800-694-8989
CITY OF WICHITA WATER & SEWER	1-316-219-8921
CITY OF WICHITA STORMWATER	1-316-268-4090
CITY OF WICHITA TRAFFIC	1-316-268-4034
COX COMMUNICATIONS	1-888-249-3530
KANSAS GAS SERVICE	1-888-482-4950
WESTAR ENERGY	1-800-544-4857

- UTILITY SERVICE LINES, POLES, ETC. ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.

- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.

- TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE CITY ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.

- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO START OF CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

- THE ENGINEERING DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FIELD GRADES BY THE CONTRACTOR.

- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER, BRIAN COON AT [traffic@wichita.gov](mailto:traffic@wichita.gov) BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE SEEDED AND MULCHED. COST SHALL BE CONSIDERED SUBSIDIARY TO PROJECT SEEDING.

- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.

- EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.

- A PORTION OF EXCESS EXCAVATED MATERIAL SHALL BE MOUNDED AROUND MANHOLES WHICH EXTEND MORE THAN ONE (1) FOOT ABOVE THE EXISTING GROUND. SUCH MOUND SHALL BE CONSTRUCTED WITH NEW DEVELOPMENT A SIX (6) FOOT DIAMETER FLAT TOP WITH 4 TO 1 SIDE SLOPES DOWN TO THE ORIGINAL GROUND. THE ELEVATION OF THE FLAT TOP OF THE MOUND SHALL BE 0.4 FOOT BELOW THE TOP OF THE MANHOLE.

- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL MANHOLE COVERS.

- ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.

- CONNECTING TO EXISTING MANHOLES:  
PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING MANHOLES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF EXISTING STUBS AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS. WHERE CONNECTION TO AN EXISTING MANHOLE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING MANHOLE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING MANHOLE INVERT TO PROVIDE SMOOTH FLOW. THE COST TO CONNECTING TO EXISTING MANHOLES IS INCIDENTAL TO THE PROJECT.

- THE CONTRACTOR SHALL PREVENT ANY CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER DURING CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS FLOW OF SEWAGE THROUGH CONSTRUCTION. CONTRACTOR'S PROPOSED METHOD FOR MAINTAINING SEWAGE FLOW SHALL BE SUBMITTED AND APPROVED BY THE SEWER MAINTENANCE DIVISION (316-268-4073) PRIOR TO STARTING AND BY-PASSING OF SEWAGE FLOWS.

- ALL TRAFFIC CONTROL DEVICES IN THE WORK ZONE (INCLUDING MARKINGS AND SIGNS) AND THEIR INSTALLATION AND MAINTENANCE SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL DEVICES IN THE TRAVELED WAY OR CLEAR ZONE SHALL BE CRASHWORTHY (NCHRP REPORT 350 OR MASH COMPLIANT).  
<http://safety.fhwa.dot.gov/roadwaydept/policy/guide/road/hardware/wzd>

- ALL CONSTRUCTION EQUIPMENT, INCLUDING VEHICLES, MATERIALS, AND DEBRIS, SHALL BE STORED OUTSIDE OF THE CLEAR ZONE. WHERE THIS CANNOT BE ACHIEVED THE CONTRACTOR SHALL PLACE APPROPRIATE SIGNS, SUBJECT IDENTIFIERS, AND/OR BARRICADES IN COMPLIANCE WITH MUTCD.

- EXCEPT WHEN REQUIRED FOR SAFETY, TRAFFIC CONTROL SHALL NOT BLOCK ANY LANES OR SIDEWALKS WHEN WORK IS NOT BEING PERFORMED.

- FOLLOW THE LINK BELOW FOR DETAILS ON SPECIFIC CITY OF WICHITA STANDARD DETAILS:  
<http://www.wichita.gov/PWU/Pages/Regulations.aspx>

- DEVELOPER FOR THIS PROJECT IS:  
CH PARTNERS, L.L.C.  
150 N. MARKET ST.  
WICHITA, KS, 67202  
AMY J. LIEBAU  
316-262-6400

## SANITARY SEWER

TO SERVE

# CHAPEL HILL THIRD ADDITION

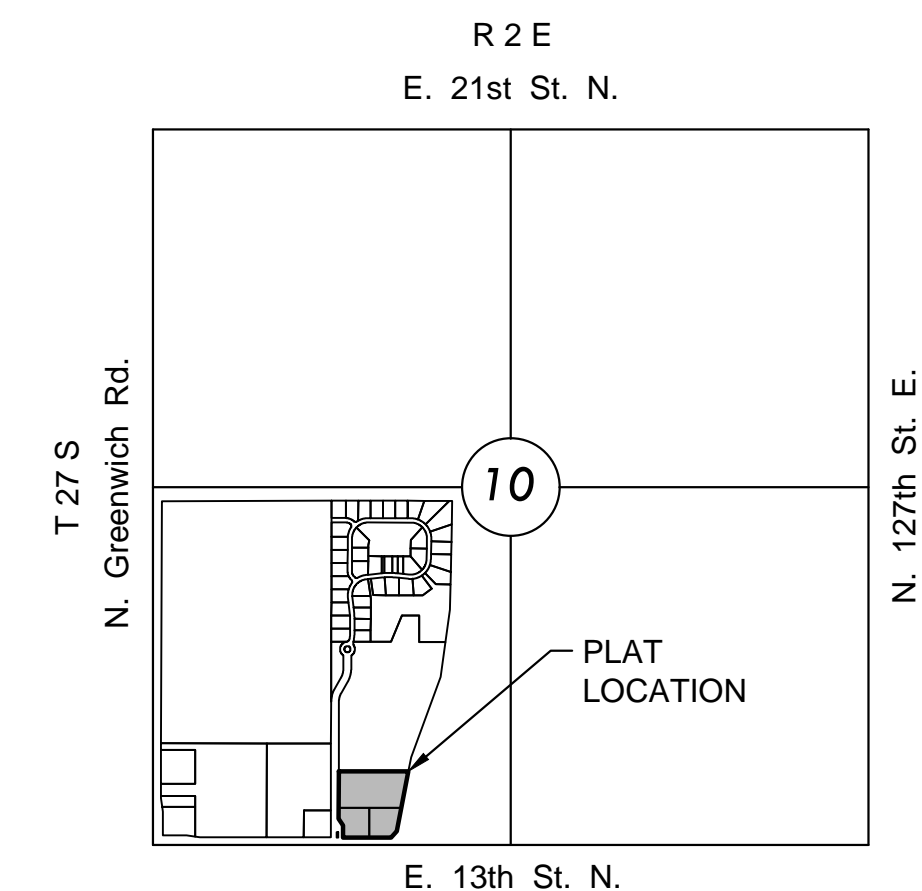
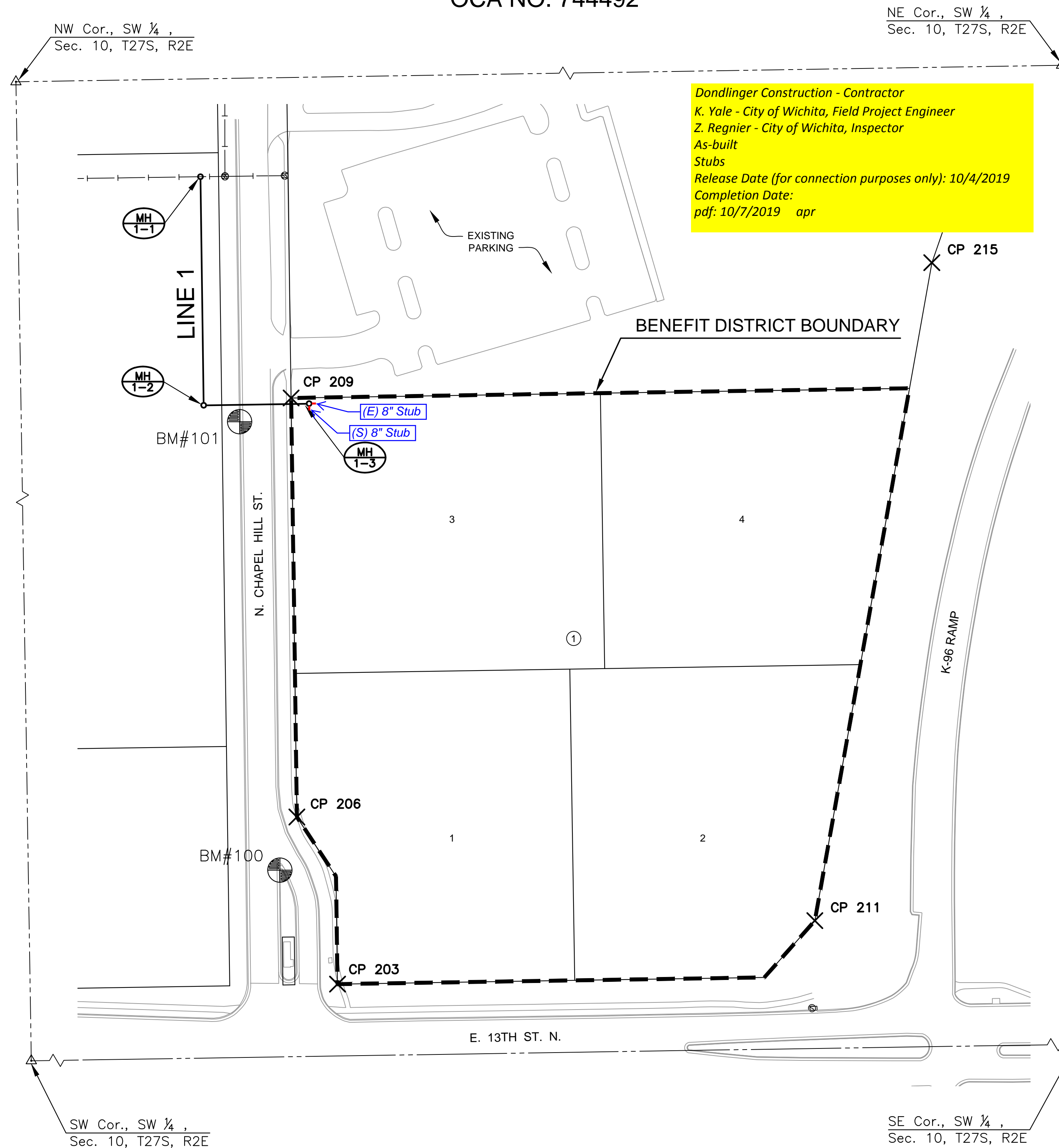
LATERAL 8, MAIN 10, FOUR MILE CREEK

PROJECT NO. 468-85388

THE CITY OF WICHITA, KANSAS

GARY JANZEN, P.E. - CITY ENGINEER

OCA NO. 744492



## VICINITY MAP

No Scale

## INDEX TO DRAWINGS

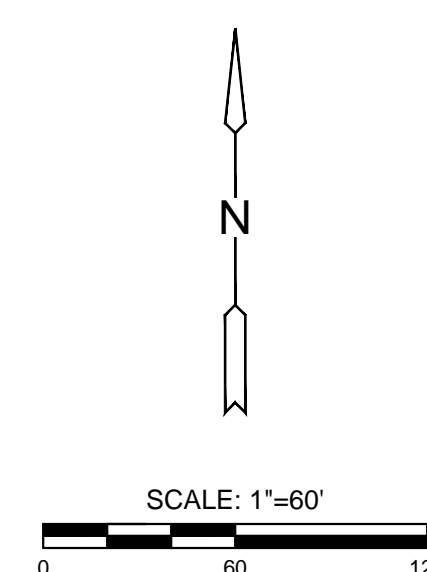
SHEET NO.	DESCRIPTION
01	TITLE SHEET
02-03	DETAILS
04	LINE 1
05	BUBBLE MAP
06-10	BMP SHEETS
11	FINAL PLAT

## BENCHMARKS

BM#100	CHISELED SQUARE W/+ CUT NW RETURN @ NORTH END ISLAND ON CHAPEL HILL STREET JUST NORTH OF 13TH STREET NORTH. ELEV.=1389.19 NAVD88
BM#101	*+ CUT TOP OF CURB WEST SIDE OF CHAPEL HILL STREET 1.477 FEET NORTH OF CENTER LINE OF 13TH STREET NORTH AND 21 FEET SOUTH OF LIGHT POLE NEAR NORTHWEST CORNER OF LOT 3, CHAPEL HILLS 2ND ADDITION. ELEV.=1378.65 NAVD88

## CONTROL POINTS

CP#203	SD 1/2" REBAR N=1694560.82, E=1687701.76, ELEV.=1391.52
CP#206	+CUT N=1694700.39, E=1687667.86, ELEV.=1388.08
CP#209	SD 1/2" REBAR N=1695050.35, E=1687663.03, ELEV.=1378.90
CP#211	SD 3/4" PIPE PEC N=1694613.81, E=1688100.27, ELEV.=1387.35
CP#215	SD 3/4" PIPE PEC N=1695163.40, E=1688197.90, ELEV.=1374.89
CP#262	SC 5/8" REBAR N=1697139.04, E=1686255.54, ELEV.=1367.74
CP#263	SC 5/8" REBAR N=1694478.62, E=1686292.83, ELEV.=1387.05
CP#271	SC 5/8" REBAR N=1694520.36, E=1688946.44, ELEV.=1375.65



SANITARY SEWER PLANS FOR  
**CHAPEL HILL THIRD ADDITION**  
 PHASE 1

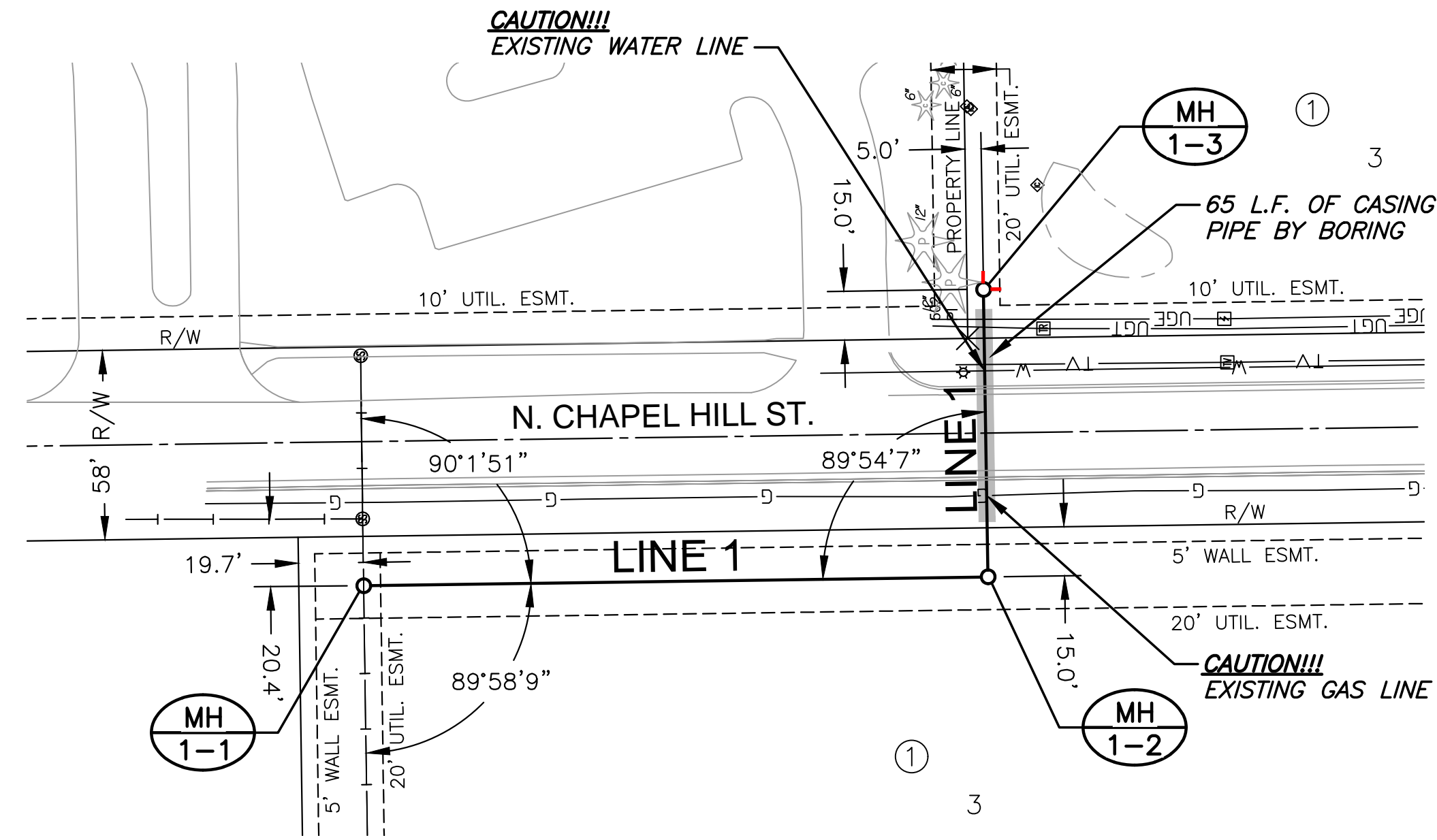
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## TITLE SHEET

PROJECT NO.	468-85388	
DATE	FEB. 2019	
SCALE	1" = 60'	
DESIGNED	DRAWN	CHECKED
DFL	JWC	GJA
NO.	REVISION	DATE

SHEET NO.

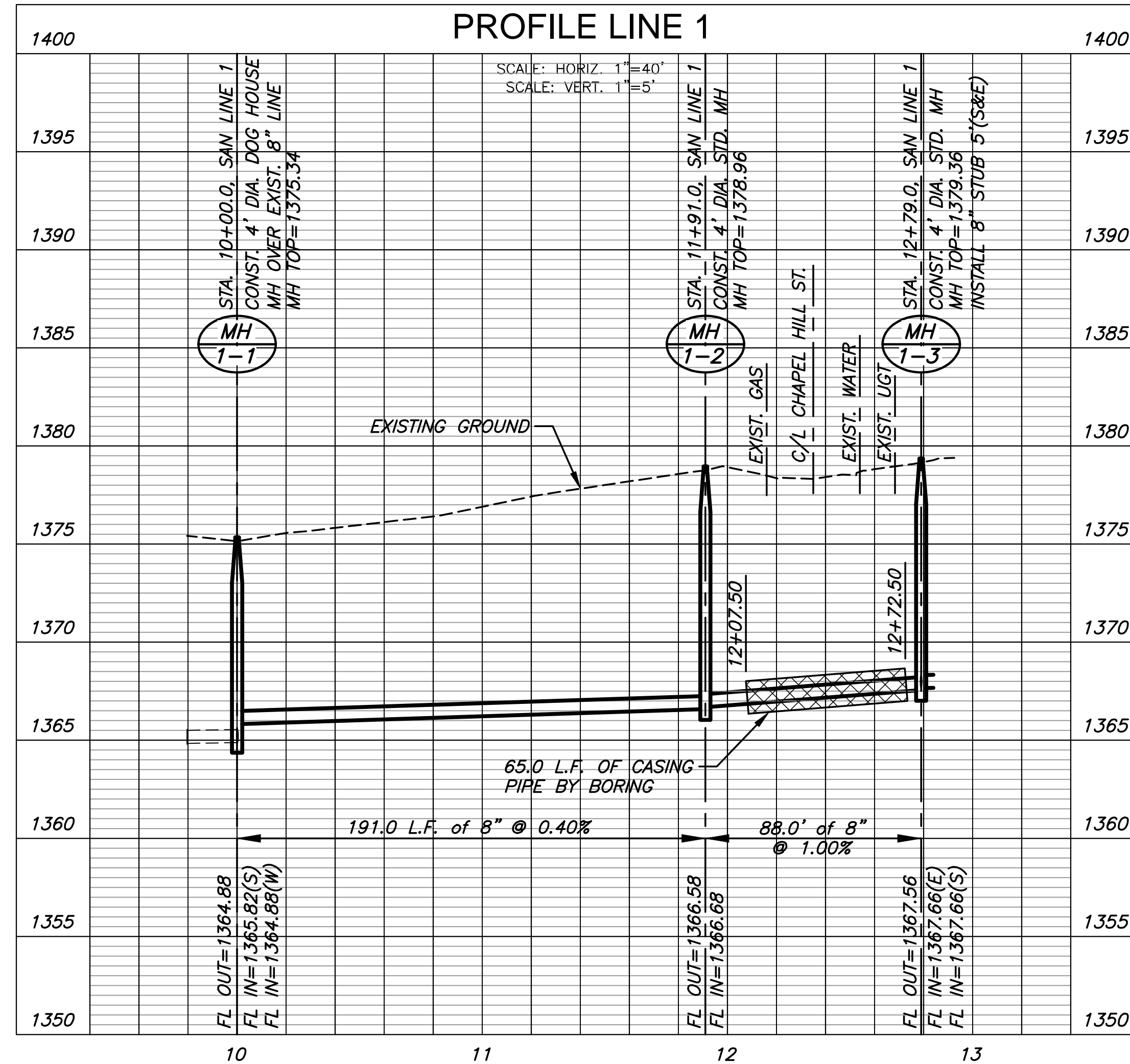
01 OF 11



**NOTE:**  
CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.



**PLAN LINE 1**  
**PROFILE LINE 1**



SANITARY SEWER PLANS FOR  
**CHAPEL HILL THIRD ADDITION**  
PHASE 1

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**SANITARY LINE 1**

PROJECT NO.	468-85388	
DATE	FEB. 2019	
SCALE	1" = 40'	
DESIGNED	DRAWN	CHECKED
DFL	JWC	GJA

NO.	REVISION	DATE
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SHEET NO.

PLOTTED: Tuesday, February 12, 2019 @ 08:19AM

J:\PROJECTS\2018\1801010272\_LAHAM\_CHAPEL\_HILL\_THIRD\_ADDITION\18272\_CAD\SHOTS\05\_CIVIL\SAWI18272-05-2500.DWG



SANITARY SEWER PLANS FOR  
**CHAPEL HILL THIRD ADDITION**  
 PHASE 1

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**BUBBLE MAP**

PROJECT NO.	468-85388	
DATE	FEB. 2019	
SCALE	1" = 50'	
DESIGNED	DRAWN	CHECKED
DFL	JWC	GJA
NO.	REVISION	DATE

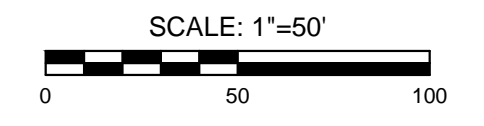
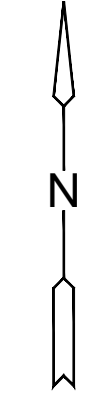
SHEET NO.  
 05 OF 11

SANITARY POINTS			
Point #	Northing	Easting	Desc.
2000	1695235.15	1687587.36	MH 1-1
2001	1695044.20	1687590.03	MH 1-2
2002	1695044.47	1687606.97	CASING
2003	1695045.49	1687671.96	CASING
2004	1695045.59	1687678.02	MH 1-3

PLAT POINTS			
Point #	Northing	Easting	Desc.
502	1695050.35	1687663.03	PI
503	1695058.45	1688179.25	PI
504	1694613.81	1688100.27	PI
505	1694566.43	1688058.10	PI
506	1694560.82	1687701.76	PI
507	1694650.82	1687700.52	PI
508	1694700.39	1687667.86	PI

**CONTROL POINTS**

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CP#262	SC 5/8" REBAR N=1697139.04, E=1686255.54, ELEV.=1367.74
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CP#271	SC 5/8" REBAR N=1694520.36, E=1688946.44, ELEV.=1375.65



EVERY ATTEMPT HAS BEEN MADE TO INSURE ALL COORDINATE VALUES SHOWN ARE AN ACCURATE AND TRUE REPRESENTATION OF THE CURRENT PLANS. ALL VALUES ARE TO BE CONFIRMED WITH THE FINAL SIGNED PLAN SET BEFORE USE.



Chapel Hill 3rd Addition (SUB2018-00020)

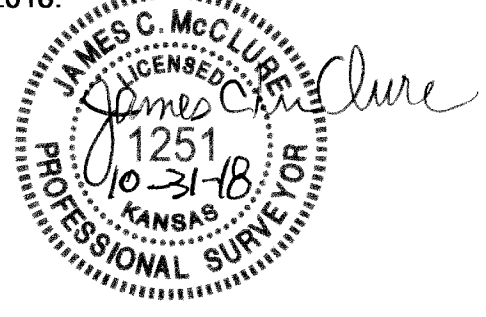
CERTIFICATE OF SURVEY

I, James C. McClure, a Professional Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "CHAPEL HILL 3RD ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots and a Block, the same being accurately set forth in the accompanying plat and described herein:

Lots 1, 2, and 3, Block 1, Chapel Hill 2nd Addition to Wichita, Sedgwick County, Kansas. CONTAINS: 225,493 square feet or 5.18 acres of land, more or less.

All streets, easements, rights-of-way, building setbacks, access controls; together with all other public dedications within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512b, as amended.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 21st day of OCTOBER, 2018.



James C. McClure, P.S. #1251 MKEC Engineering, Inc. (CLS 39) 411 North Webb Road Wichita, Kansas 67206

OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Professional Surveyor's Certificate, have caused the same to be surveyed and platted into Lots and a Block, the same to be known as "CHAPEL HILL 3RD ADDITION" an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of drainage, utilities, and sanitary sewer, as indicated hereon, are hereby granted to the public. No signs, light poles, private drainage systems, masonry fences, masonry trash enclosures or other structures shall be located within public utility easements unless a Use of Easement Permit is obtained from the City of Wichita Public Works and Utilities Department.

All abutters rights of access to or from East 13th Street over and across the south line of CHAPEL HILL 3RD ADDITION, are hereby granted to the appropriate governing body, provided however one right-in/right-out turn only opening is permitted as per the Access Management Regulations.

A drainage plan has been developed for this plat. All drainage easements and rights-of-way shall remain at established grades and unobstructed to allow for the conveyance of stormwater or as modified with the approval of the applicable City or County Engineer.

This plat shall comply with the recitals of the Chapel Hill Community Unit Plan DP-349 on file at the Wichita-Sedgwick County Planning Department. Building Setbacks shall be as per CUP DP-349.

CH PARTNERS, L.L.C., a Kansas limited liability company

By: Laham Development Company, L.L.C., a Kansas limited liability company, Manager

Signature of George E. Laham, II, Manager

STATE OF KANSAS, SEDGWICK COUNTY) ss: This instrument was acknowledged before me on 1st day of November, 2018, before me appeared George E. Laham II, to me personally known, who being by me duly sworn, did say that he is the Manager of Laham Development Company, L.L.C., which is the Manager of CH Partners, L.L.C., and that said instrument was signed on behalf of said limited liability company, and said George E. Laham, II, acknowledges said instrument to be the free act and deed of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public Signature and Seal for Dawn Bennett, My Appointment Expires August 28, 2022

MORTGAGE CERTIFICATE

Fidelity Bank, holder of a mortgage on the above described property, does hereby consent to the "CHAPEL HILL 3RD ADDITION" final plat.

FIDELITY BANK

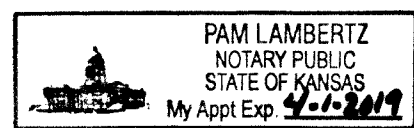
Signature of Timothy B. Nelson, Executive Vice President

STATE OF KANSAS, SEDGWICK COUNTY) ss:

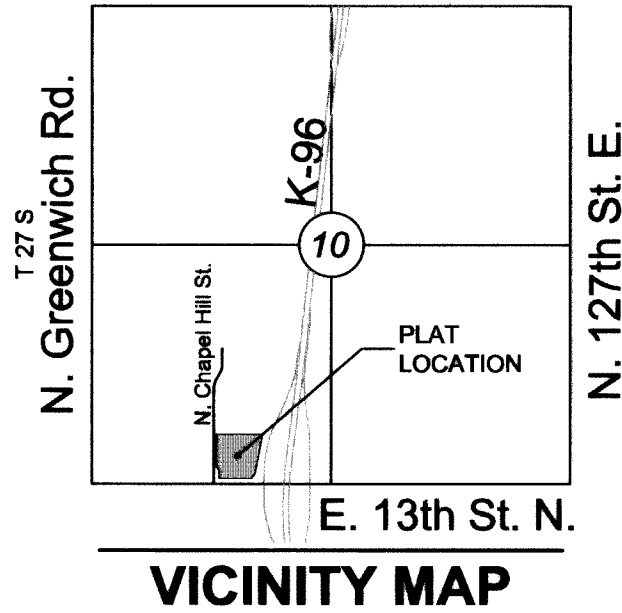
This instrument was acknowledged before me on 2nd day of November, 2018, by Timothy B. Nelson, Executive Vice President of Fidelity Bank.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

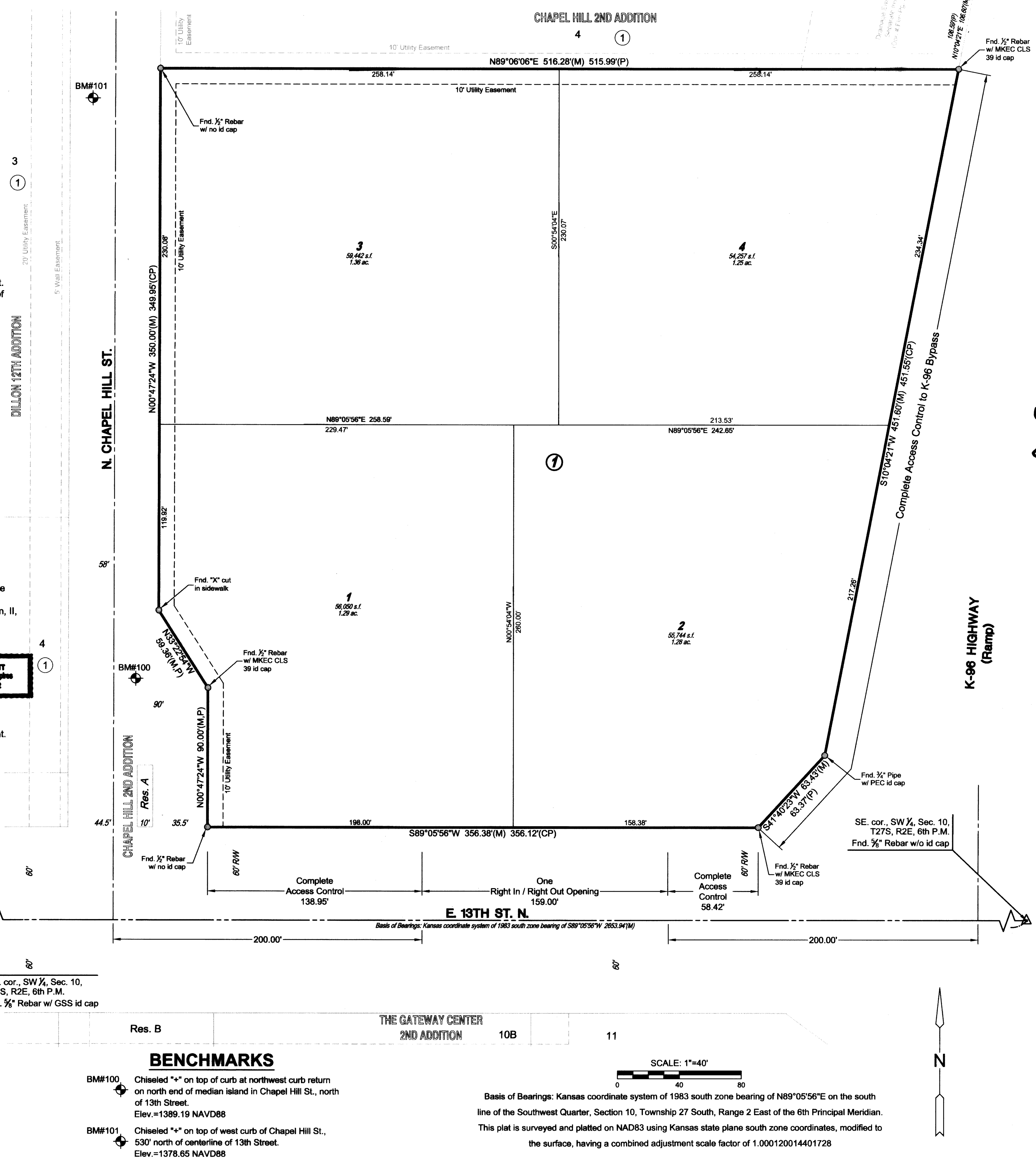
Notary Public Signature and Seal for Pam Lambertz, My Term Expires April 1, 2019



- LEGEND: Date of Survey: 4/12/2018. Symbols for Section Corner Monument Found, Found monument, Set 3/4" rebar w/ MKEC CLS 39 id. cap, Benchmark, Measured, Platted, Calculated from Plat, Lot, Block.



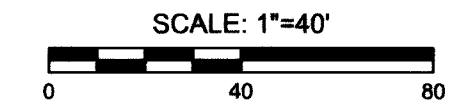
FINAL PLAT CHAPEL HILL 3RD ADDITION AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



BENCHMARKS

- BM#100: Chiseled "\*" on top of curb at northwest curb return on north end of median island in Chapel Hill St., north of 13th Street. Elev.=1389.19 NAVD88
- BM#101: Chiseled "\*" on top of west curb of Chapel Hill St., 530' north of centerline of 13th Street. Elev.=1378.65 NAVD88

Basis of Bearings: Kansas coordinate system of 1983 south zone bearing of N89°05'56"E on the south line of the Southwest Quarter, Section 10, Township 27 South, Range 2 East of the 6th Principal Meridian. This plat is surveyed and platted on NAD83 using Kansas state plane south zone coordinates, modified to the surface, having a combined adjustment scale factor of 1.000120014401728

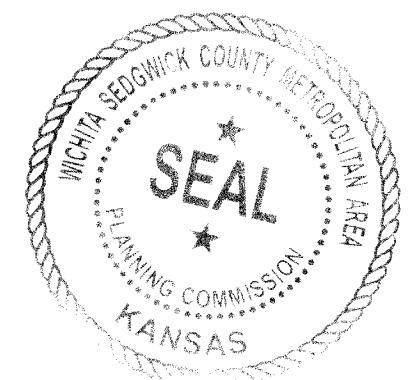


PLANNING COMMISSION CERTIFICATE

This plat of "CHAPEL HILL 3RD ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Area Planning Commission, Wichita, Kansas.

Dated this 18th day of October, 2018.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION



By: Cindy Miles, Chair

Attest: Dale Miller, Secretary

GOVERNING BODY CERTIFICATE

This plat approved and all dedications shown hereon, accepted by the Wichita City Council of the City of Wichita, Kansas dated this 21st day of November, 2018.

At the direction of the City Council.

Attest: Karen Sublett, City Clerk

REGISTER OF DEEDS' CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this 1st day of December, 2018, at 10:03 AM, and is duly recorded.

Signature and Seal of Tonya E. Buckingham, Register of Deeds

Attest: Judy J. Paget, Deputy

TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Entered on transfer record this 16th day of December, 2018.



Signature and Name of Kelly B. Arnold, County Clerk

COUNTY SURVEYOR

STATE OF KANSAS, SEDGWICK COUNTY) ss:

Reviewed in accordance with K.S.A. 58-2005 on this 14th day of November, 2018.



Signature and Name of Tricia L. Robello, Deputy County Surveyor

Register of Deeds - Tonya Buckingham Doc.#/Fil#-Pg: 29816689

Date Recorded: 12/06/2018 10:03:48 AM

