

LEGEND

- PP-X - POWER POLE AND DEADMAN
- KGE - ELECTRIC BOX
- LP - LIGHT POLE
- WM - WATER METER
- SS - STORM SEWER PIPE
- W - WATER LINE
- SS - SANITARY SEWER LINE
- G - GAS LINE
- T - TELEPHONE LINE
- PM - PARKING METER

GENERAL NOTES:

PROPERTY SURVEY BY : MID-KANSAS ENGINEERING CONSULTANTS INC. WICHITA, KANSAS
PRESENT SITE ZONING: 'D' CENTRAL BUSINESS DISTRICT

BENCHMARK:

BM-1 '1' CUT ON SW CORNER OF SIGNAL POLE BASE ON THE NE CORNER OF MARKET AND WATERMAN STREETS.
ELEV. = 11021
BM-2 '1' CUT ON SE CORNER OF SIGNAL POLE BASE ON THE SE CORNER OF BROADWAY AND ENGLISH STREETS.
ELEV. = 11033

PROPOSED PARKING: 48 (2 HANDICAP STALLS INCL.)

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE START OF CONSTRUCTION.

CONTRACTOR IS TO PROVIDE ALL SAFETY BARRIERS, FENCING ETC. AROUND CONSTRUCTION SITE AS REQUIRED BY LOCAL REGULATIONS.

TOTAL AREA: 18,663.49 SQ. FT. (.428 ACRES)
LANDSCAPE AREA: 2,628.18 SQ. FT.
PERMEABLE PAVEMENT: 11,947.5 SQ. FT.
IMPERVIOUS AREA: 14,839.96 SQ. FT.

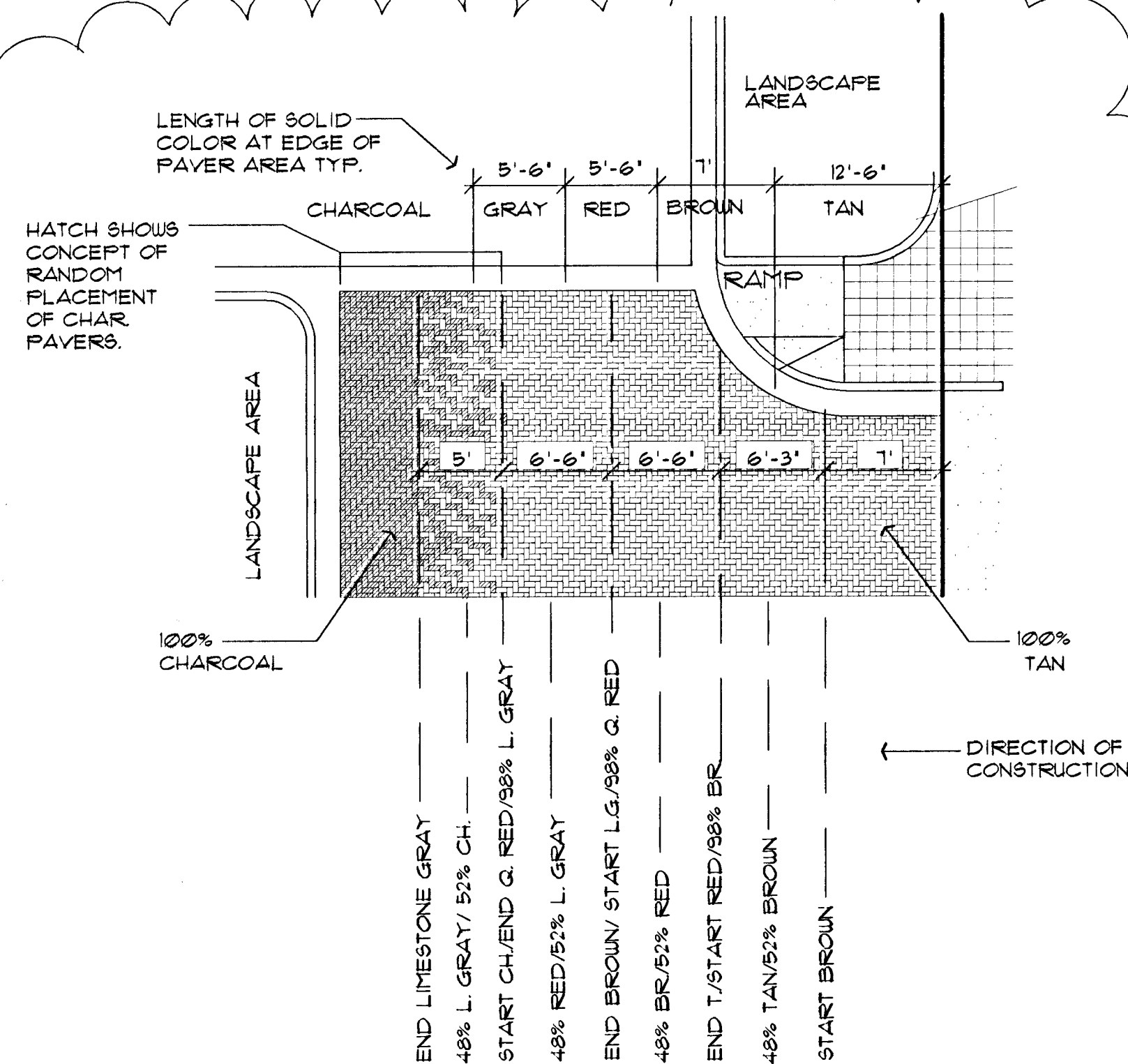
REQUIRED STREET YARD LANDSCAPE AREA: NONE BY CURRENT LANDSCAPE ORDINANCE
NEW STREET YARD LANDSCAPE AREA: 942 SQ. FT. (PARKING TO SIDEWALK)

NOTE: 8" WATER LINE EXISTS IN WEST R/W OF BROADWAY
8" WATER LINE EXISTS IN WEST R/W OF MARKET.

NOTE: UTILITIES SHOWN ARE AS PER UTILITY COMPANY RECORDS AND/OR FLAGGED LOCATIONS AND SHOULD BE VERIFIED BEFORE ANY CONSTRUCTION IS UNDER TAKEN.

LEGAL DESCRIPTION:

Lots 58, 60, 62, 64, 66, on Broadway Ave., Graffenstein's Addition, Wichita, Kansas.



BEGIN CONSTRUCTION OF PAVEMENT ON EAST END OF AREA. MIX IN (WITH RANDOM PLACEMENT) THE NEXT PAYER COLOR AT START LINE. INCREASE THE PERCENTAGE OF THE NEW COLOR UNTIL A LINE ONE-HALF THE DISTANCE BETWEEN START AND ENDING POINTS. AT THAT POINT DECREASE PERCENTAGE UNTIL END LINE OF COLOR. TAN AND CHARCOAL COLOR AREAS TO BE 100% ONE COLOR UNTIL START LINE OF ADJACENT COLOR.

UNIT PAYER APPROACH LAY-OUT DETAIL

PAVER NOTES:

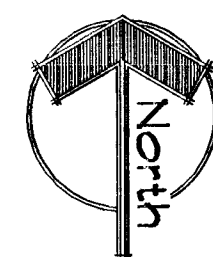
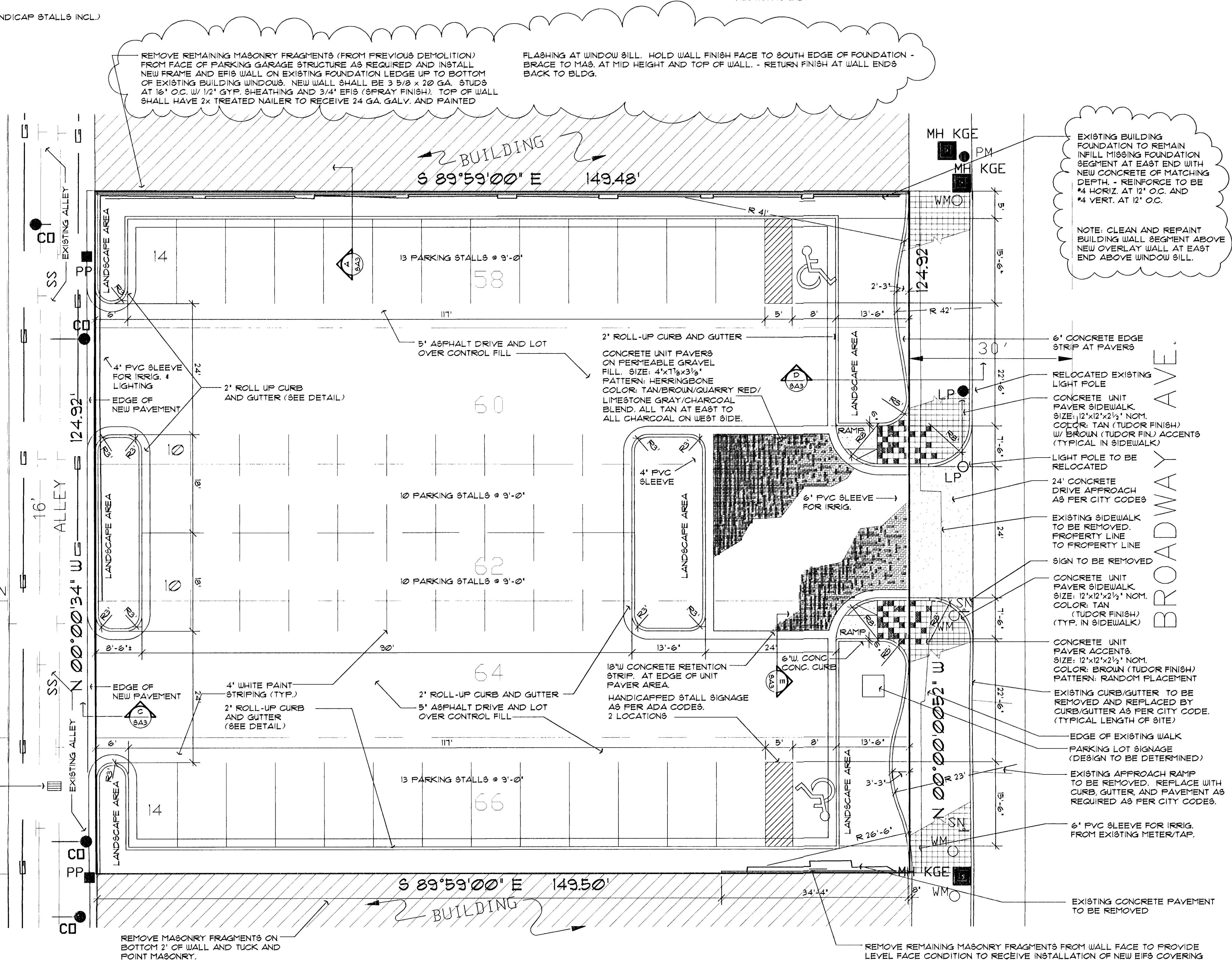
VERS ARE TO MATCH THOSE THAT ARE TO BE INSTALLED AT THE SIDEWALKS AND 5' STREET BETWEEN BROADWAY AND MARKET STREET.

PAVER COLOR PATTERN ON THE PLAN (IN THE PARKING LOT DRIVE OR THE RAMPS AT THE SIDEWALKS) ARE REPRESENTATIVE OF THE PATTERN INSTALLED. RANDOMLY, FROM EAST TO WEST, THE DARKER ACCENT COLORS BE ADDED INTO THE TAN BASE COLOR CREATING A GRADUAL CHANGE OF FROM TAN THROUGH BROWN, THROUGH QUARRY RED, THROUGH LIMESTONE TO THE FINAL COLOR, CHARCOAL. THE WESTERN MOST ROWS OF THE DRIVE ARE TO BE ENTIRELY CHARCOAL IN COLOR.

1/8 SHAPE: HANOVER-FREST CONCRETE PAYER, 12"x12"x2 1/2" NOMINAL DIMENSIONS
2" FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH (ACCENTS)

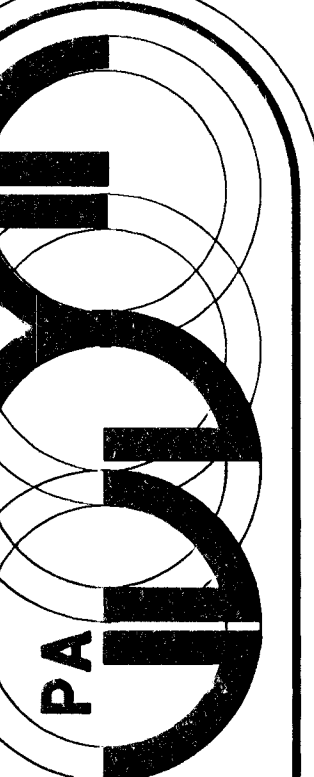
1/8 LOT DRIVE: HANOVER-FREST CONCRETE PAYER, 4"x8"x3" NOMINAL DIMENSIONS
2" FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH QUARRY RED/TUDOR FINISH LIMESTONE GRAY/TUDOR FINISH CHARCOAL/TUDOR FINISH

ERN: HERRINGBONE LAY-OUT BLENDED COLOR FROM LIGHT TO DARK (EAST TO WEST)



SITE LAY-OUT PLAN

SCALE: 1" = 10'-0"



Wilson Darnell Mann PA
interiors
architecture site planning
Wichita, Kansas 67202 316-262-4700

prints issued
5-11-94 FIELD CHK
9-21-94 REVISION
(N. WALL & PAVERS)

WDA no. 34003

draw LME check

319 & 325 BROADWAY
PARKING LOT
319 & 325 BROADWAY
WICHITA, KANSAS

SITE LAY-OUT
PLAN

SA-1

of