

LARK 3RD ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) do hereby certify that we have surveyed
and platted "LARK 3RD ADDITION", Wichita, Sedgwick County, Kansas and
that the accompanying plat is a true and correct exhibit of the
property surveyed, described as follows: A tract in the W1/2 of the
NE1/4 and in the NW1/4 of Sec. 31, Twp. 27-S, R-1-W of the 6th P.M.,
Sedgwick County, Kansas, further described as follows: Beginning at
the NE Corner of Lark 2nd Addition, Wichita, Sedgwick County, Kansas;
thence S84°36'23"W along the north line of said Lark 2nd Addition,
393.98 feet to a deflection point in said north line; thence S74°36'23"W
along said north line, 312.16 feet to the NW Corner of said Lark 2nd
Addition; thence S00°23'37"E along the west line of said Lark 2nd
Addition; thence S26°57'37"E along the west line of said Lark 2nd
Addition, 223.83 feet to the SW Corner of said Lark 2nd Addition, said SW Corner being on
the south line of the W1/2 of said NE1/4; thence S89°43'07"W along
said south line, 720 feet to the SW Corner of the W1/2 of said NE1/4;
thence S89°43'07"W along the south line of said NW1/4, 505.56 feet;
thence N01°20'46"E parallel with the west line of said NW1/4, 210 feet;
thence N53°38'19"E, 168.23 feet; thence N89°43'07"E parallel with the
south line of said NW1/4, 65.08 feet; thence N00°16'53"W, 120.43 feet;
thence N05°56'58"W, 65.26 feet; thence N00°23'48"W parallel with
the east line of said NW1/4, 113.67 feet; thence S86°53'08"E, 304.57 feet
to a point on the east line of said NW1/4, said point being 590 feet
north of the SE Corner of said NW1/4; thence N00°23'48"W along
the east line of said NW1/4, 1263.88 feet to a point on the southeasterly
right-of-way line of the Atchison, Topeka, and Santa Fe Railroad; thence
N76°55'47"E along said southeasterly railroad right-of-way line, 635.49 feet;
thence S00°23'37"E parallel with the east line of the W1/2 of said
NE1/4, 555.84 feet; thence N82°06'23"E, 706.04 feet to a point on the
east line of the W1/2 of said NE1/4; thence S00°23'37"E along the
east line of the W1/2 of said NE1/4, 332.24 feet to the intersection of
the north line of said Lark 2nd Addition as extended east; thence
S84°36'23"W along said extended north line, 6.02 feet to the point
of beginning.

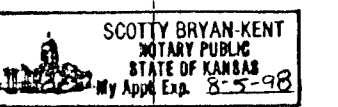
We, the undersigned, holders of a mortgage
on the above described property, do hereby consent to this plat of
"LARK 3RD ADDITION", Wichita, Sedgwick County, Kansas.

State Bank of Colwich

James D. Ashcraft AVP
JAMES D. ASHCRAFT (Title)

State of Kansas) SS The foregoing instrument acknowledged be-
Sedgwick County) fore me, this 24th day of April, 1996, by
James D. Ashcraft AVP of the State Bank of Colwich, on
behalf of the bank.

My App'l. Exp. 8-5-98
Scott Bryan Kent Notary Public
SCOTT BRYAN KENT



This plat of "LARK 3RD ADDITION", Wichita,
Sedgwick County, Kansas has been submitted to and approved by
the Wichita-Sedgwick County Metropolitan Area Planning Commission,
Wichita, Kansas.
Dated this 11th day of April, 1996.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Susan Osborne-Howes Chair
Susan Osborne-Howes
Marvin S. Krout Secretary
Marvin S. Krout



Existing public easements being vacated by virtue of K.S.A. 12-512(b).
Baughman Company, P.A.

Michael G. Conroy Surveyor
Michael G. Conroy
MICHAEL G. CONROY
REGISTERED
LAND SURVEYOR
KANSAS

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Wichita,
Kansas, this 21st day of MAY, 1996.



Bob Knight Mayor
Bob Knight
Pat Burnett City Clerk
Pat Burnett

Know all men by these presents that we,
the undersigned, have caused the land in the surveyors certificate to be
platted into Lots, Blocks, and Streets, to be known as "LARK 3RD ADDITION",
Wichita, Sedgwick County, Kansas. The utility easements are hereby
granted as indicated for the construction and maintenance of all public
utilities. The drainage and utility easements are hereby granted as indicated
for drainage purposes and for the construction and maintenance of all
public utilities. The drainage easements are hereby granted as indicated
for drainage purposes. The streets are hereby dedicated to and for the use
of the public. All abutters rights of access to or from Lark Lane over and
across the east line of Lot 46, Block 1 and Lot 1, Block 2 are hereby granted
to the City of Wichita, Kansas. The Minimum Building Pad Elevations for
the lowest opening to the structures on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11,
and 12, Block 3, shall be 144.0 City Datum (1331.4 M.S.L.).

Paul E. Kelsey
Paul E. Kelsey

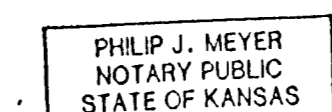
Entered on transfer record this _____ day
of _____, 1996.

County Clerk
Susan E. Crockett-Spoon

State of Kansas) SS This is to certify that this plat has been
Sedgwick County) filed for record in the office of the Register of Deeds, this _____ day
of _____, 1996, at _____ o'clock _____ M.; and is duly recorded.

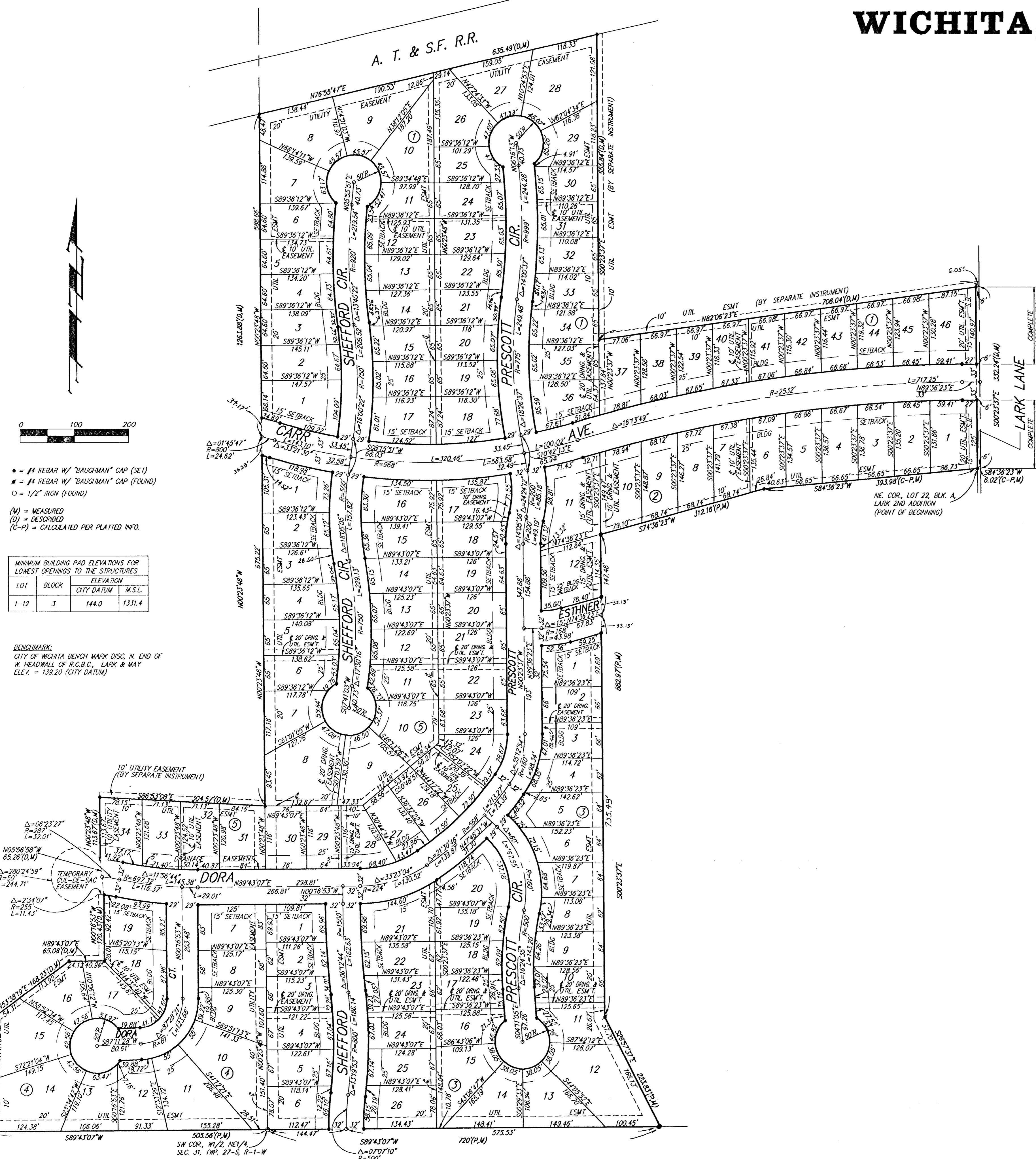
Philip J. Meyer Notary Public
PHILIP J. MEYER

My App'l. Exp. 5/5/97



Register of Deeds
Pat Kettler

Deputy
Ed Resa



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- = 1/2" IRON (FOUND)
- (M) = MEASURED
- (D) = DESCRIBED
- (C-P) = CALCULATED PER PLATTED INFO.

| LOT | BLOCK | ELEVATION | |
|------|-------|------------|--------|
| | | CITY DATUM | M.S.L. |
| 1-12 | 3 | 144.0 | 1331.4 |

BENCHMARK:
CITY OF WICHITA BENCH MARK DISC, N. END OF
W. HEADWALL OF R.C.B.C., LARK & MAY
ELEV. = 139.20 (CITY DATUM)

10' UTILITY EASEMENT
(BY SEPARATE INSTRUMENT)

TEMPORARY
CUL-DE-SAC
EASEMENT

10' UTILITY EASEMENT
(BY SEPARATE INSTRUMENT)