

KIMBERLY ADDITION

Part of the SE1/4 of Sec. 13, T27S, R1W
Wichita, Sedgwick County, Kansas

State of Kansas)
SS
Sedgwick County)

We, Garver, LLC, Land Surveyors in aforesaid county and state, do hereby certify that, under the supervision of the undersigned, we have surveyed and platted "KIMBERLY ADDITION", Wichita, Sedgwick County, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as follows:

Lots 80 and 81, Sim Park Gardens Addition, Sedgwick County, Kansas.

All public easements and dedications are hereby vacated by virtue of K.S.A. 12-512b, as amended.

This plat of "KIMBERLY ADDITION", Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this ____ day of _____, 2021.

Wichita-Sedgwick County Metropolitan Area Planning Commission

Michael C. Greene Chair

Scott A. Wadle Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this ____ day of _____, 2021.

Garver, LLC

William K. Clevenger, PS #1437
Land Surveyor

At the Direction of the City Council

Mayor

City Clerk

Karen Sublett

Reviewed in accordance with K.S.A. 58-2005 on this ____ day of _____, 2021.

Deputy County Surveyor
Sedgwick County Kansas
Tricia L. Robello, PS #1246

Entered on transfer record this ____ day of _____, 2021.

County Clerk
Kelly B. Arnold

State of Kansas)
SS
Sedgwick County)

This is to certify that this plat has been filed for record in the office of the Register of

Deeds, this ____ day of _____, 2021, at ____ o'clock __ M, and is duly recorded.

Register of Deeds
Tonya Buckingham

Deputy
Kenly Zehring

State of Kansas)
SS
Sedgwick County)

The foregoing instrument acknowledged before me, this ____ day of _____, 2021, by P. Jeff Pritchard, Member, on behalf of Triple 7 LLC, a Kansas limited liability company.

Notary Public
Marsha R. Bishop

My appointment expires _____.

State of Kansas)
SS
Sedgwick County)

The foregoing instrument acknowledged before me, this ____ day of _____, 2021, by Kirk Richards, Member, on behalf of Triple 7 LLC, a Kansas limited liability company.

Notary Public
Marsha R. Bishop

My appointment expires _____.

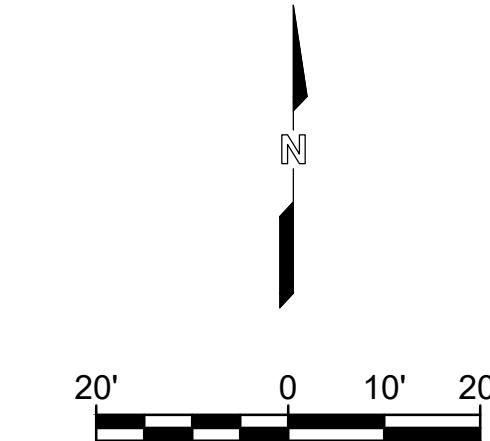
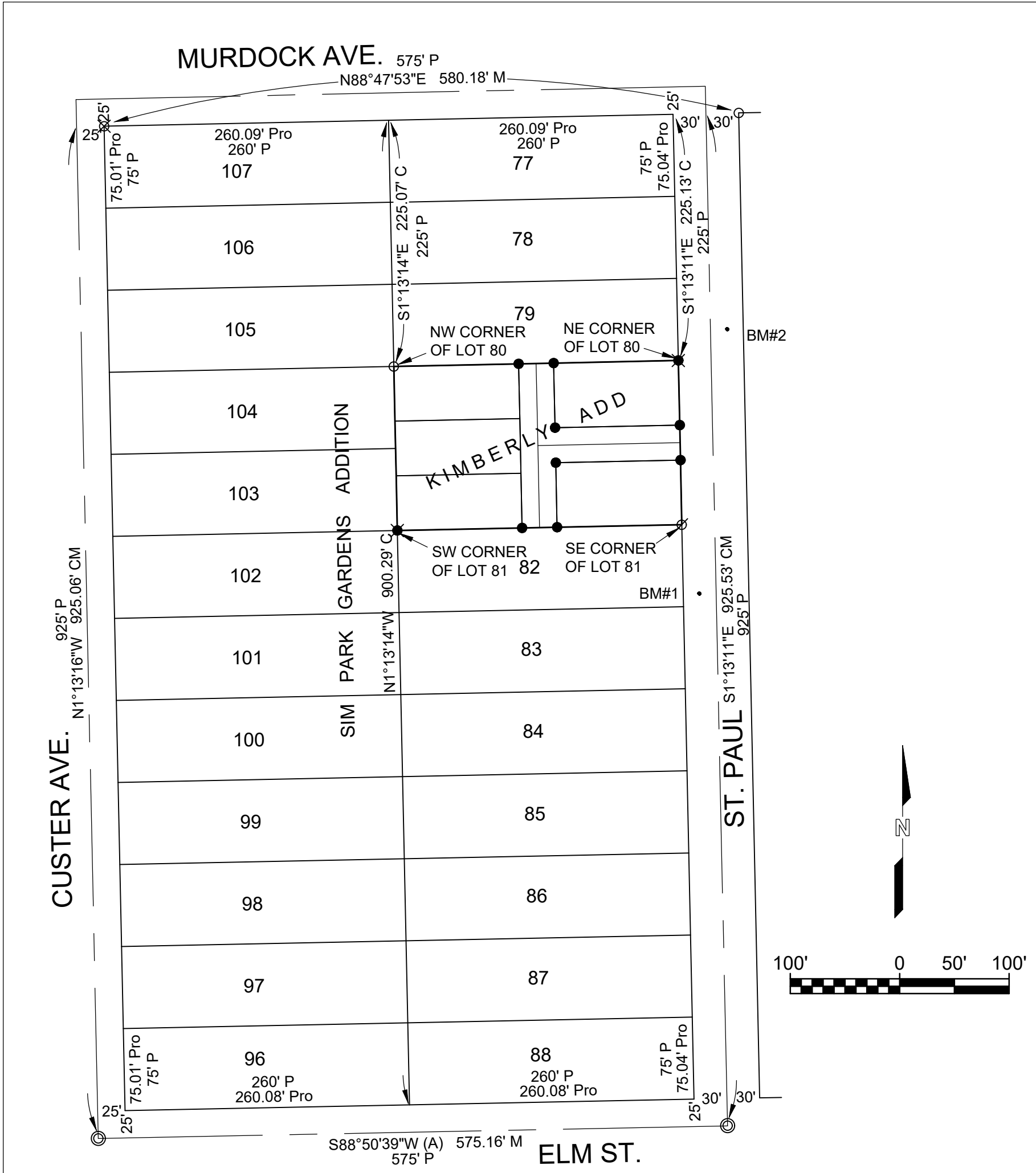
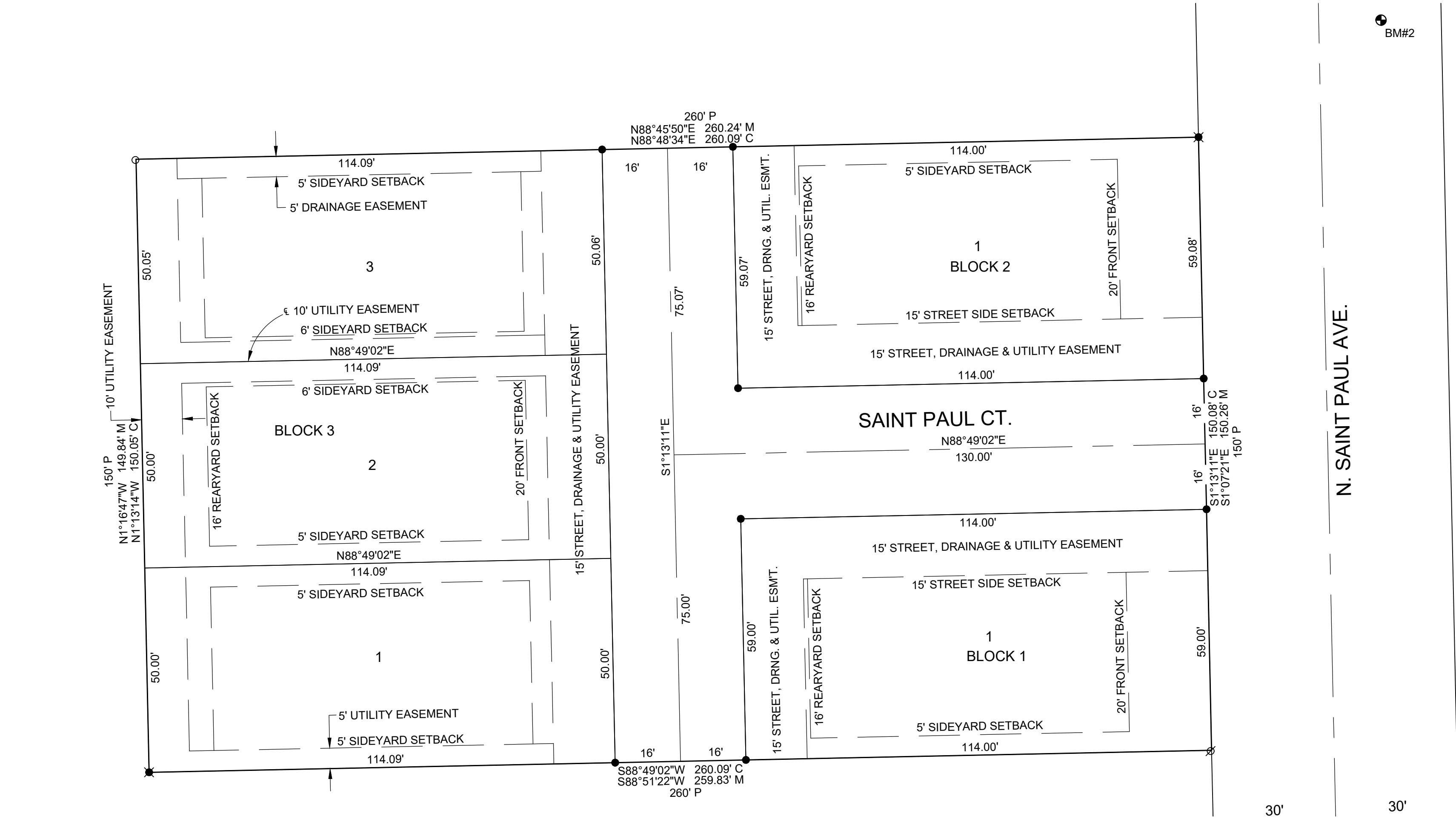
NOTE:
This addition is subject to the Protective Overlay PO #363.

FOR INFORMATION ONLY

DWG FILE: 21S04005 PLATTING BASE
PROJECT NO. 21S04005
JUNE 8, 2021



GARVER
8535 E. 21st Street N.
Suite 130
Wichita, KS 67206
(316) 264-8008
www.GarverUSA.com



BENCHMARK #1:
CHISELED SQUARE ON THE TOP OF
CURB IN FRONT OF 773 N. SAINT PAUL, 63' SOUTH OF
THE SOUTHEAST CORNER OF KIMBERLY ADDITION
ELEVATION = 1307.47 (NAVD88, G18)

BENCHMARK #2:
CHISELED SQUARE ON THE TOP OF
CURB IN FRONT OF 786 N. SAINT PAUL, 28' NORTH OF
THE NORTHEAST CORNER OF KIMBERLY ADDITION
ELEVATION = 1304.16 (NAVD88, G18)

(A) = Assumed Kansas Zone South Grid Bearing
P = Platted (Sim Park Gardens)
M = Measured
C = Calculated
Pro = Prorated
CM = Calculated from Measured

SURVEY MARKER LEGEND

- 3/4" IRON PIPE (FOUND - ORIGIN UNKNOWN)
- ⊗ 1/2" REBAR W/MKEC CAP(FOUND)
- ⊗ 3/4" IRON PIPE SPINNER (FOUND - ORIGIN UNKNOWN)
- ⊗ 3/4" IRON PIPE IN THIMBLE (FOUND - CITY OF WICHITA CONTROL)
- ⊗ 1/2" REBAR W/GARVER CAP (SET)
- MONUMENT TO BE SET WITH STREET CONSTRUCTION PROJECT BY THE STREET DESIGNER

PARCEL	SQ. FT.
LOT 1, BLOCK 1	6726
LOT 1, BLOCK 2	6735
LOT 1, BLOCK 3	5704
LOT 2, BLOCK 3	5704
LOT 3, BLOCK 3	5710