

FINAL PLAT

HAWTHORNE THIRD ADDITION

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

We, MKEC Engineering Consultants, Inc., a Registered Corporate Land Surveyor in Kansas, do hereby certify that we surveyed and plotted "HAWTHORNE THIRD ADDITION" an addition to Wichita, Sedgwick County, Kansas, into lots, blocks, reserves, and streets the same being accurately set forth in the accompanying plat and described herein.

The West 40 acres extending from the South property line to the North property line of the Southeast Quarter of Section 2, Township 27 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas.

TOGETHER WITH:

That part of Hawthorne Addition, an addition to Wichita, Sedgwick County, Kansas as follows:

All of Block 3, said addition

All of Block 4, said addition

All of Block 5, said addition

Lots 44-56 inclusive, Block 6, said addition

All of Reserves L, M, N, O, P, Q, R, said addition

All of Williamsgate Circle, Williamsgate Court, Rosemont Court bound by Block 3.

TOGETHER WITH:

That part of Hawthorne Second Addition, an addition to Wichita, Sedgwick County, Kansas as follows:

Lots 8, Block 2, said addition

TOGETHER WITH:

All of that part of Williamsgate, said additions, EXCEPT that part lying South of Reserve "N" said Hawthorne Addition.

Part of Camden Chase adjoining Lot 8, Block 2, said Hawthorne Second Addition, AND adjoining Block 3 and Reserve "N" and Q, said Hawthorne Addition.

Part of Midgate adjoining Block 1, said Hawthorne Second Addition, AND adjoining Block 3 and Block 4, said Hawthorne Addition.

All reserves, streets, utility easements, building setbacks, access control together with any and all established public rights-of-way within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this _____ day of _____, 2004.

Gregory J. Allison, PE, LS #1257
MKEC Engineering Consultants, Inc.
411 North Webb Street
Wichita, Kansas 67206

Know all men by these presents that we the undersigned property owners of the land above set forth in the Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into lots, blocks, and streets the same to be known as "HAWTHORNE THIRD ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted to the public. The parking easements are for the construction and maintenance of residential parking only and no obstructions shall be constructed or placed within the 20 foot by 50 foot easements, as indicated on the accompanying plat.

A portion of Reserve "A", and all of Reserve "C" are platted for foodways. Reserves "A" and "C" and also a portion for drainage, utilities in designated locations, sidewalks, irrigation, landscaping, berms, monuments, walls and open space. The sidewalks in Reserve "C" are also platted for public access. Reserves "B", "C", "D", "E", "F", "G", "H", "I" AND "K" are platted for drainage, utilities in designated locations, irrigation, landscaping, berms, monuments, sidewalks, and open space. Reserve "B" and "C" are also platted for public parking in designated locations (no vertical utility structures shall be placed within any of the non-exclusive 20'x50' parking easements). Reserves shall be owned and maintained by the homeowner's association, provided however, that the undersigned, or the homeowners association, as the undersigned's successor in interest, may, in their discretion, deed a parcel of the Reserves to an owner or owners of an adjacent lot, subject to the obligation to maintain such deeded parcel of the Reserve in compliance with the provisions hereof and in compliance with the maintenance covenants of any applicable restrictive covenant.

A drainage plan has been developed for this plat and all drainage easements, right-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and understood to allow for the convenience of storm water.

The floodway, as indicated, shall be the responsibility of the owners until such time as the appropriate governing body exercising jurisdiction elects to assume the responsibility for the maintenance and improvements of the drainage, provided further, that no structure shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of a channel or any other work on be carried out without the permission of the City Engineer.

All egress rights of access to or from 21st Street North over and across the South line of "HAWTHORNE THIRD ADDITION," are hereby granted to the appropriate governing body.

The lots are required to adhere to the minimum pad elevations as shown on the "Minimum Pad Elevations" table.

That portion of Williamsgate having a 58 foot right-of-way shall be restricted to no parking on both sides of the street.

TWENTY-FIRST GROWTH, LLC, a Kansas limited liability company

Tim Bachman, Managing Member

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This instrument was acknowledged before me on _____ day of _____, 2004, by Tim Bachman, Managing Member, Twenty-First Growth, LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

My Term Expires: _____, Notary Public

We Bank of America, N.A., holders of a mortgage on the above described property, do hereby consent to the plat of "HAWTHORNE THIRD ADDITION."

BANK OF AMERICA, N.A.

Terry L. Carpenter, Senior Vice President

This instrument was acknowledged before me on _____ day of _____, 2004, by Terry L. Carpenter, Senior Vice President, Bank of America, N.A.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

My Term Expires: _____, Notary Public

Notary Public Vickie Straggh

This plat of "HAWTHORNE THIRD ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this _____ day of _____, 2004

WICHITA-SEDGWICK COUNTY METROPOLITAN PLANNING COMMISSION

Ronald L. Kernell, Chair

John L. Schlegel, Secretary

At the direction of the City Council.

Carlos Mayans, Mayor

Karen Sublett, City Clerk

Entered on transfer record this _____ day of _____, 2004

Don Brace, County Clerk

STATE OF KANSAS, SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this _____ day of _____, 2004, at o'clock M, and is duly recorded.

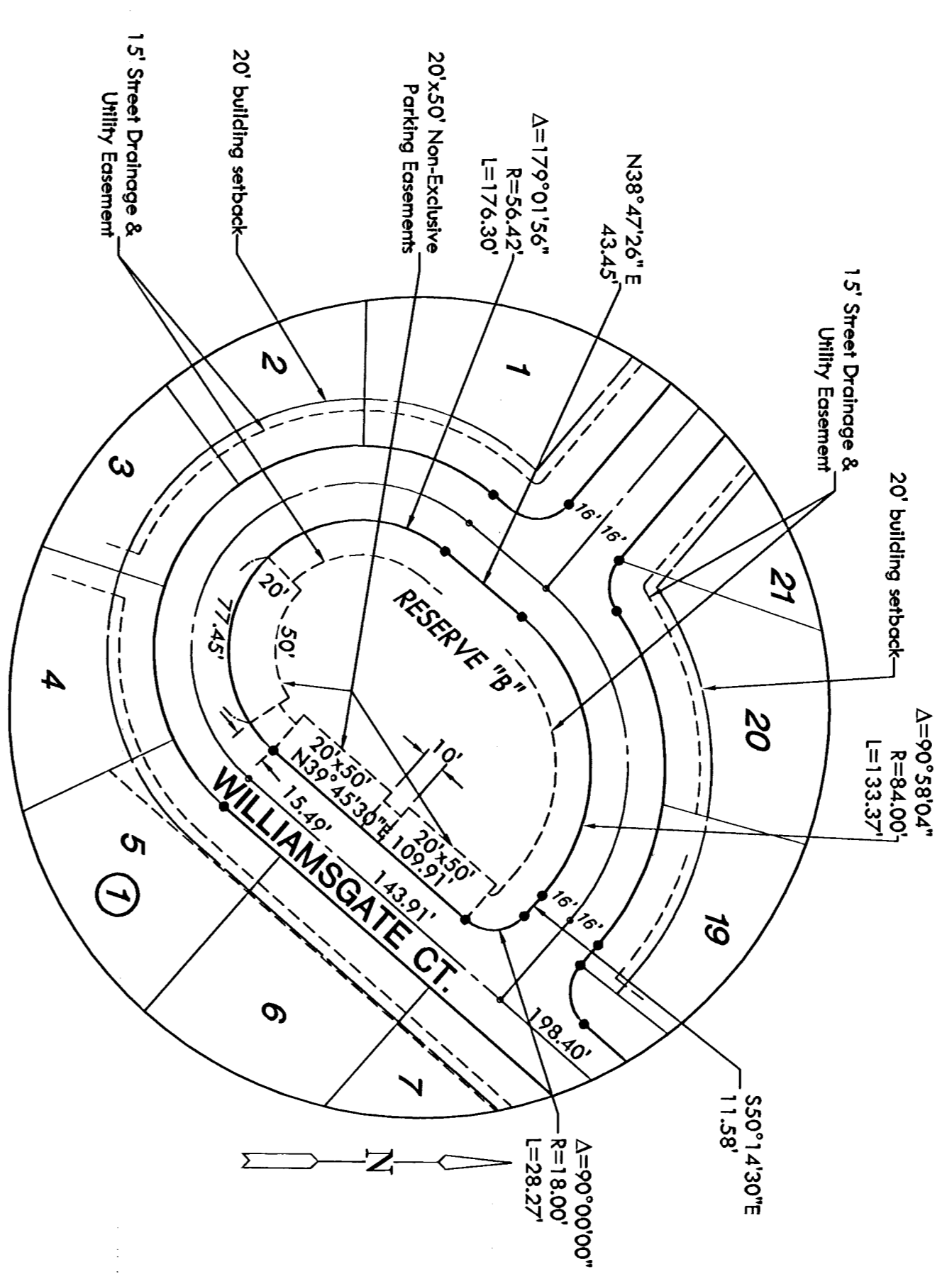
Bill Meek, Register of Deeds

Reviewed in accordance with K.S.A. 58-2005 on this _____ day of _____, 2004.

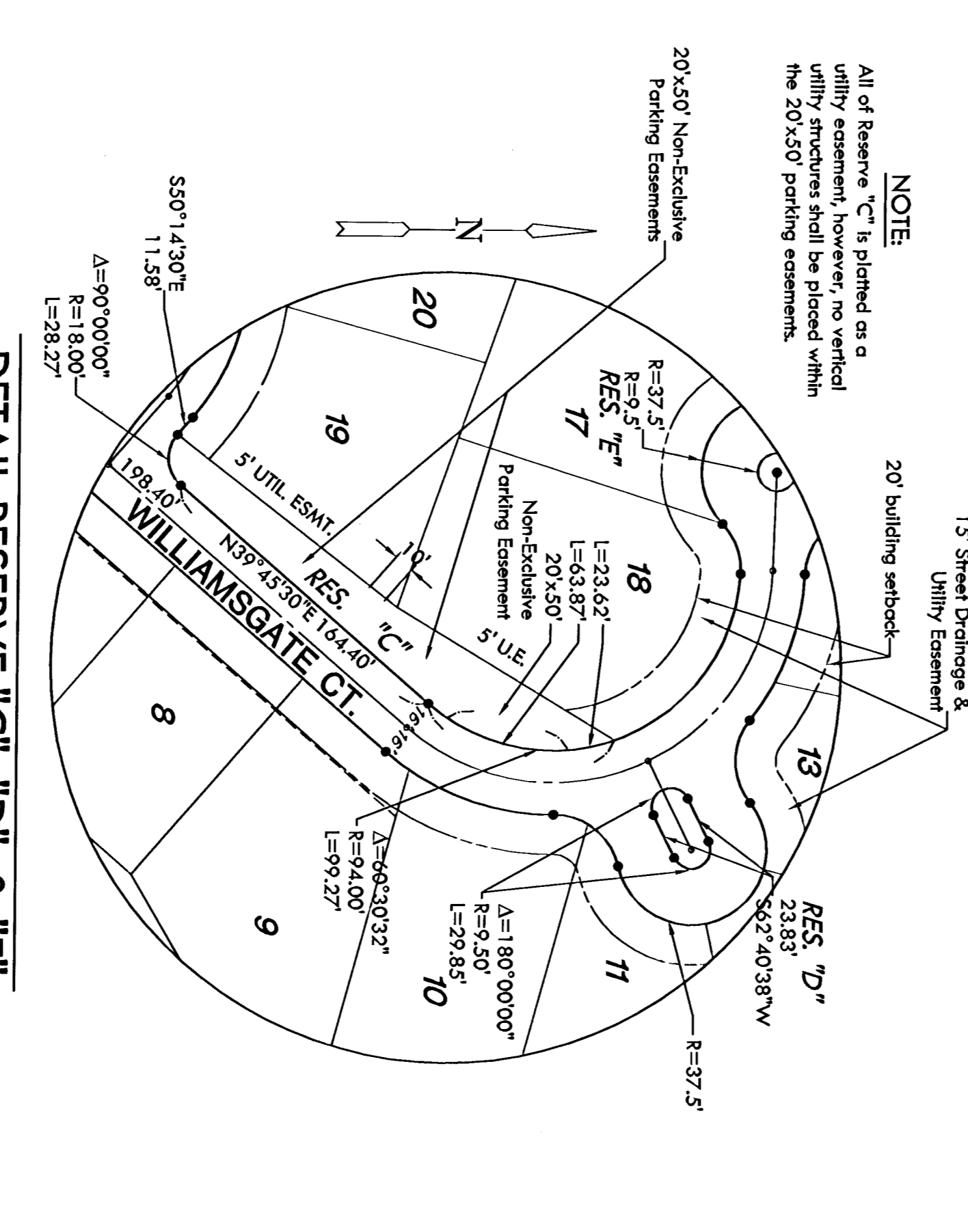
Linda Kizlitz, Deputy

Tricia L. Roballe, LS #1246, Deputy County Surveyor

Sedgwick County, Kansas



DETAIL RESERVE "B"
NOT TO SCALE



DETAIL RESERVE "C", "D", & "E"
NOT TO SCALE

NOTE:
All of Reserve "C" is platted as a utility easement, however, no vertical utility structures shall be placed within the 20'x50' parking easements.

MINIMUM PAD ELEVATIONS (LOWEST OPENINGS)							
LOT	BLOCK	ELEVATION (CITY DATUM)	ELEVATION (NGVD)	LOT	BLOCK	ELEVATION (CITY DATUM)	ELEVATION (NGVD)
1	1	171.1	1358.5	33	1	171.1	1358.5
2	1	171.1	1358.5	34	1	171.1	1358.5
3	1	171.1	1358.5	1	3	177.6	1365.0
4	1	171.1	1358.5	6	4	177.6	1365.0
5	1	171.1	1358.5	12	4	177.6	1365.0
6	1	171.1	1358.5	13	4	177.6	1365.0
7	1	171.1	1358.5	23	4	177.6	1365.0
8	1	171.1	1358.5	24	4	177.6	1365.0
9	1	171.1	1358.5	35	4	177.6	1365.0
10	1	171.1	1358.5	36	4	177.6	1365.0
31	1	171.1	1358.5	37	4	177.6	1365.0
32	1	171.1	1358.5	48	4	177.6	1365.0

