

# GENERAL NOTES:

1. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

- Cox Communications 262-4270
- Kansas Gas Service 1-888-482-4950
- Westar Energy 383-8650
- Aquila Energy 1-800-303-0357
- AT&T 268-2245
- City of Wichita Water Dept. 268-4563
- City of Wichita Sewer Maint. 268-4024
- City of Wichita Storm Sewer Maint. 268-4090
- City of Wichita Traffic Maint. 268-4034
- Conoco Phillips Pipeline Co. 1-877-267-2290
- Southern Star Pipeline Co. 529-6600
- Kinder-Morgan Pipeline Co. 1-888-844-5658

2. Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.

3. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.

4. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.

5. The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

6. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

7. All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMP's."

8. All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.

9. The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractor's proposed method for maintaining sewage flow shall be approved by the Engineer. Cost of maintaining flow of sewage through construction will not be paid for directly and this cost shall be considered as subsidiary to the other pay items of work.

10. All areas disturbed during construction shall be seeded as follows:

Seed: Rye grass (PLS)--5 lbs./1000 Sq. Ft.

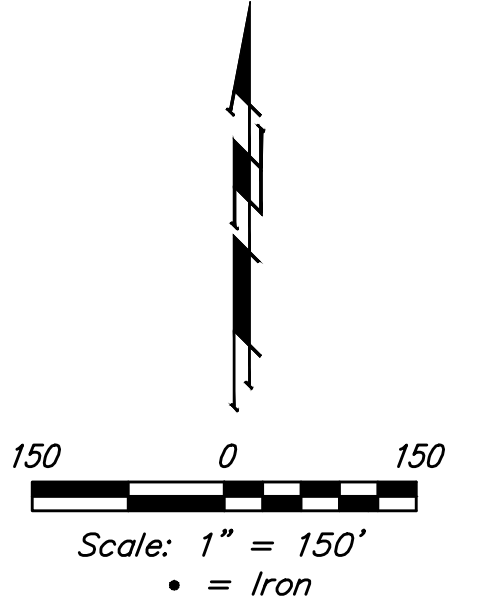
All costs associated with seeding shall be included in bid item "Seeding". All seeding operations shall conform to City of Wichita Standard Specifications.

11. Trees and shrubs in the work area which are in direct conflict with proposed new construction shall be removed by the Contractor ONLY with the Developer or Baughman Company approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage. If trimming is necessary, a chainsaw shall be used. Breaking limbs with equipment will not be allowed. An on-site pre-construction meeting will occur prior to any construction to discuss tree removal, tree protection, and tree trimming.

12. The Developer for this project is Jay Russell P.O. Box 75337, Wichita, KS 67272 PH# (316) 990-2105 Email j@jrusellco.com

# SANITARY SEWER IMPROVEMENTS to serve **SCHULTE-JOHNSON 2ND** **ADDITION - PH. I** CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer  
Project Number 468-2019-009468  
Org Code Number 47263319  
Munis Number E9128



## BENCHMARKS

CUT OFF "T"-POST, DOWN 0.25'  
13.5' WEST OF POWER POLE  
30' SOUTH OF FIRE HYDRANT  
+/- 200' SOUTH OF CENTERLINE  
DRIVE TO HOUSE # 2816 S MAIZE RD.  
ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL  
OF THE SOUTHERNMOST OF THREE  
CONCRETE DITCH CHECKS  
+/- 1125' WEST OF CENTERLINE S.  
MAIZE RD, BEHIND HOUSE #2951 S  
MAIZE RD.  
ELEV. = 1332.383 (NAVD88)

McCullough - Contractor  
K. Kerns - City of Wichita, Field Project Engineer  
S. Stripling - City of Wichita, Inspector  
As-built  
Stubs & Risers  
Release Date (for connection purposes only): 1/10/2022  
Completion Date:  
pdf: apr 2/1/2022

## SHEET INDEX

Title Sheet	Page
Line 1	2
Line 2	3
Line 3	4
Line 4	5-7
Line 5	8
Line 6	9
Erosion Control Plan	10
Erosion Control BMP Details	11-15
Standard Manhole Detail	16
Ring & Cover Detail	17
Vertical Riser Detail	18
Coordinate Sheet	19
Copy of Plat	20

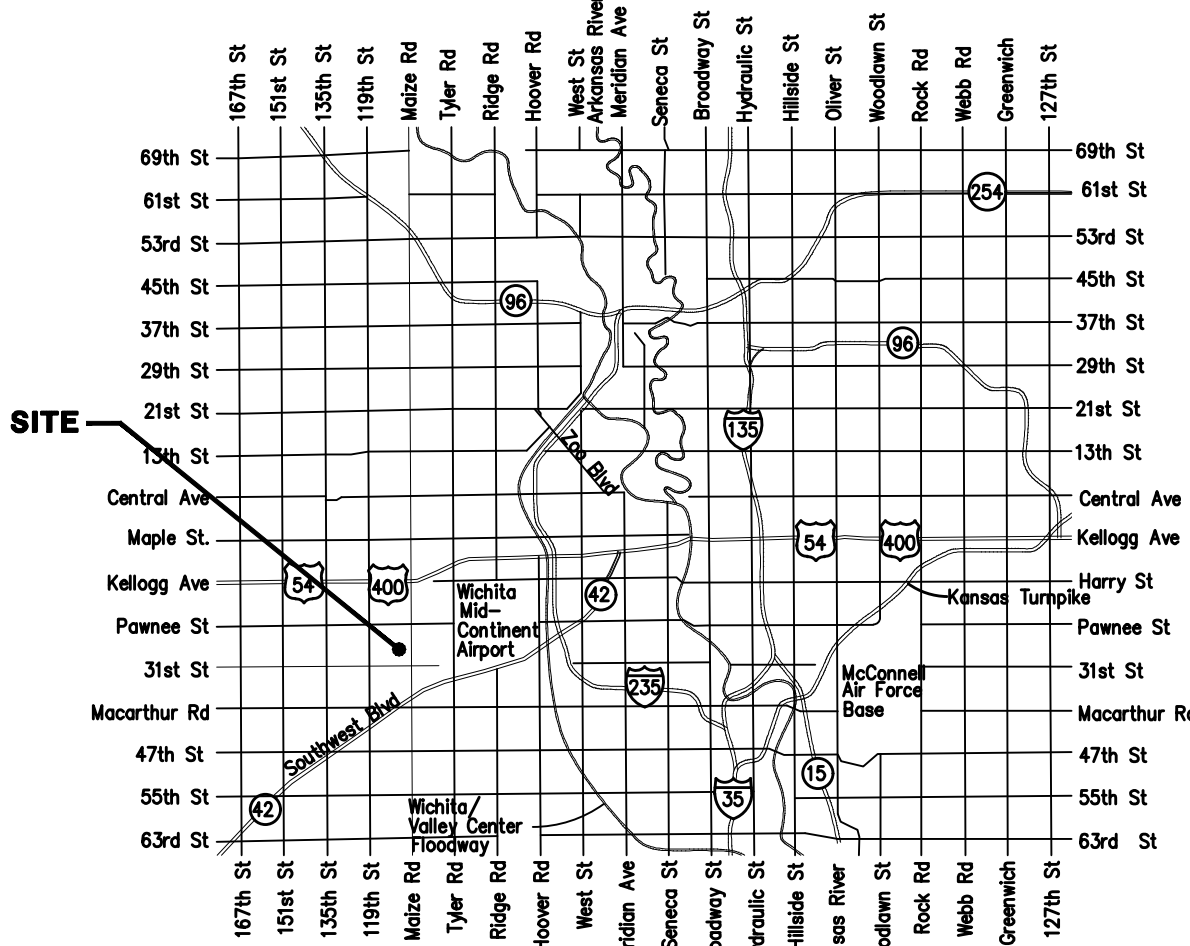
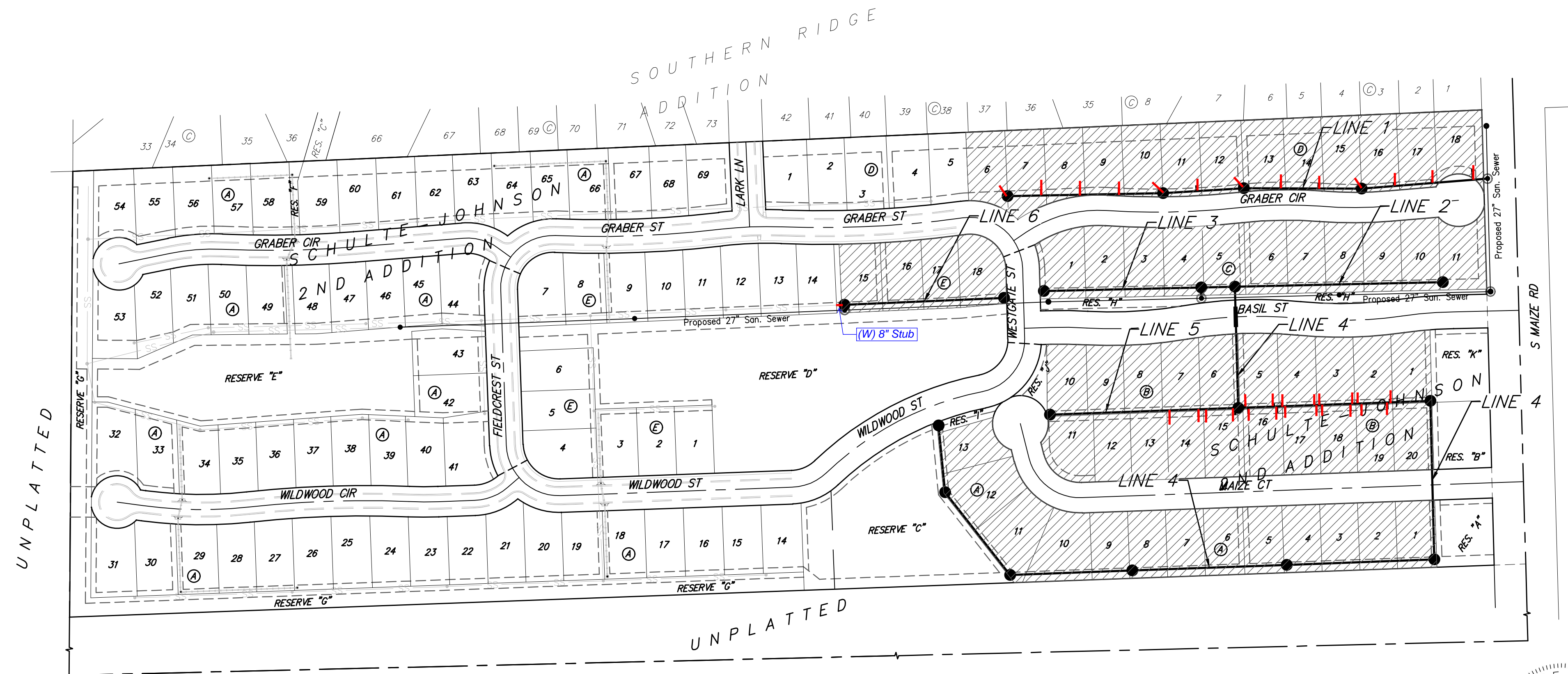
## CONSTRUCTION PHASING

The goal of the phasing is to complete construction on and adjacent to Phase 1 lots, Lots 1-13 Blk A, Lots 11-20 Blk B, Lots 1-11 Blk C, Lots 6-18 Blk D, & Lot 18 Blk E, so that street construction may proceed by August 2nd.

1) The following may be built in the order that the contractor desires. Storm Sewer Lines 1-8. Sanitary Sewer Lines 1-6. Water Lines 1-4. Pond construction and mass grading adjacent to the Phase 1 lots listed above.

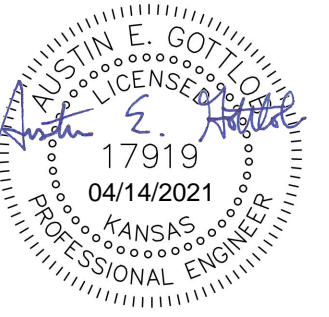
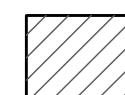
2) Paving contractor under separate contract to be mobilized with Ph. I Paving construction starting as soon as possible.

2) The remaining storm sewer, pond construction, and mass grading will be finished concurrently with the paving project.



## VICINITY MAP

## BENEFIT DISTRICT



Mar. 24, 2021

**BAUGHMAN COMPANY**  
315 Ellis St. Wichita, KS 67211 316-262-7271  
BaughmanCo.com

## Sanitary Sewer Riser Location Table

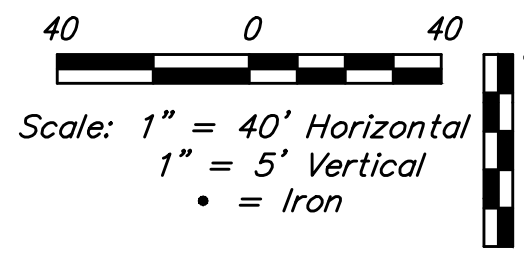
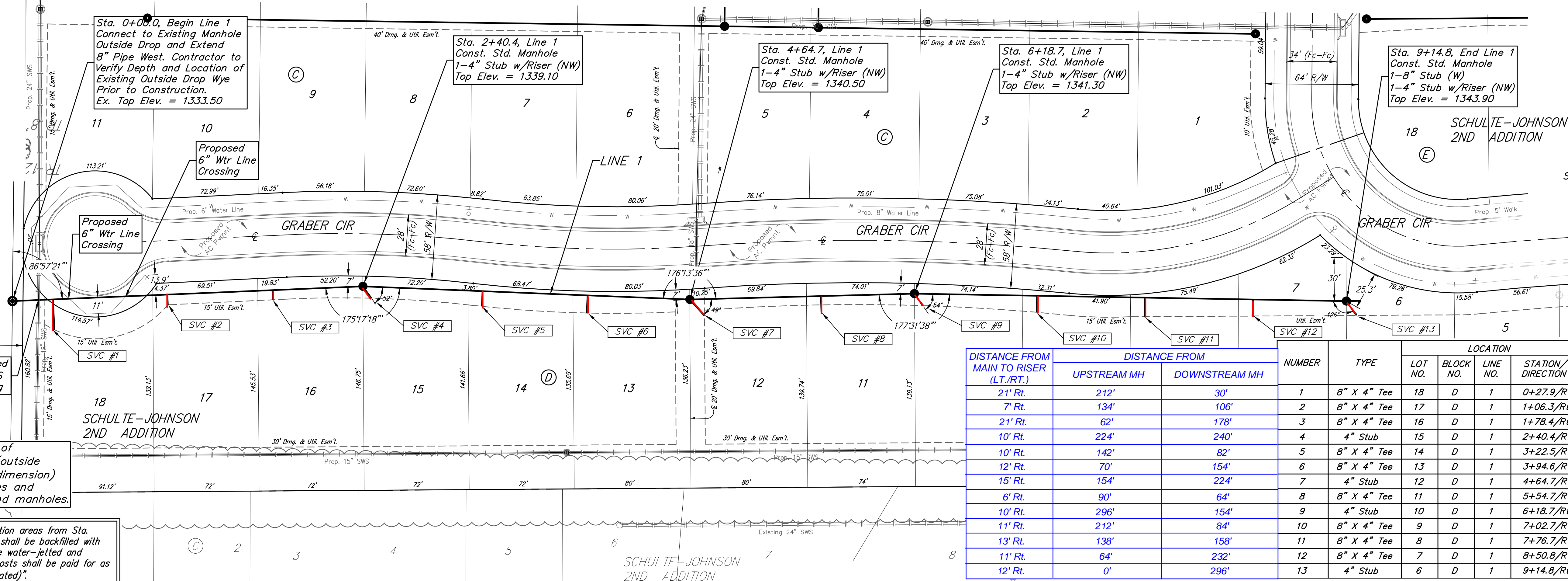
Project Name: WDS\_SS\_SWD #457 to serve Schulte-Johnson 2nd Addn Ph 1  
 Project Location: west of Maize Rd, south of Pawnee  
 Project No: 448-2019-009457\_468-2019-009468\_46  
 OCA No: E9127/47114119\_E9128/47263319\_E91  
 Contractor: McCullough Excavation, Inc.  
 Inspector: Shawn Stripling

Riser No.	Line No.	Station	Distance from Main to Riser (Lt./Rt.)	Distance from	
				Upstream MH	Downstream MH
1	1	0+27.9	21' RT	212'	30'
2	1	1+06.3	7' RT	134'	106'
3	1	1+78.4	7' RT	62'	178'
4	1	2+40.4	10' RT 4" MH stub NW	224'	240'
5	1	3+22.5	10' RT	142'	82'
6	1	3+94.6	12' RT	70'	154'
7	1	4+64.7	15' RT 4" MH stub NW	154'	224'
8	1	5+54.7	6' RT	90'	64'
9	1	6+18.7	10' RT 4" MH stub NW	296'	154'
10	1	7+02.7	11' RT	212'	84'
11	1	7+76.7	13' RT	138'	158'
12	1	8+50.8	11' RT	64'	232'
13	1	9+14.8	12' RT MH stub NW	0'	296'
14	4	2+43.8	7' LT	353'	13'
15	4	2+49.8	13' RT	347'	19'
16	4	2+98.8	7' LT	298'	68'
17	4	3+04.8	13' RT	292'	74'
18	4	3+13.8	7' LT	283'	83'
19	4	3+19.8	13' RT	277'	89'
20	4	3+75.8	7' LT	221'	145'
21	4	3+79.8	13' RT	217'	149'
22	4	3+85.8	7' LT	211'	155'
23	4	3+89.8	13' RT	207'	159'
24	4	4+44.8	13' RT	152'	214'
25	4	4+47.8	7' LT	149'	217'
26	4	4+57.8	7' LT	139'	227'
27	4	4+64.8	13' RT	132'	234'
28	4	5+14.8	13' RT	82'	284'
29	4	5+19.8	7' LT	77'	289'
30	5	0+06	13' LT	352'	6'
31	5	0+61	13' LT	297'	61'
32	5	0+76	13' LT	282'	76'

33	5	1+31	13' LT	227'	131'

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)

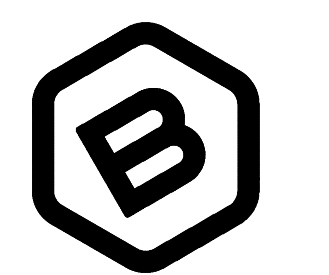
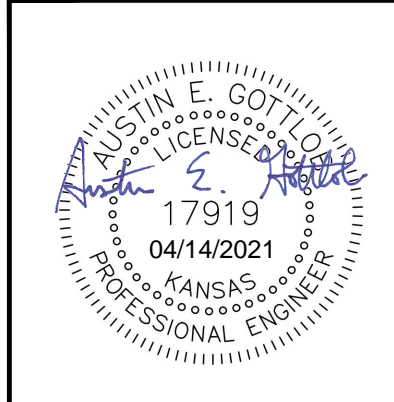
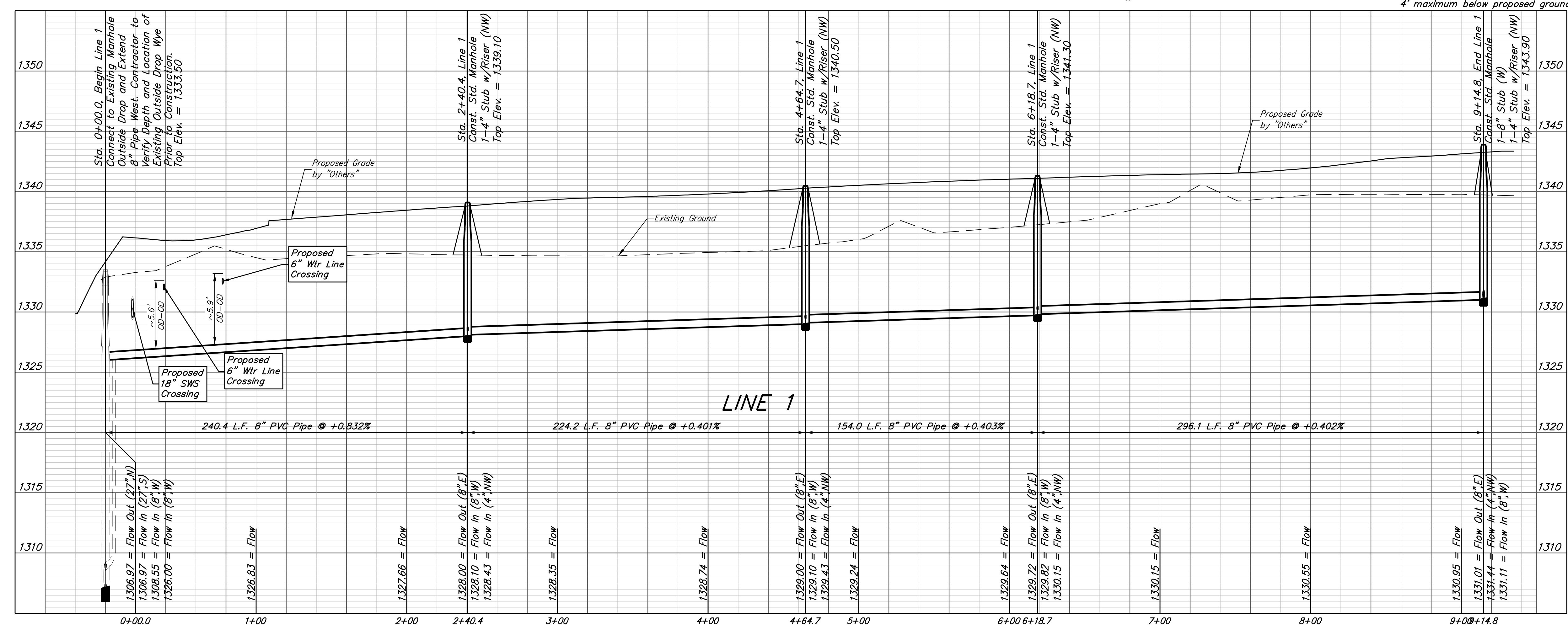


**NOTE:** Maintain 10 ft. of horizontal separation (outside dimension to outside dimension) between the water lines and sanitary sewer lines and manholes.

All trench and manhole excavation areas from Sta. 0+15.0 to Sta. 9+14.8, Line 1 shall be backfilled with sand. The sand backfill shall be water-jetted and vibrated during backfilling. All costs shall be paid for as L.F. "Fill, Sand (Flushed & Vibrated)".

DISTANCE FROM MAIN TO RISER (LT./RT.)	DISTANCE FROM		NUMBER	TYPE	LOCATION				FOR INFORMATION ONLY	
	UPSTREAM MH	DOWNSTREAM MH			LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROXIMATE LENGTH 4" PIPE	
21' Rt.	212'	30'	1	8" X 4" Tee	18	D	1	0+27.9/Rt.	4.9	21
7' Rt.	134'	106'	2	8" X 4" Tee	17	D	1	1+06.3/Rt.	5.8	7
21' Rt.	62'	178'	3	8" X 4" Tee	16	D	1	1+78.4/Rt.	5.7	7
10' Rt.	224'	240'	4	4" Stub	15	D	1	2+40.4/Rt.	5.7	10
10' Rt.	142'	82'	5	8" X 4" Tee	14	D	1	3+22.5/Rt.	5.5	10
12' Rt.	70'	154'	6	8" X 4" Tee	13	D	1	3+94.6/Rt.	5.2	12
15' Rt.	154'	224'	7	4" Stub	12	D	1	4+64.7/Rt.	5.0	15
6' Rt.	90'	64'	8	8" X 4" Tee	11	D	1	5+54.7/Rt.	5.4	6
10' Rt.	296'	154'	9	4" Stub	10	D	1	6+18.7/Rt.	5.6	10
11' Rt.	212'	84'	10	8" X 4" Tee	9	D	1	7+02.7/Rt.	5.6	11
13' Rt.	138'	158'	11	8" X 4" Tee	8	D	1	7+76.7/Rt.	5.6	13
11' Rt.	64'	232'	12	8" X 4" Tee	7	D	1	8+50.8/Rt.	5.3	11
12' Rt.	0'	296'	13	4" Stub	6	D	1	9+14.8/Rt.	5.6	12

**NOTE:** Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.



**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND ADD. - PHASE I

LINE 1

SANITARY SEWER IMPROVEMENTS

PROJECT NUMBER:  
468-2019-009468

DESIGN: AEG DRAWN: HJW

DATE: April 12, 2021

SHEET OF  
2 20

File: C:\Projects\Schulte-Johnson 2nd Addition\Engineering\Phase 1\SSISS Plans.dwg

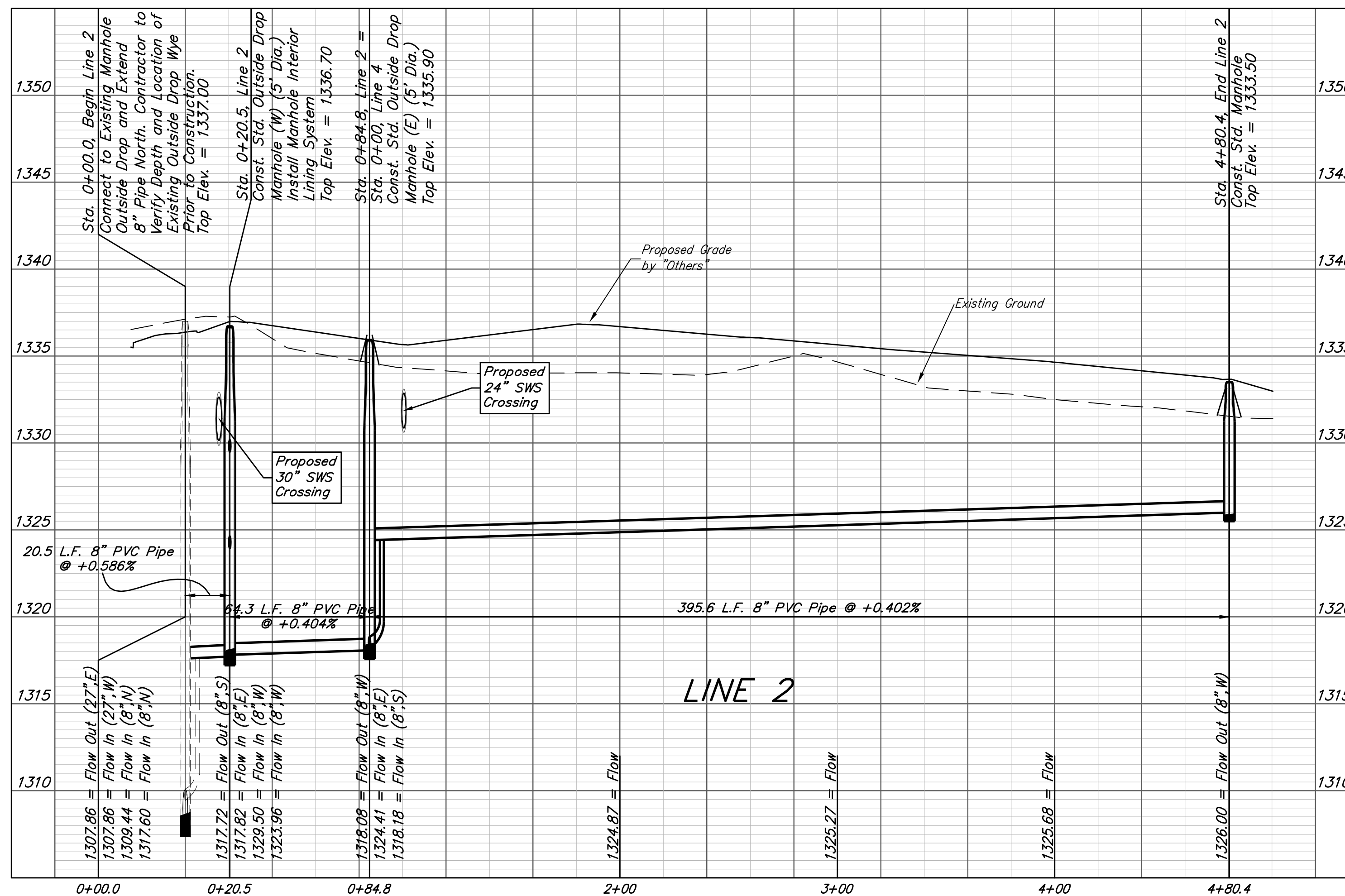
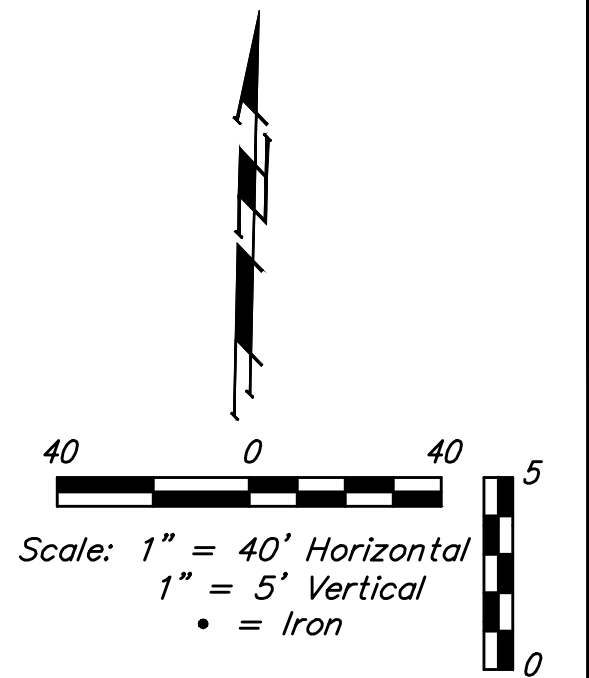
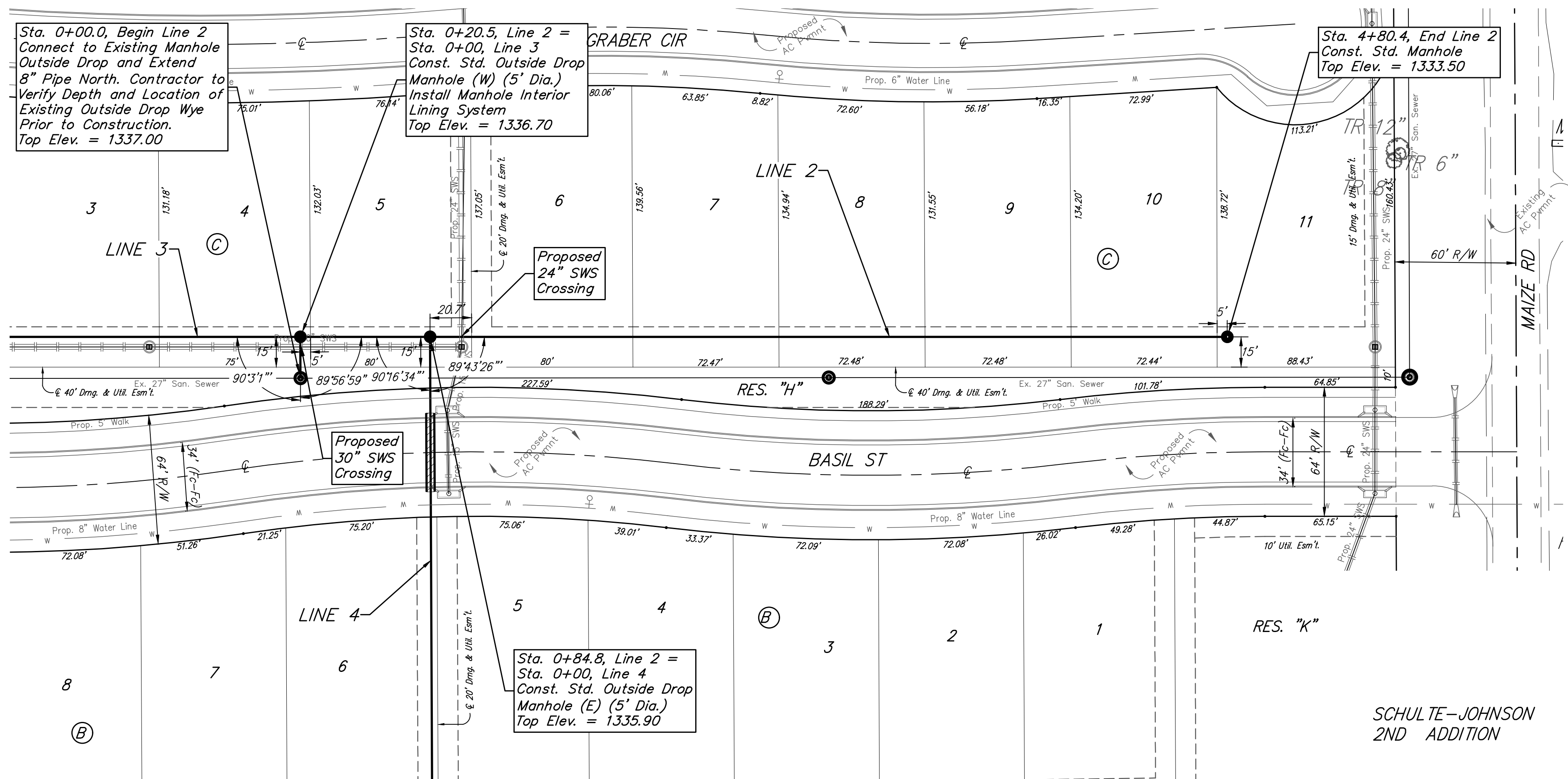
**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)

SCHULTE-JOHNSON  
 2ND ADDITION

Cost of Manhole Interior Lining  
 System to be Incidental to Cost  
 of Manhole.

NOTE: Maintain 10 ft. of  
 horizontal separation (outside  
 dimension) to outside dimension  
 between the water lines and  
 sanitary sewer lines and manholes.



Professional Engineer Seal: AUSTIN E. GOTTSCHEW, LICENSE # 17919, dated 04/14/2021, KANSAS PROFESSIONAL ENGINEER.

**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

LINE 2

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

DESIGN: AEG DRAWN: HJW

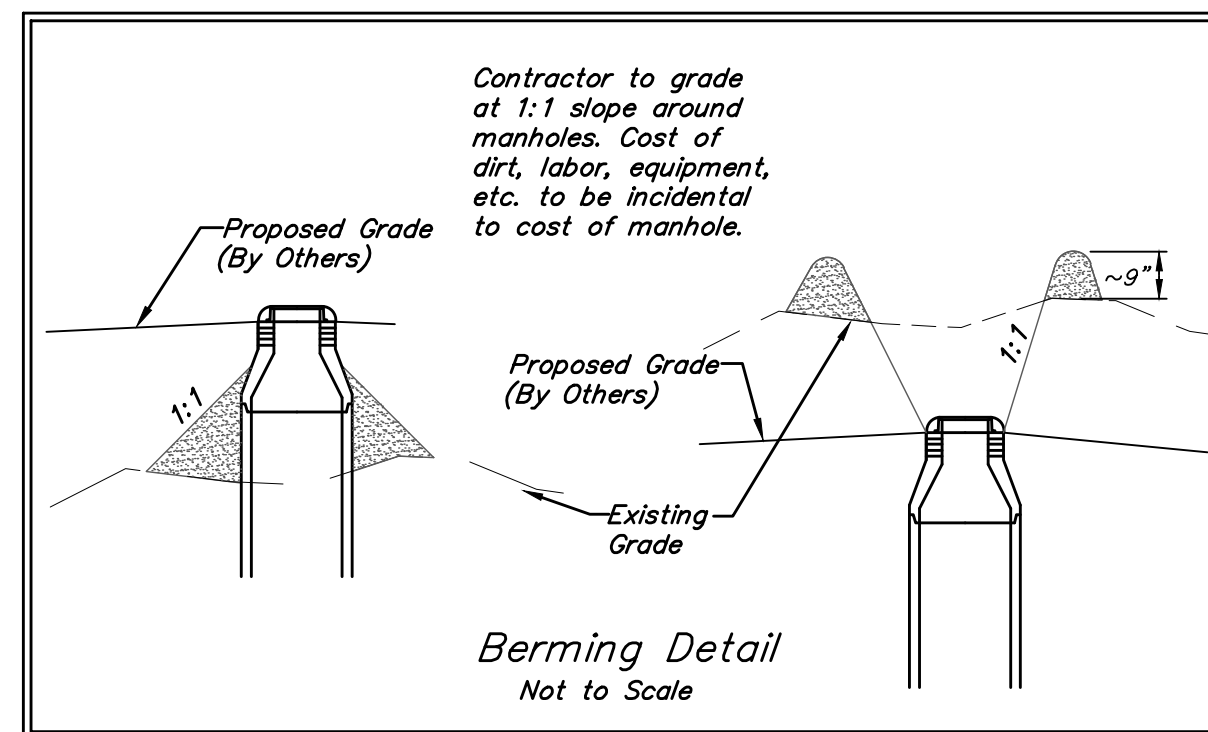
DATE: April 12, 2021

SHEET 3 OF 20

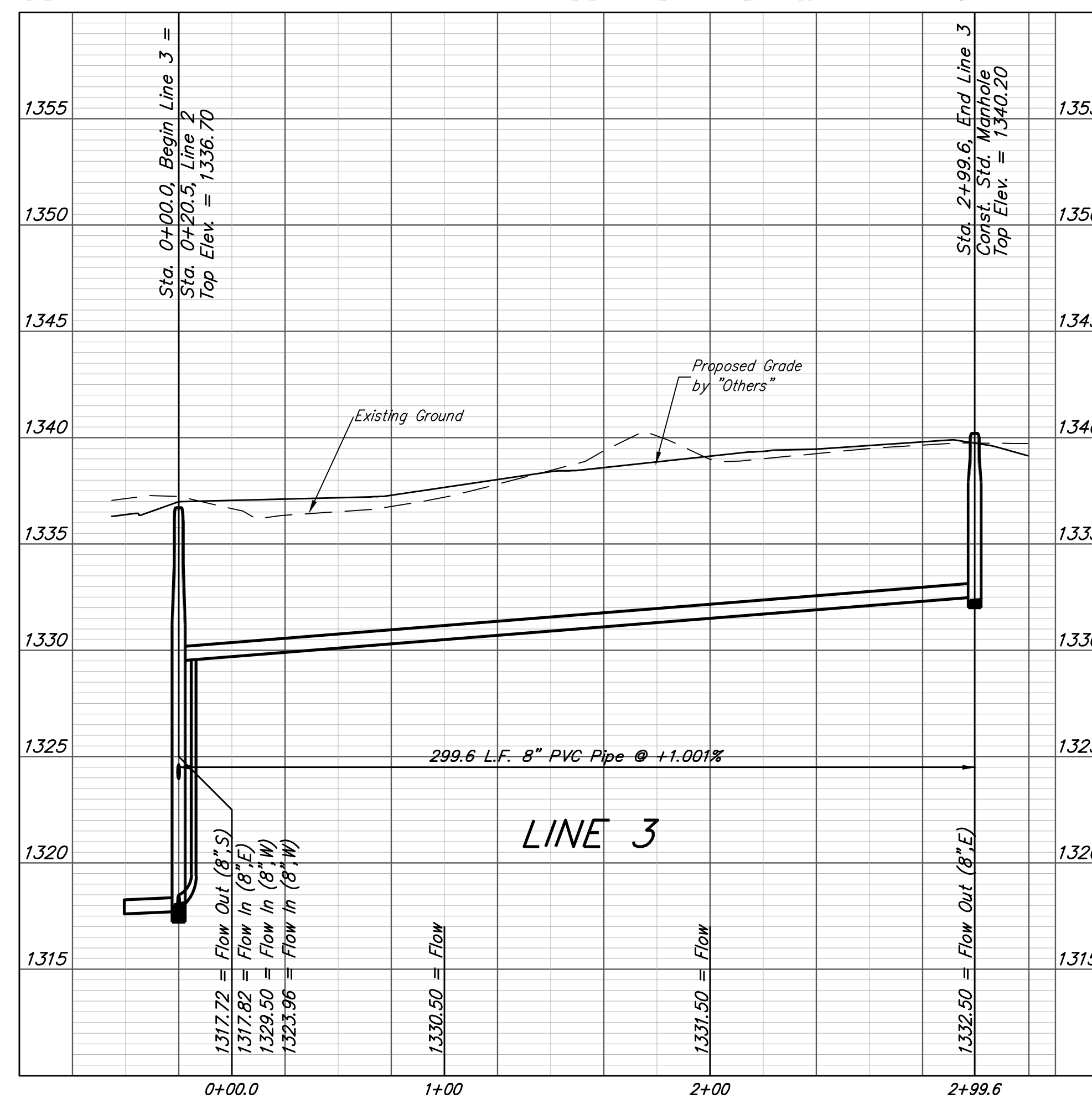
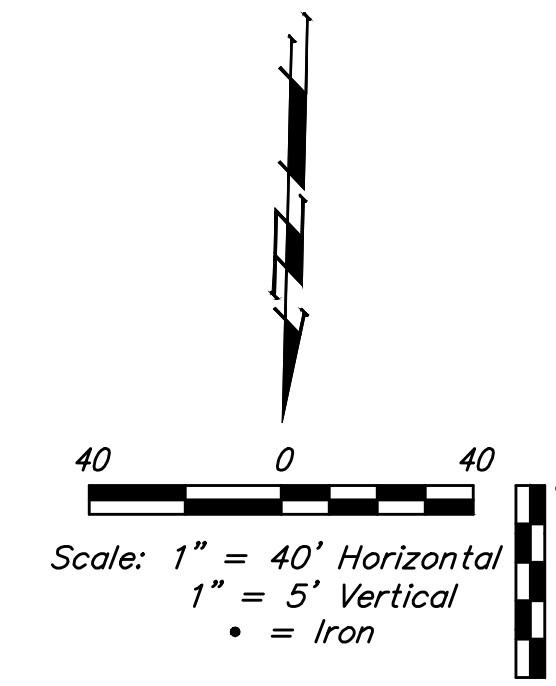
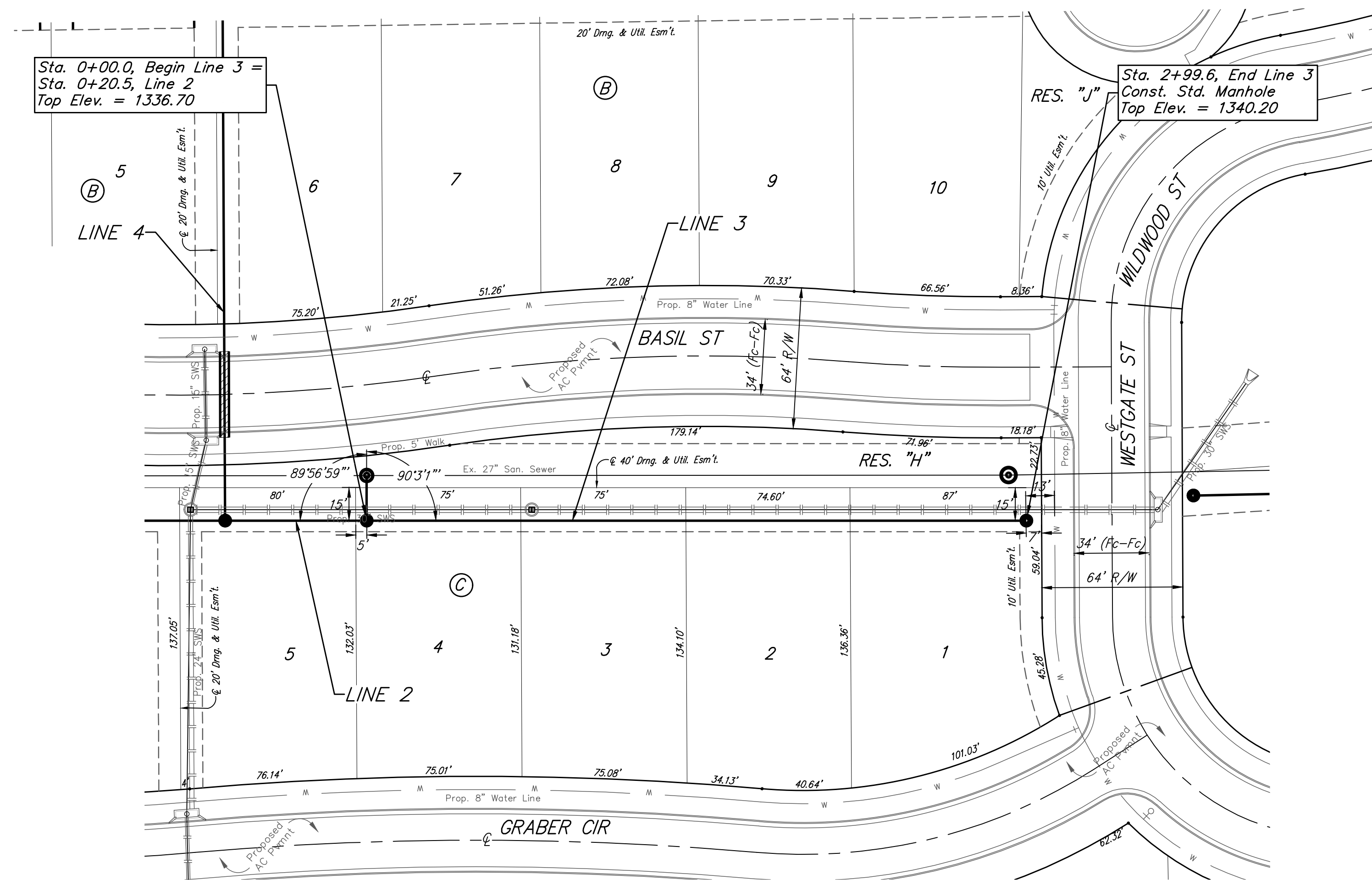
File: C:\Projects\Schulte-Johnson 2nd Addition\Engineering\Phase 1\SSISS Plans.dwg

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

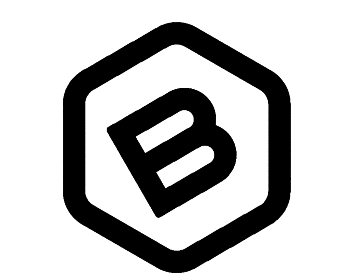
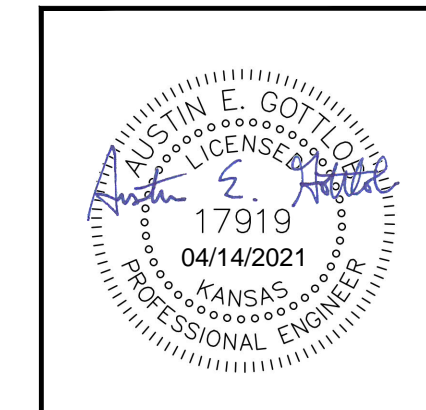
SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)



**NOTE:** Maintain 10 ft. of horizontal separation (outside dimension to outside dimension) between the water lines and sanitary sewer lines and manholes.



SCHULTE-JOHNSON  
 2ND ADDITION



**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

LINE 3

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

DESIGN: AEG DRAWN: HJW

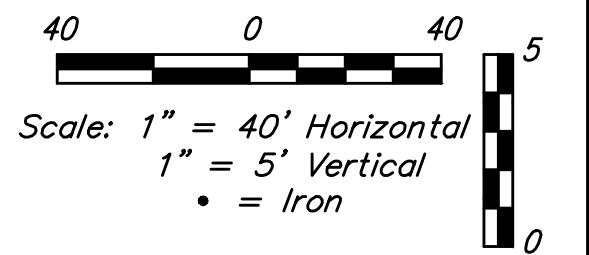
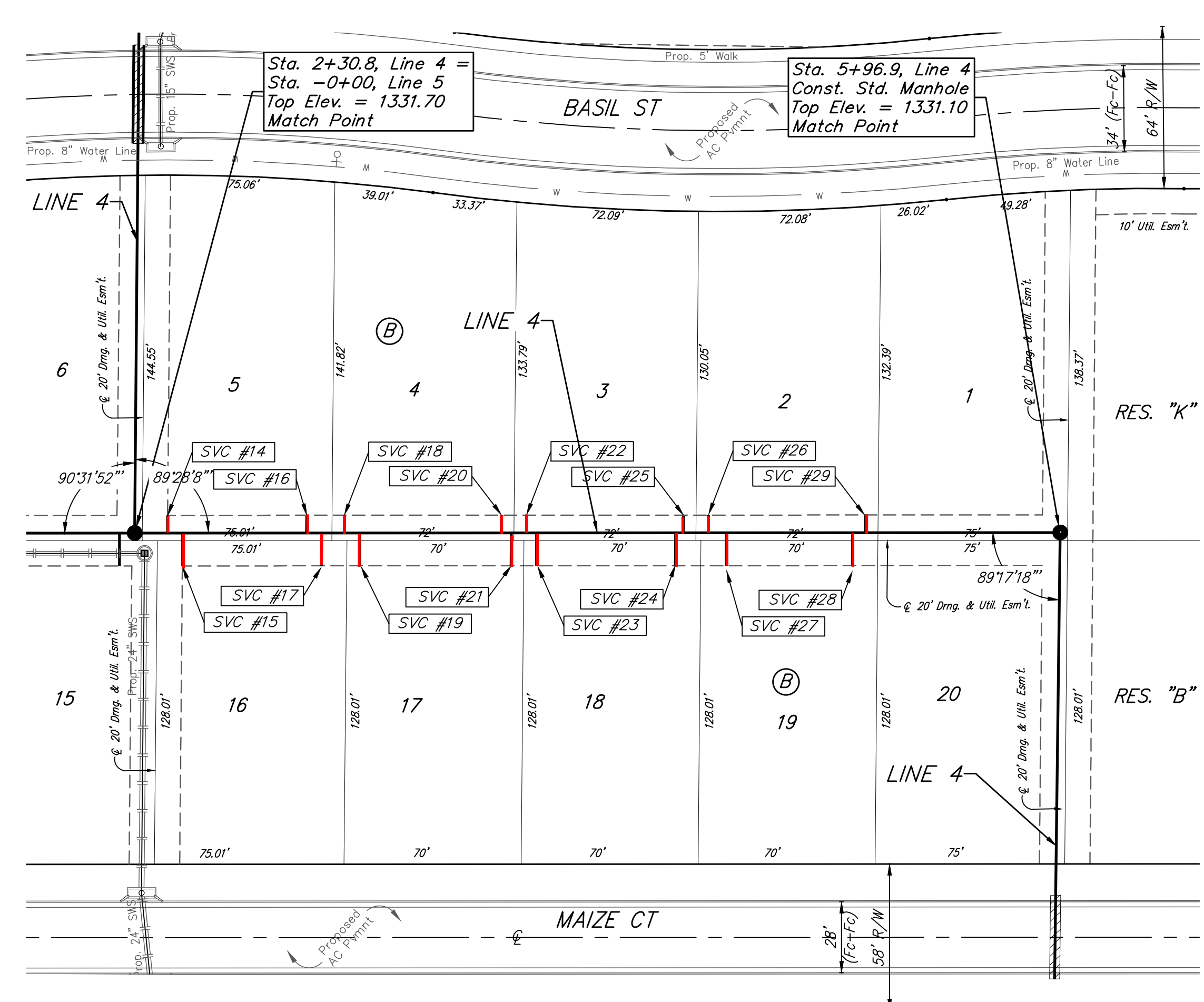
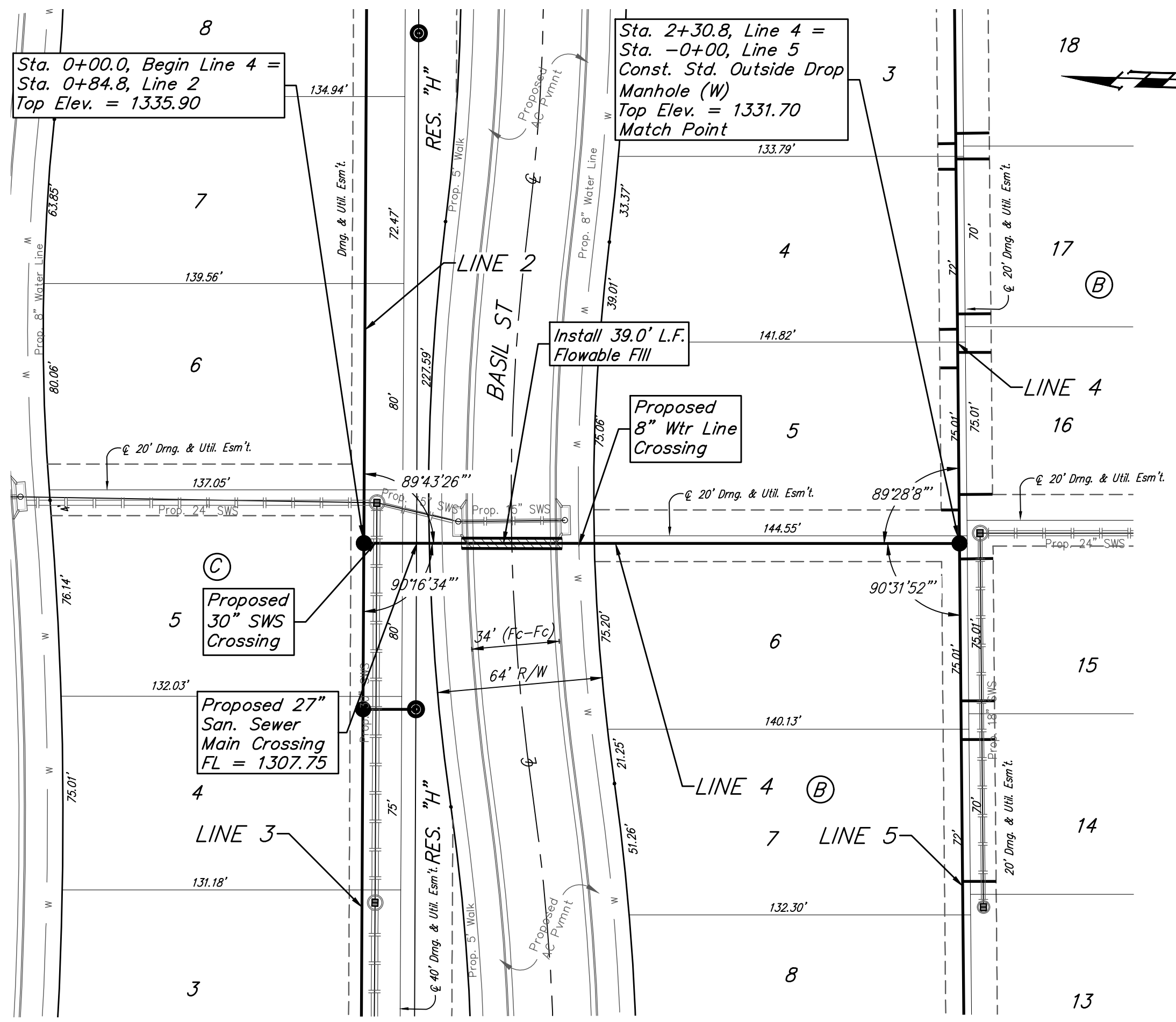
DATE: April 12, 2021

SHEET OF  
 4 20

BENCHMARKS:  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)

SCHULTE-JOHNSON  
 2ND ADDITION

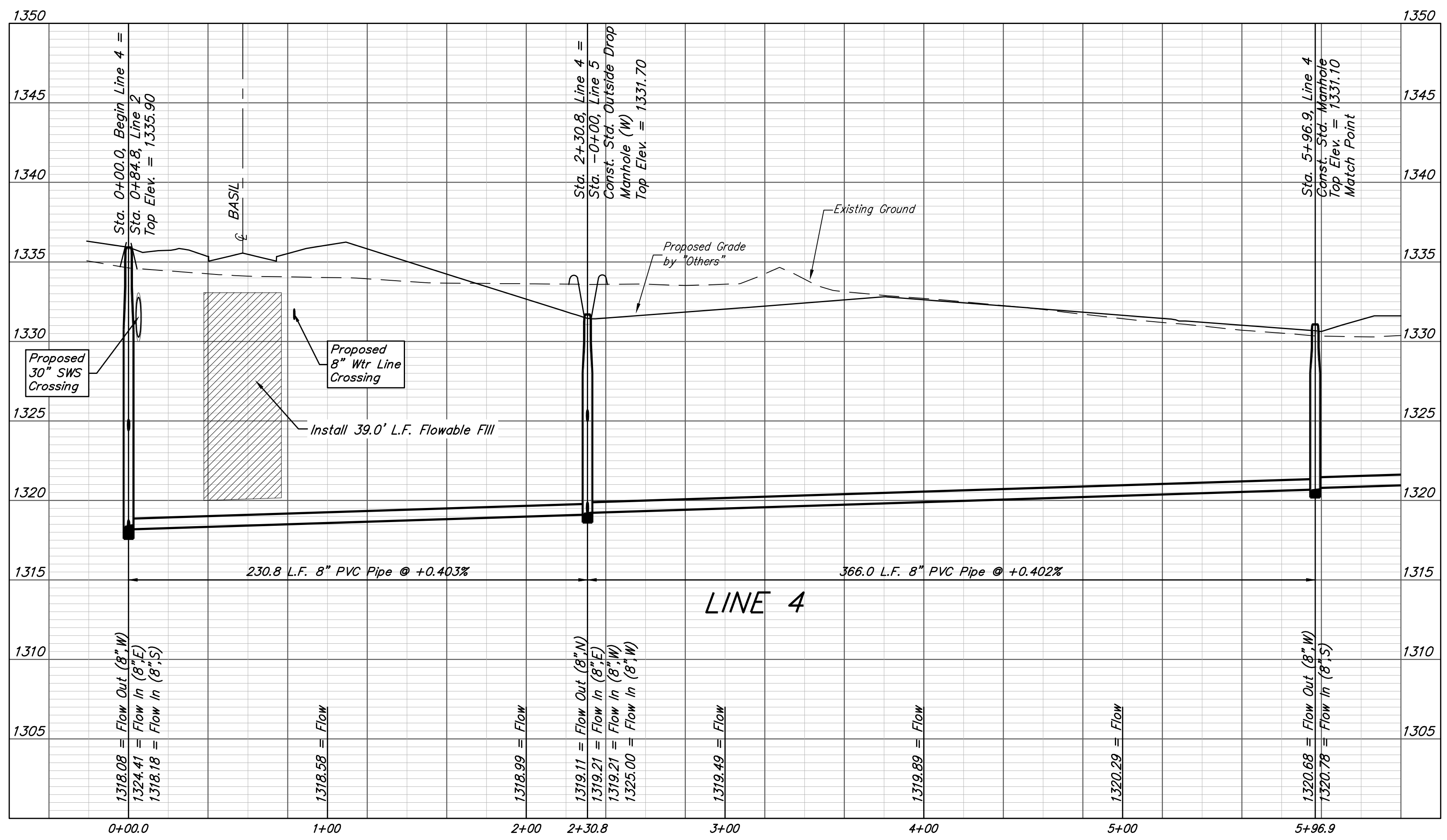


SCHULTE-JOHNSON  
 2ND ADDITION

NUMBER	TYPE	LOCATION				FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROXIMATE LENGTH 4" PIPE VERTICAL	HORIZONTAL
14	8" X 4" Tee	5	B	4	2+43.8/Lt.	7.5	7
15	8" X 4" Tee	16	B	4	2+49.8/Rt.	7.4	13
16	8" X 4" Tee	5	B	4	2+98.8/Lt.	7.7	7
17	8" X 4" Tee	16	B	4	3+04.8/Rt.	7.8	13
18	8" X 4" Tee	4	B	4	3+13.8/Lt.	7.8	7
19	8" X 4" Tee	17	B	4	3+19.8/Rt.	7.8	13
20	8" X 4" Tee	4	B	4	3+75.8/Lt.	8.1	7
21	8" X 4" Tee	17	B	4	3+79.8/Rt.	8.0	13
22	8" X 4" Tee	3	B	4	3+85.8/Lt.	8.1	7
23	8" X 4" Tee	18	B	4	3+89.8/Rt.	7.8	13
24	8" X 4" Tee	18	B	4	4+44.8/Rt.	7.2	13
25	8" X 4" Tee	3	B	4	4+47.8/Lt.	7.3	7
26	8" X 4" Tee	2	B	4	4+57.8/Lt.	7.1	7
27	8" X 4" Tee	19	B	4	4+64.8/Rt.	6.9	13
28	8" X 4" Tee	19	B	4	5+14.8/Rt.	6.3	13
29	8" X 4" Tee	2	B	4	5+19.8/Lt.	6.3	7

NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.

NUMBER	DISTANCE FROM MAIN TO RISER (LT./RT.)	DISTANCE FROM	
		UPSTREAM MH	DOWNSTREAM MH
14	7' Lt.	353'	13'
15	13' Rt.	347'	19'
16	7' Lt.	298'	68'
17	13' Rt.	292'	74'
18	7' Lt.	283'	83'
19	13' Rt.	277'	89'
20	7' Lt.	221'	145'
21	13' Rt.	217'	149'
22	7' Lt.	211'	155'
23	13' Rt.	207'	159'
24	13' Rt.	152'	214'
25	7' Lt.	149'	217'
26	7' Lt.	139'	227'
27	13' Rt.	132'	234'
28	13' Rt.	82'	284'
29	7' Lt.	77'	289'



**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

LINE 4

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

DESIGN: AEG DRAWN: HWJ

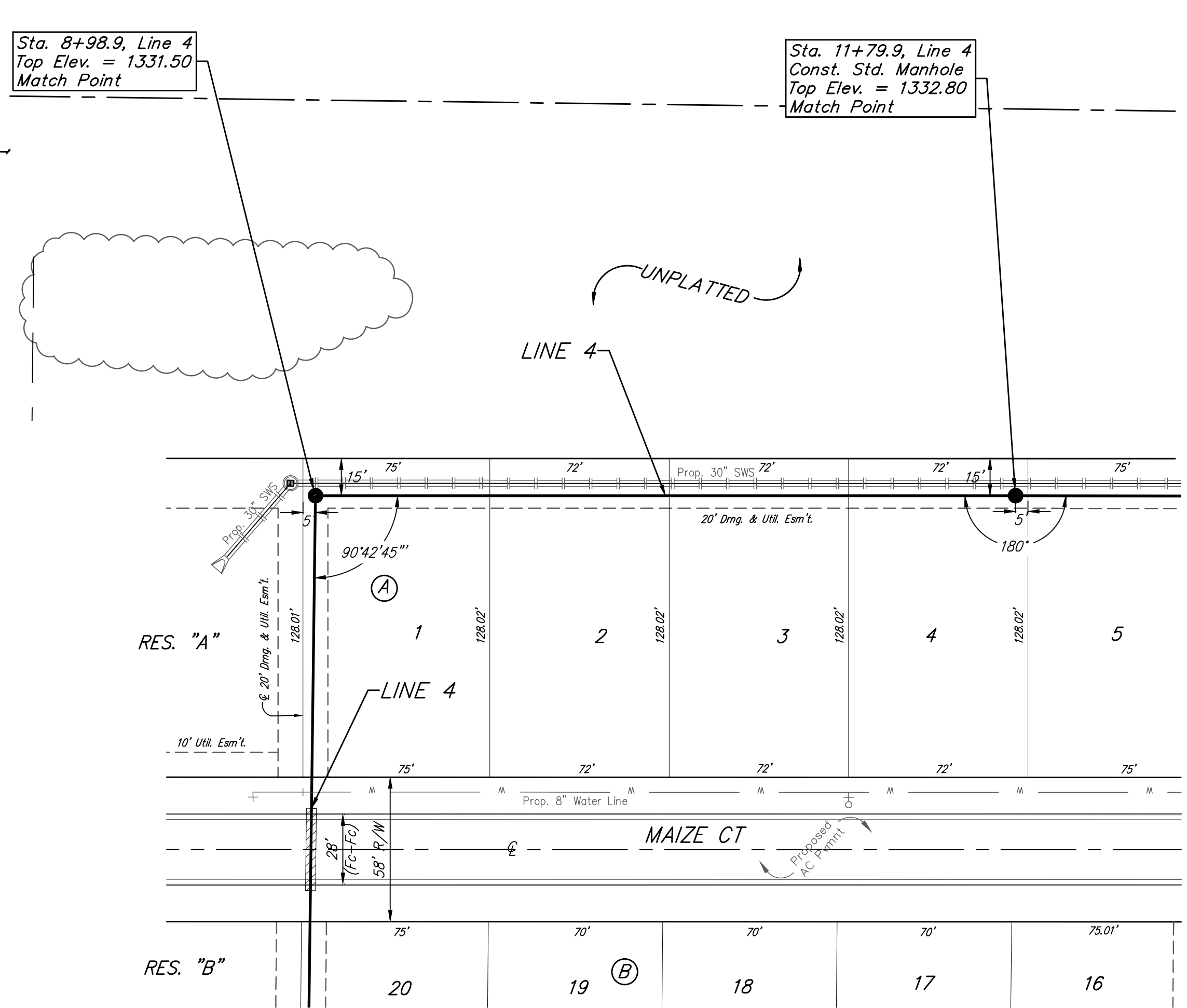
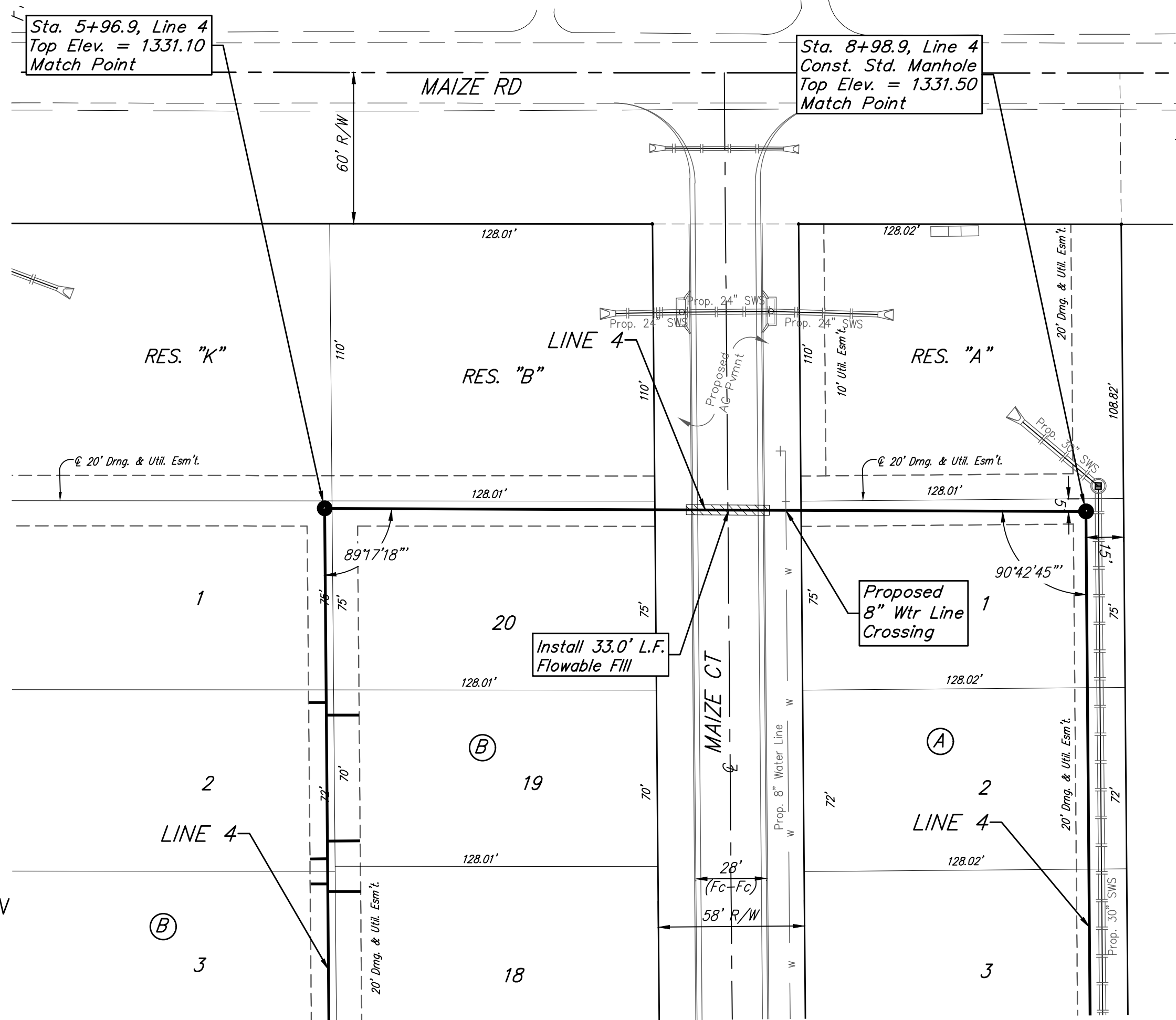
DATE: April 12, 2021

SHEET OF  
 5 20

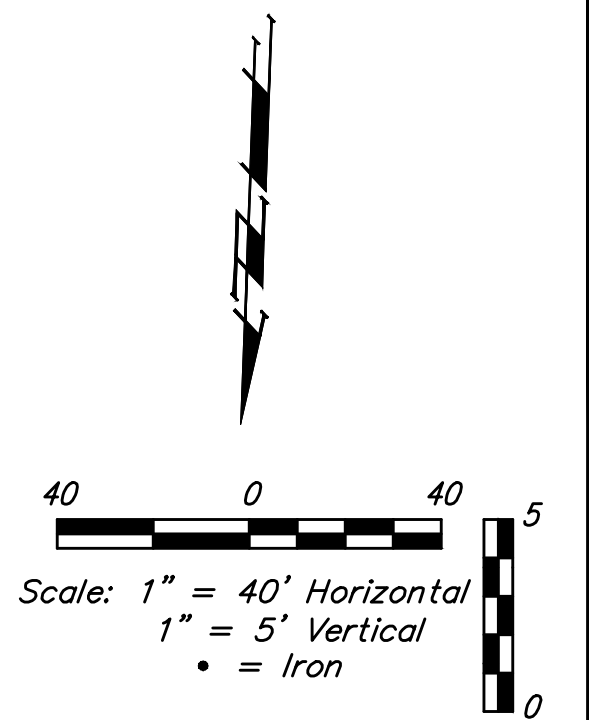
File: C:\Projects\Schulte-Johnson 2nd Addition\Engineering\Phase 1\SSSS Plans.dwg

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

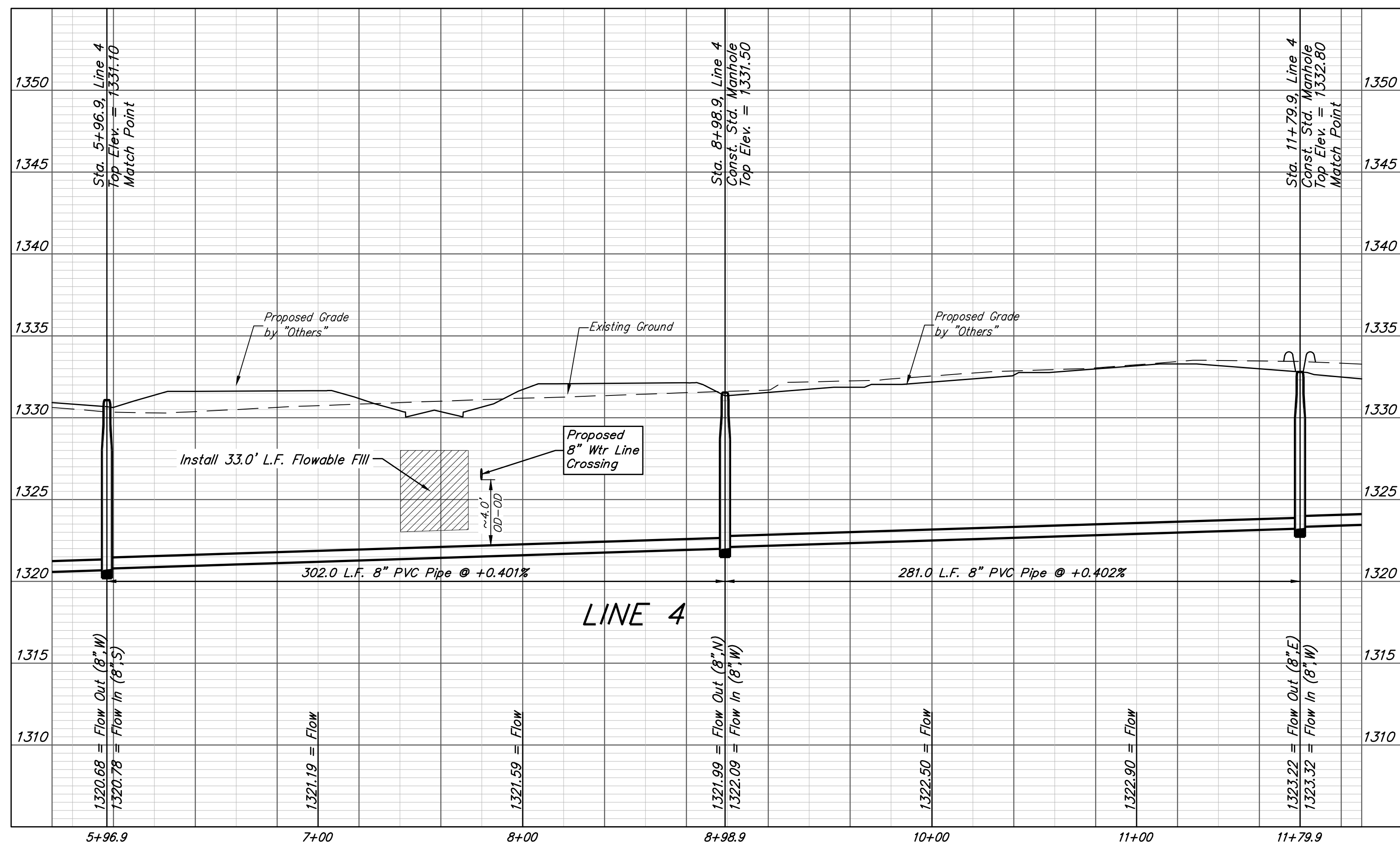
SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)



SCHULTE-JOHNSON  
 2ND ADDITION



SCHULTE-JOHNSON  
 2ND ADDITION





**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

**LINE 4**

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

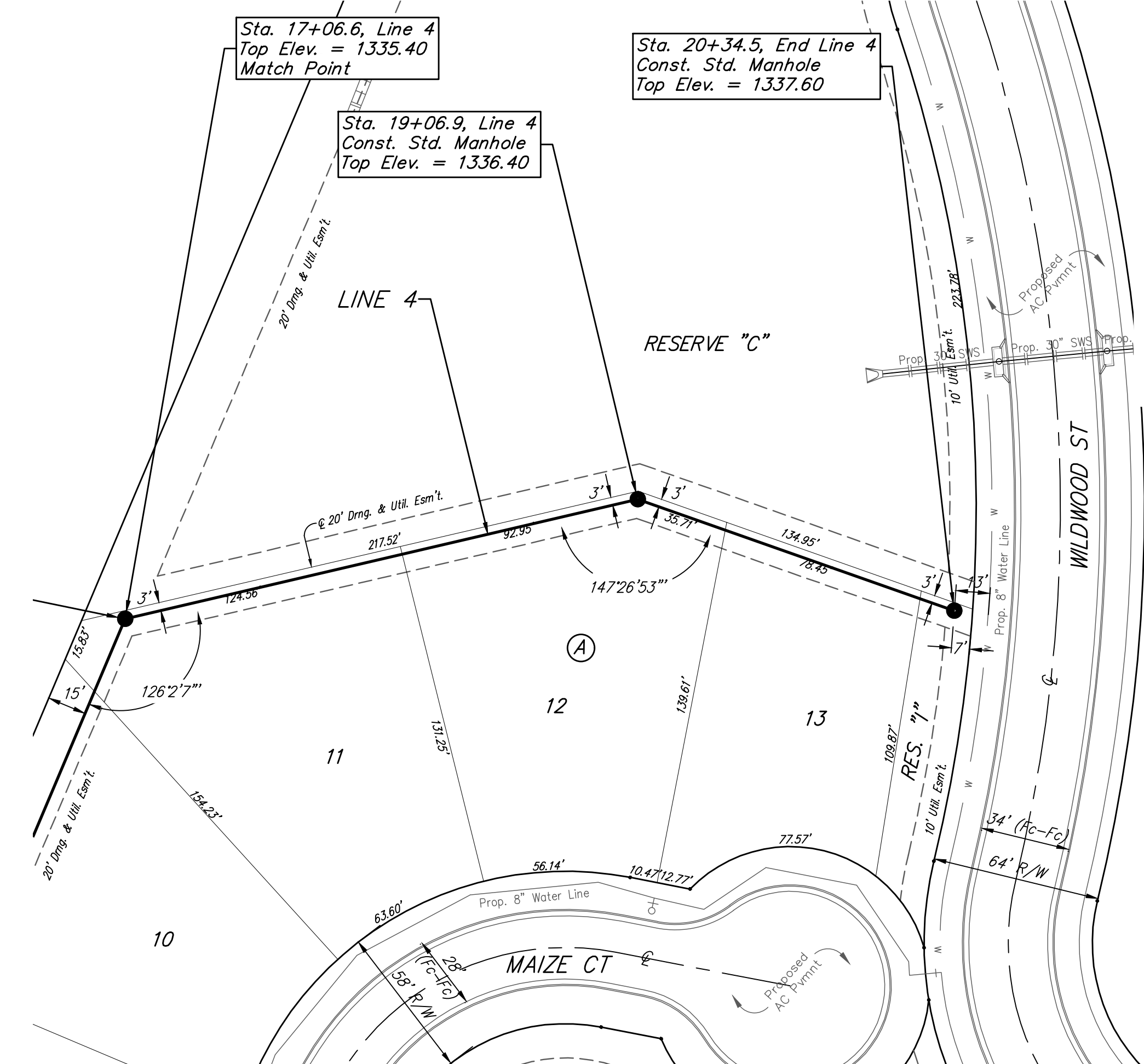
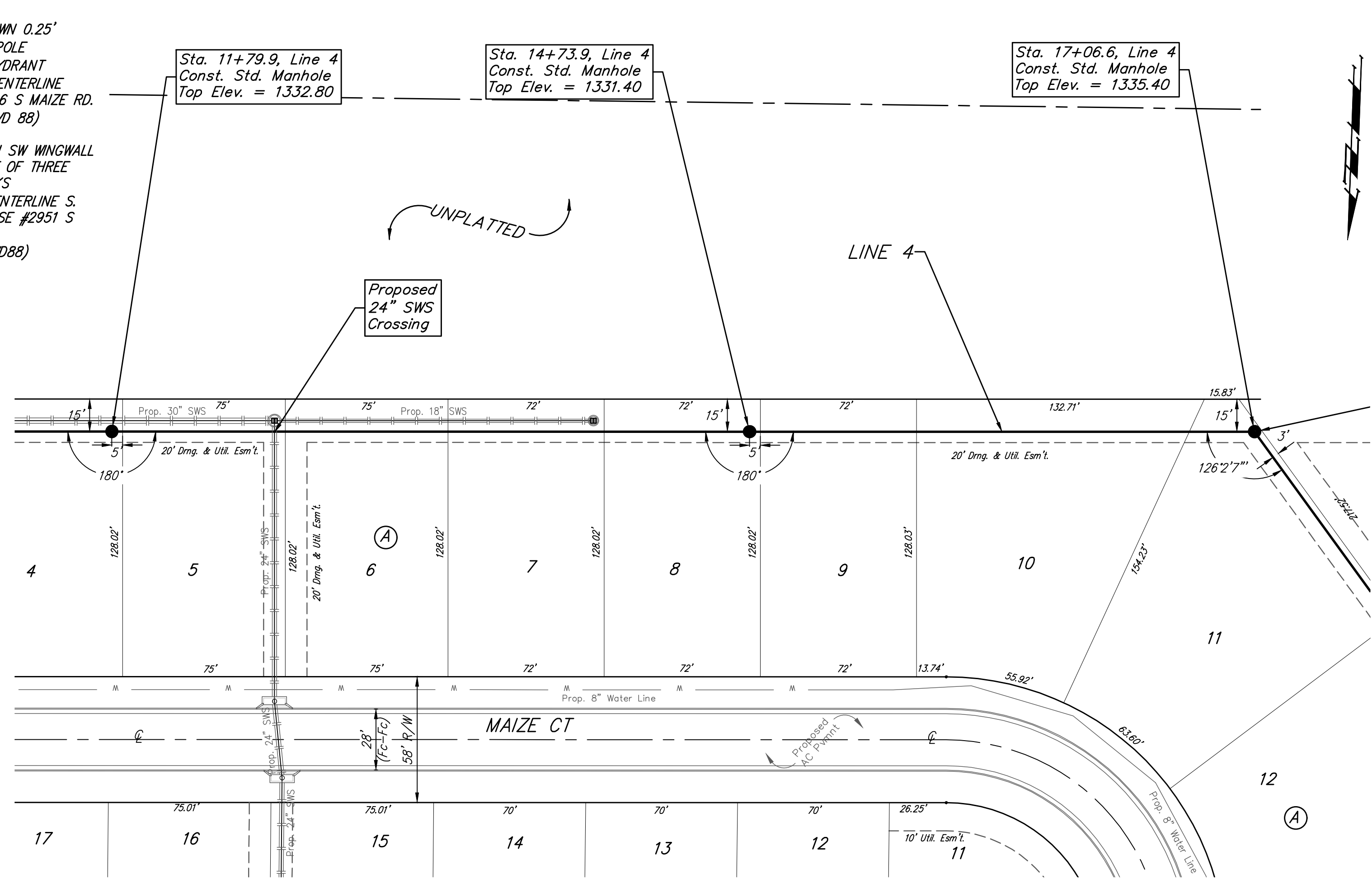
DESIGN: AEG DRAWN: HWJ  
 DATE: April 12, 2021

SHEET OF  
 6 20

File: C:\Projects\Schulte-Johnson 2nd Addition\Engineering\Phase 1\SSISS Plans.dwg

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

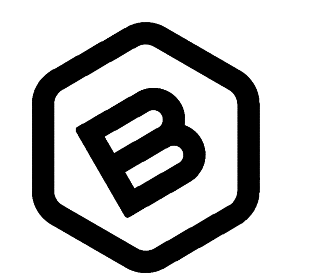
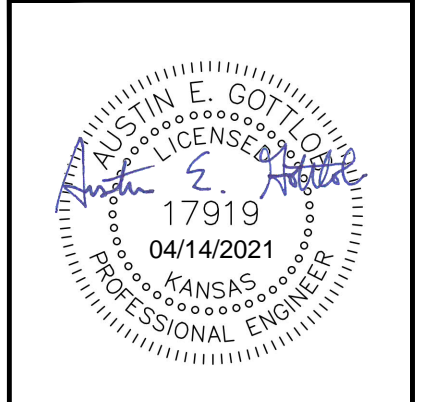
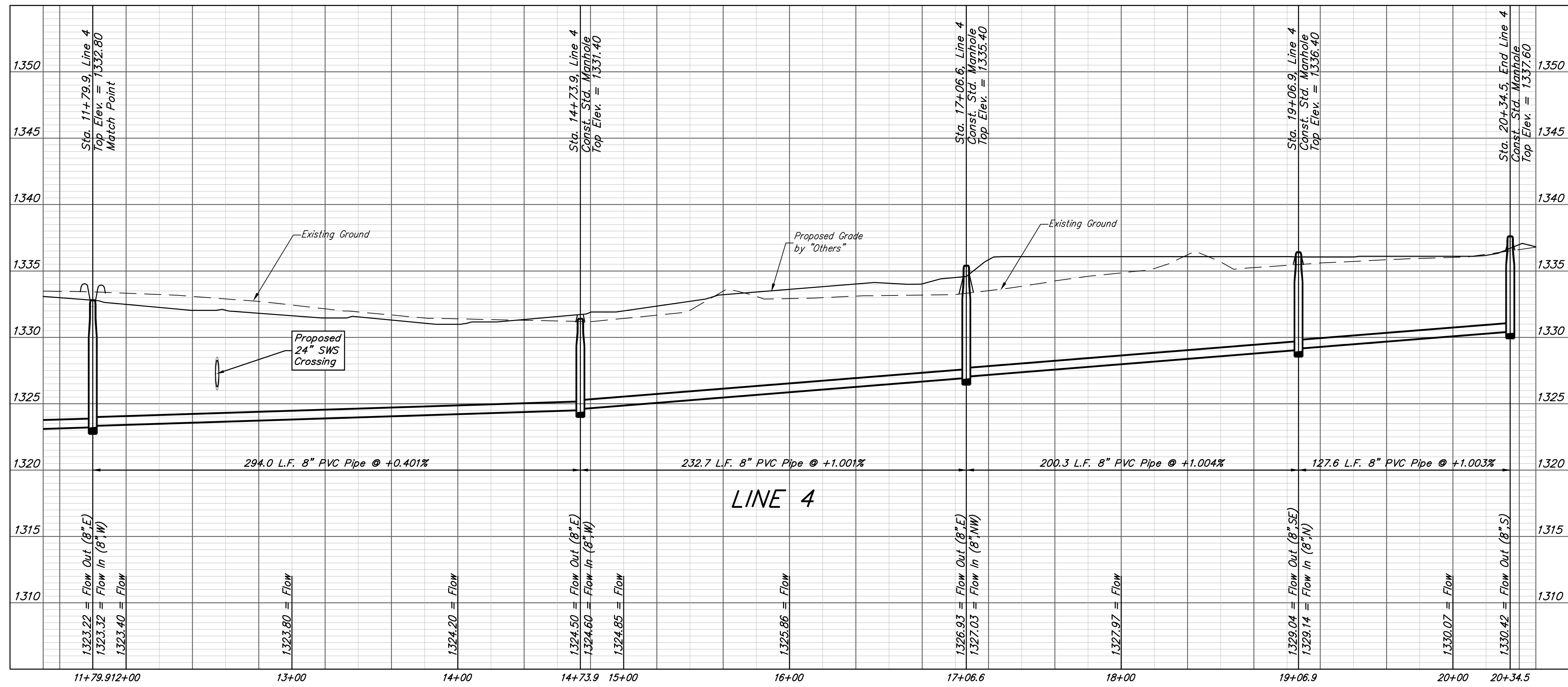
SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)



NOTE: Maintain 10 ft. of horizontal separation (outside dimension to outside dimension) between the water lines and sanitary sewer lines and manholes.

SCHULTE-JOHNSON  
 2ND ADDITION

SCHULTE-JOHNSON  
 2ND ADDITION



**BAUGHMAN  
 COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

LINE 4

SANITARY SEWER  
 IMPROVEMENTS  
 PROJECT NUMBER:  
 468-2019-009468

DESIGN: AEG DRAWN: HWJ  
 DATE: April 12, 2021

SHEET OF  
 7 20

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

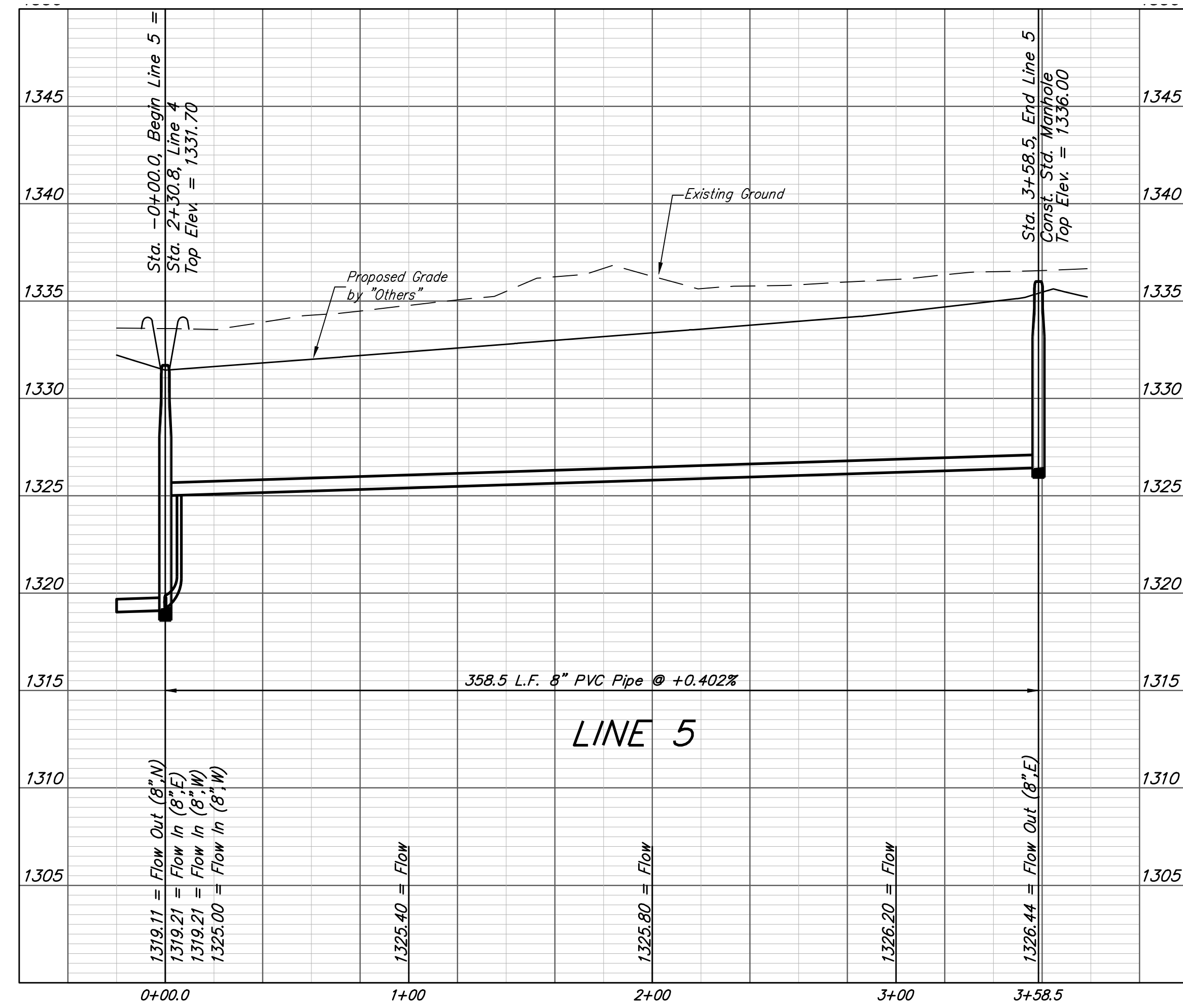
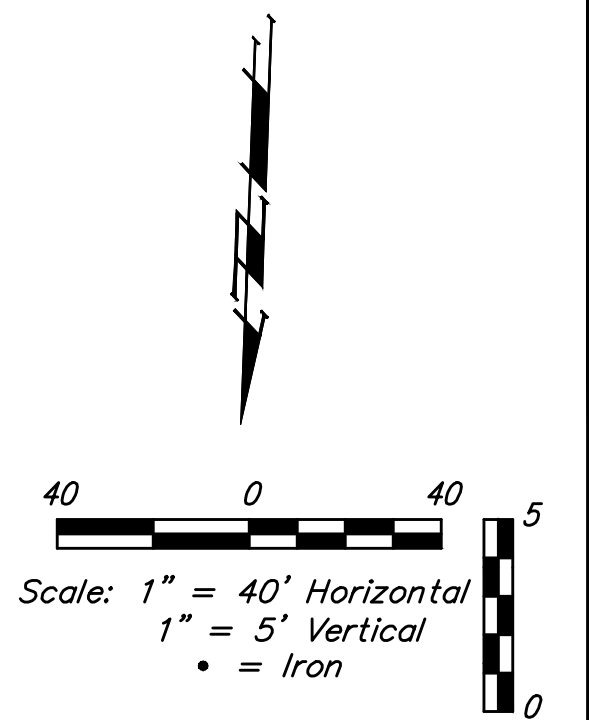
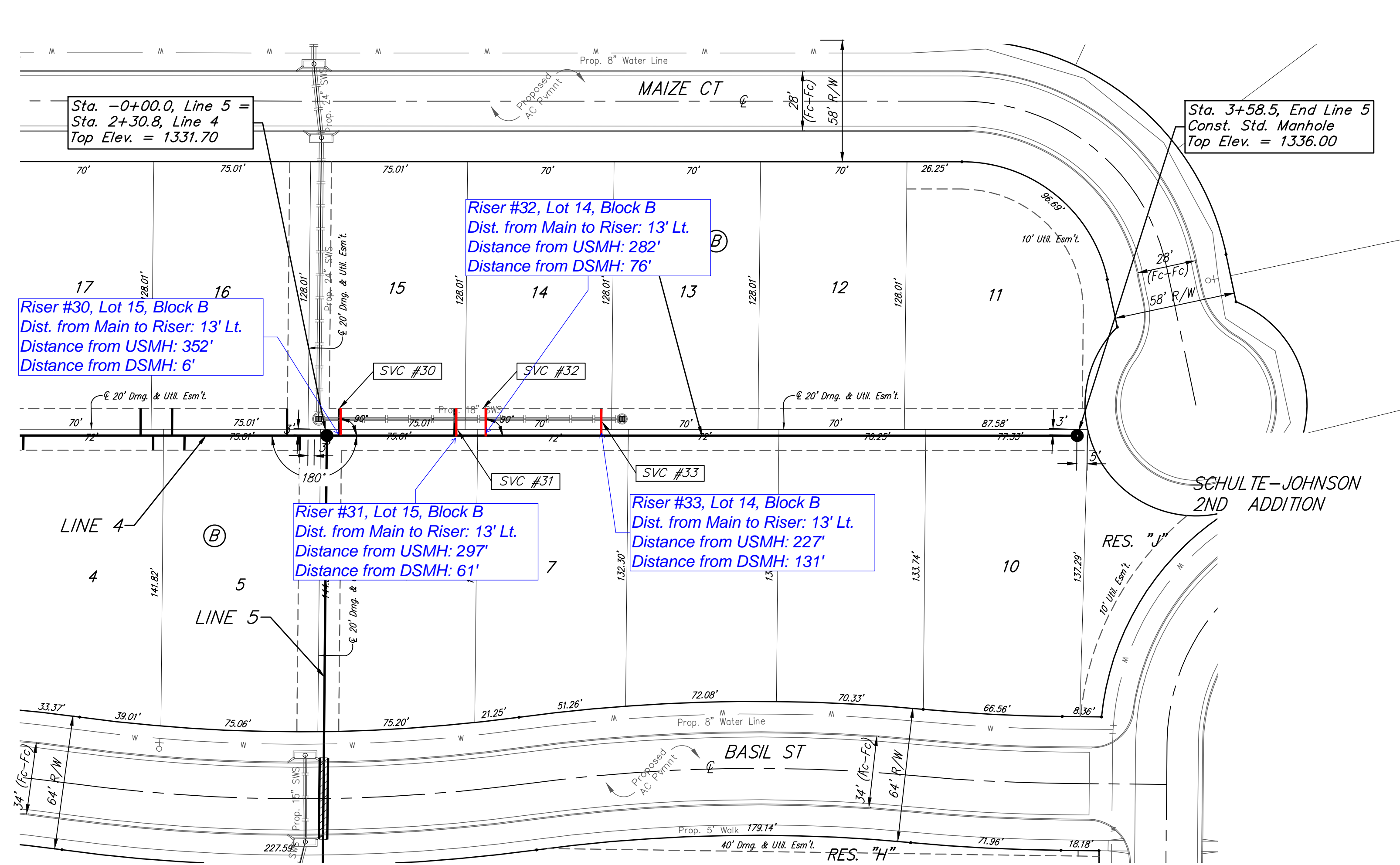
SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)

SCHULTE-JOHNSON  
 2ND ADDITION

NUMBER	TYPE	LOCATION				FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.	STATION/DIRECTION	APPROXIMATE LENGTH 4" PIPE	
						VERTICAL	HORIZONTAL
30	8" X 4" Tee	15	B	18	0+06.0/Lt.	1.4	13
31	8" X 4" Tee	15	B	19	0+61.0/Lt.	1.8	13
32	8" X 4" Tee	14	B	20	0+76.0/Lt.	2.0	13
33	8" X 4" Tee	14	B	21	1+31.0/Lt.	2.0	13

NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.

Cost of Manhole Interior Lining  
 System to be Incidental to Cost  
 of Manhole.



**BAUGHMAN  
 COMPANY**

315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

LINE 5

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

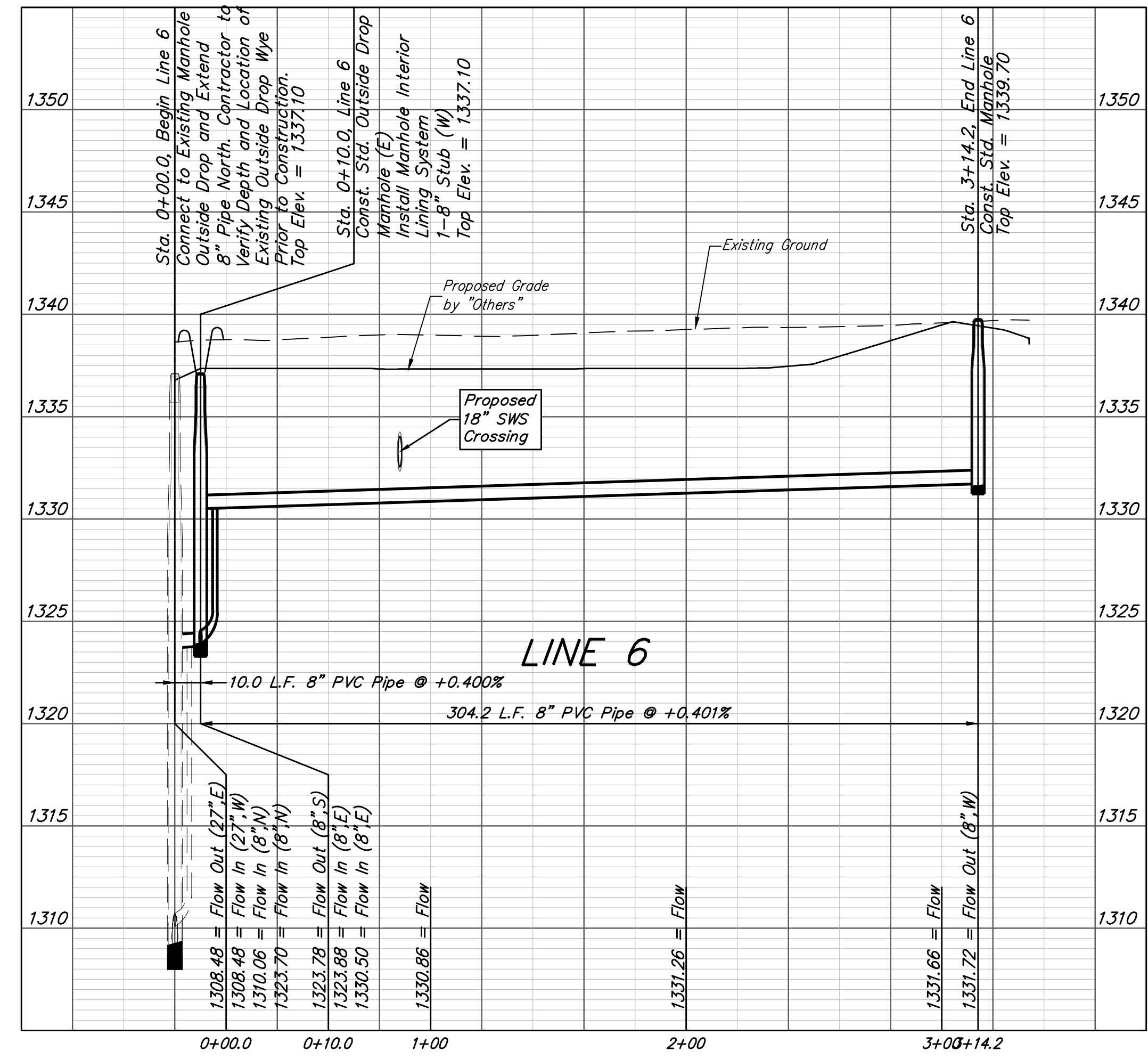
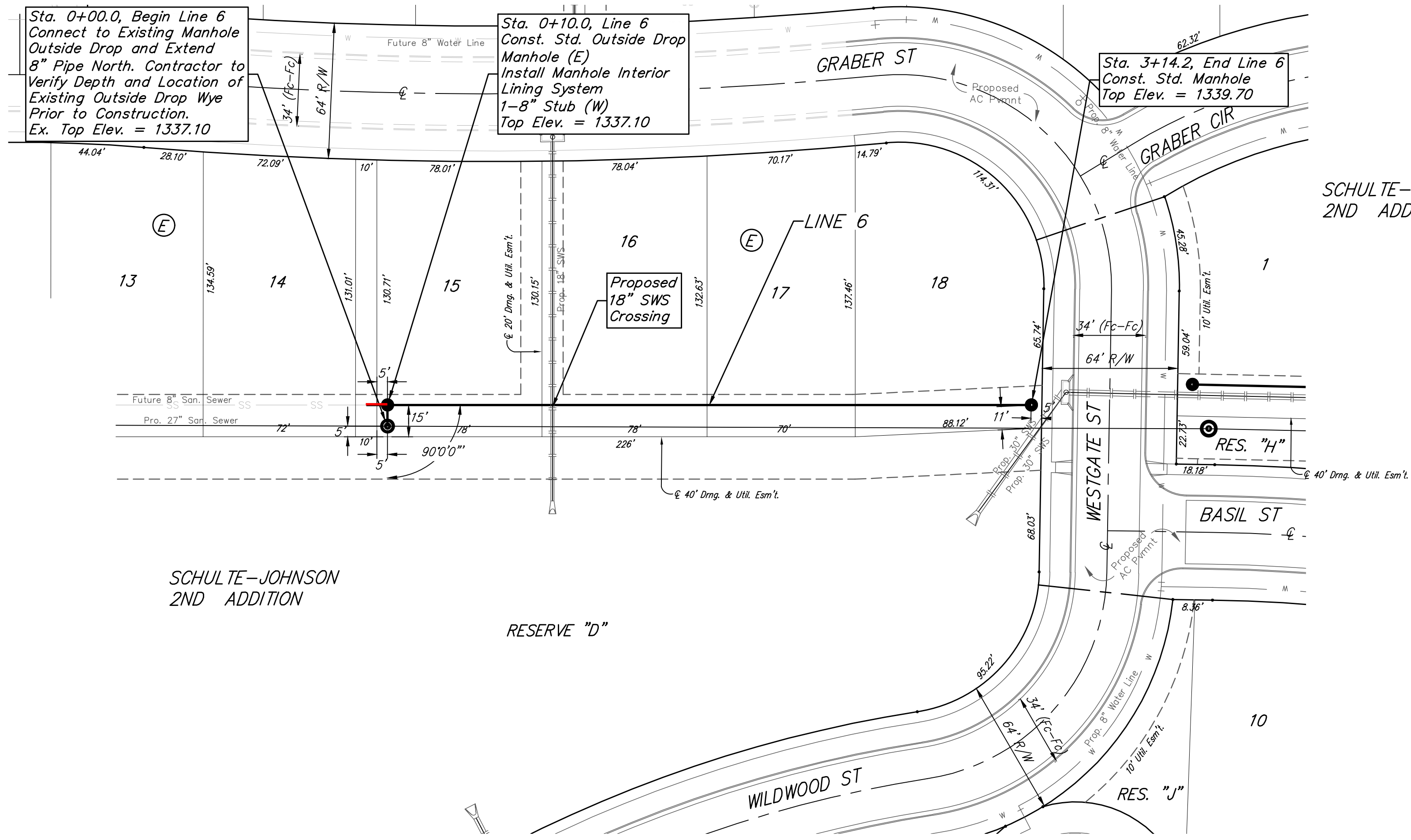
DESIGN: AEG DRAWN: HJW

DATE: April 12, 2021

SHEET 8 OF 20

**BENCHMARKS:**  
 CUT OFF "T"-POST, DOWN 0.25'  
 13.5' WEST OF POWER POLE  
 30' SOUTH OF FIRE HYDRANT  
 +/- 200' SOUTH OF CENTERLINE  
 DRIVE TO HOUSE # 2816 S MAIZE RD.  
 ELEV. = 1328.386 (NAVD 88)

SQUARE CUT WITH + IN SW WINGWALL  
 OF THE SOUTHERNMOST OF THREE  
 CONCRETE DITCH CHECKS  
 +/- 1125' WEST OF CENTERLINE S.  
 MAIZE RD, BEHIND HOUSE #2951 S  
 MAIZE RD.  
 ELEV. = 1332.383 (NAVD88)



**BAUGHMAN COMPANY**  
 315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

---

SCHULTE-JOHNSON 2ND  
 ADD. - PHASE I

**LINE 6**

SANITARY SEWER  
 IMPROVEMENTS

PROJECT NUMBER:  
 468-2019-009468

DESIGN: AEG DRAWN: HJW  
 DATE: April 12, 2021

SHEET OF  
 9 20

File: C:\Projects\Schulte-Johnson 2nd Addition\Engineering\Phase 1\SSISS Plans.dwg