

# NRD ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

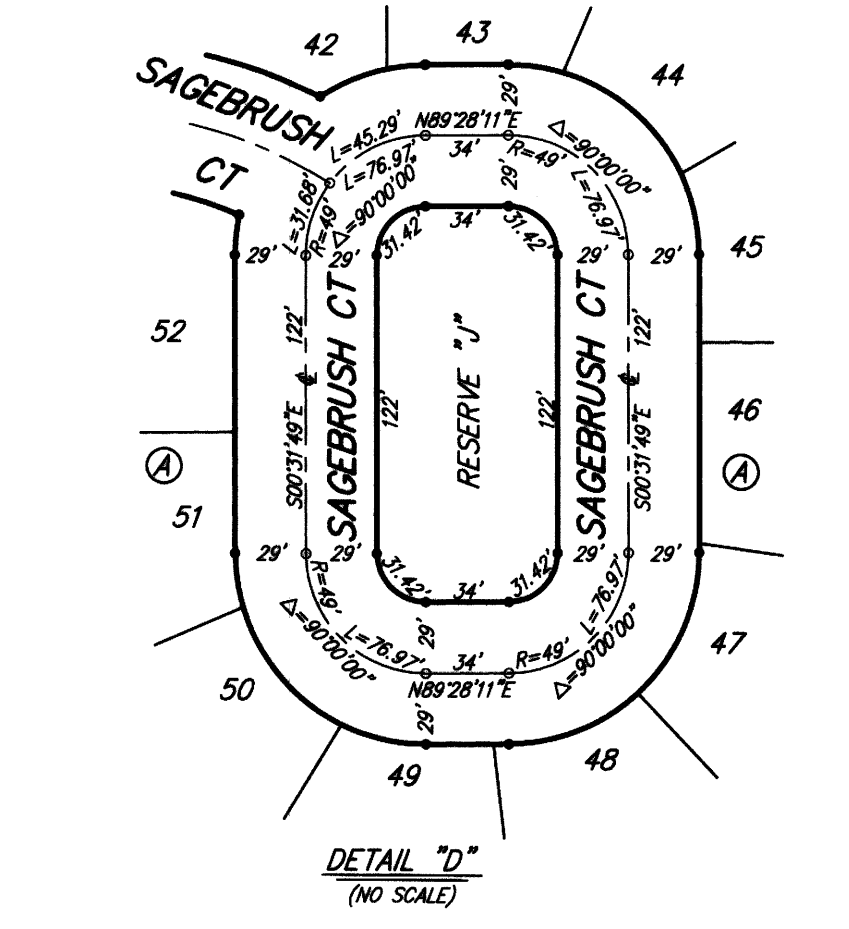
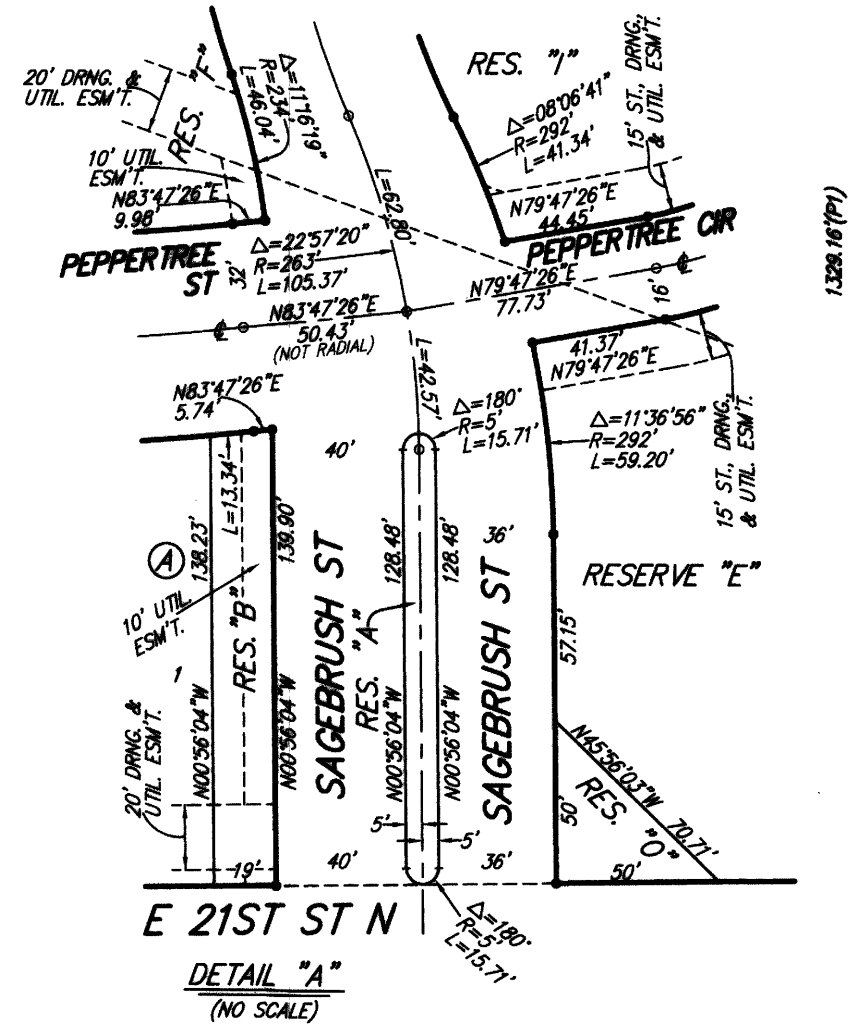
State of Kansas) SS We, Baughman Company, P.A.,  
Sedgwick County) Surveyors in aforesaid county and state do hereby certify that we  
have surveyed and platted "NRD ADDITION", Wichita, Sedgwick County,  
Kansas and that the accompanying plat is a true and correct exhibit  
of the property surveyed, described as the East 177.18 feet of the  
South Half of the Southwest Quarter of Section 1, Township 27  
South, Range 2 East of the Sixth Principal Meridian, Sedgwick County,  
Kansas, subject to road rights-of-way of record.

Existing public easements, building setback lines,  
dedications, and access controls, if any, being  
voted by virtue of K.S.A. 12-526, as amended.

Baughman Company, P.A.  
*Michael G. Conroy, P.S. 1971*  
Surveyor

Know all men by these presents that  
we, the undersigned owners, have caused the land in the surveys  
certified to be platted into Lots, Blocks, Streets, and Reserves, to  
be known as "NRD ADDITION", Wichita, Sedgwick County,  
Kansas, and that the accompanying plat is a true and correct exhibit  
of the property surveyed, described as the East 177.18 feet of the  
South Half of the Southwest Quarter of Section 1, Township 27  
South, Range 2 East of the Sixth Principal Meridian, Sedgwick County,  
Kansas, subject to road rights-of-way of record.

The drainage easements are hereby granted to the public as indicated  
for the construction and maintenance of all public utilities. The  
drainage easements are hereby granted to the public as indicated for  
drainage purposes. The drainage and utility easements are hereby  
granted to the public as indicated for drainage purposes and for the  
construction and maintenance of all public utilities. The street,  
drainage, and utility easements are hereby granted to the public as  
indicated for street purposes, for drainage purposes, and for the  
construction and maintenance of all public utilities. No private  
drainage systems shall be located within public drainage easements  
unless a Residential Drainage Relief Permit is obtained from the City  
of Wichita Public Works & Utilities Department. The wall easement is  
herely granted as indicated for the construction and maintenance of  
private screening walls and utility main lines and service lines shall  
be allowed to cross this easement. The contingent dedication for  
public uses, such as streets, sidewalks, drainage, or utilities, shall  
become effective if the adjacent subdivision is zoned Single-Family  
Residential (SF-5) or Two-Family Residential (TF-3) and the City  
Engineer of the City of Wichita determines a need for such  
dedication. The costs of constructing said improvements are to be  
borne by the person(s) or agency that owns said adjacent  
subdivision. The streets are hereby dedicated to and for the use of  
the public. No obstructions shall be constructed or placed within the  
street stubs providing future access to adjacent properties.  
Reserves "A" and "D" are hereby reserved for entry monuments, open  
space, landscaping, drainage purposes, streets, and utilities. Reserve  
"B" is hereby reserved for open space, landscaping, drainage  
purposes, screening walls, and utilities as confined to easements.  
Reserve "C" is hereby reserved for open space, landscaping,  
emergency access as confined to easement, and utilities as confined  
to easement. No fences or other obstructions shall be constructed  
or placed within said Reserve "C". Reserve "E" is hereby reserved  
for open space, lakes, berms, walking paths, sidewalks, landscaping,  
pipelines as confined to easement, drainage purposes, and utilities as  
confined to easements. Reserve "F" is hereby reserved for open  
space, lakes, berms, walking paths, sidewalks, landscaping, gazebos,  
a swimming pool and related appurtenances, playgrounds, parking,  
pipelines as confined to easement, drainage purposes, and utilities as  
confined to easements. Reserve "G" is hereby reserved for open  
space, landscaping, berms, walking paths, sidewalks, pipelines as  
confined to easement, drainage purposes, and utilities as confined to  
easements. Reserve "H" is hereby reserved for open space,  
pedestrian access, landscaping and drainage purposes. Reserve "I"  
is hereby reserved for open space, lakes, landscaping, entry monuments,  
signage, berms, walking paths, sidewalks, gazebos, playgrounds,  
parking, pipelines as confined to easement, drainage purposes, and  
utilities as confined to easements. Reserves "J" and "K" are hereby  
reserved for open space, landscaping, gazebos, streets and drainage  
purposes. Reserve "L" is hereby reserved for open space,  
landscaping, a contingent dedication for public uses over the west 58  
feet of said Reserve "K", drainage purposes and utilities as confined  
to easements. No fences or other obstructions shall be constructed  
or placed within the contingent dedication for public uses within  
Reserve "K". Reserve "L" is hereby reserved for entry monuments,  
open space, landscaping, drainage purposes and utilities as confined  
to easements. Reserve "M" is hereby reserved for open space,  
landscaping, berms, pedestrian access, playgrounds, berms, walking  
paths, sidewalks, drainage purposes, and utilities as confined to  
easements. Reserve "O" is hereby reserved for entry monuments,  
open space, landscaping, utilities and drainage purposes. Reserve "P"  
is hereby reserved for open space, landscaping, drainage purposes,  
pedestrian access, utilities as confined to easement, and emergency  
access as confined to easement. No fences or other obstructions  
shall be constructed or placed within said Reserve "P". Reserves "A",  
"B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", and  
"P" shall be owned and maintained by the homeowners association  
for the addition. Access controls shall be as depicted on the face  
of the plat and are hereby granted to the City of Wichita, Kansas.  
The Minimum Building Pad Elevations for the lowest opening to the  
structures shall be as indicated on the face of the plat.



This plat of "NRD ADDITION", Sedgwick  
County, Kansas has been submitted to and approved by the  
Wichita-Sedgwick County Metropolitan Area Planning Commission,  
Wichita, Kansas.  
Dated this 9th day of July, 2020,  
Wichita-Sedgwick County Metropolitan Area Planning Commission

*Charles A. Hansen*, Chair  
*Michael C. Gaese*  
*Scott A. Wade*, Secretary

This plat approved and all dedications  
shown hereon accepted by the City Council of the City of Wichita,  
Kansas, this 13th day of October, 2020.

*Brandon J. Whipple*, Mayor,  
City of Wichita  
*Karen Sublett*, City Clerk

Reviewed in accordance with K.S.A. 58-201\*  
on this 22nd day of September, 2020.

*Tricia L. Robello*, P.S. #1246  
Deputy County Surveyor  
Sedgwick County, Kansas

Entered on transfer record this 15th day  
of December, 2020.

*Kelly B. Arnold*  
Notary Public  
LUNETTE A. SAUBER  
Notary Public  
LUNETTE A. SAUBER



State of Kansas) SS This is to certify  
Sedgwick County) for record in the office of the  
December, 2020

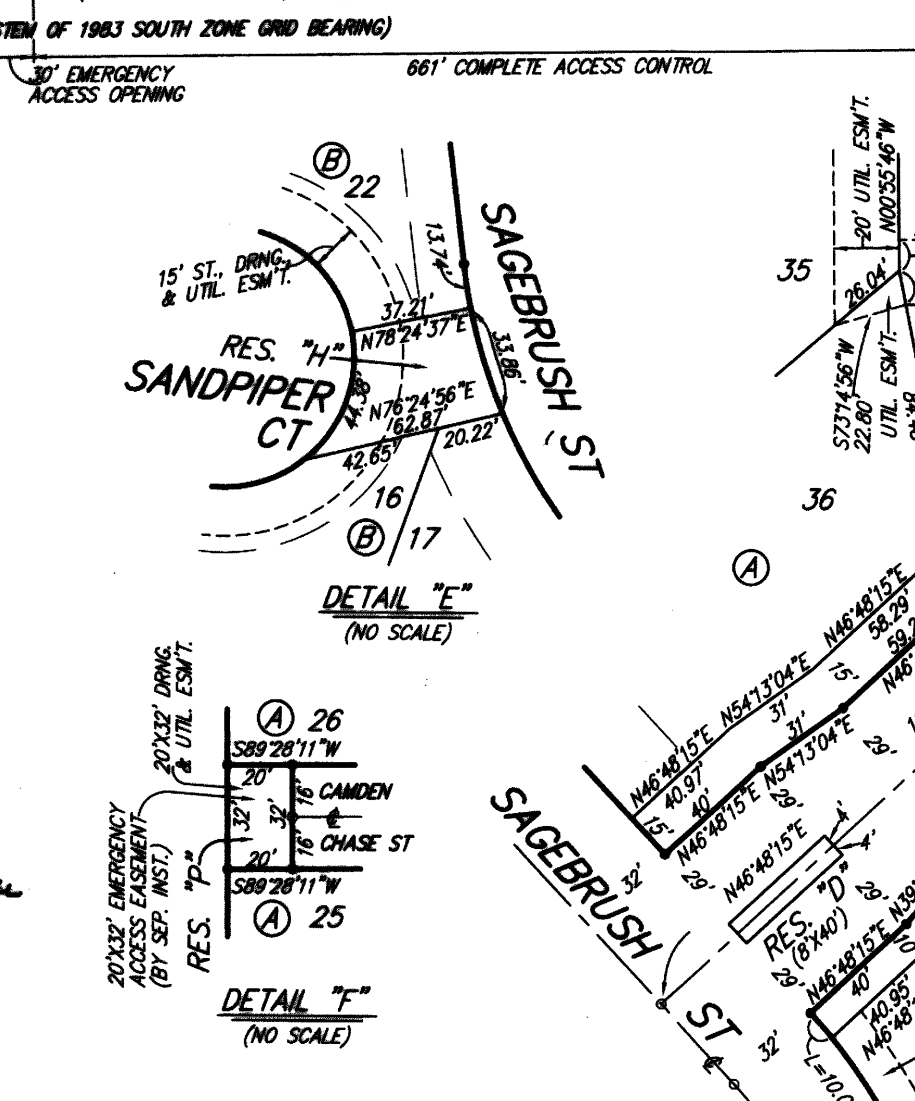
*Chad S.V.P.*  
CHAD S.V.P.

State of Kansas) SS The foregoing instrument acknowledged before  
Sedgwick County) me this 15th day of December, 2020, by *Chad S.V.P.*  
S.V.P. of Empire Bank, on behalf of the bank.

*LUNETTE A. SAUBER*, Notary Public  
*LUNETTE A. SAUBER*

My App't. Exp. 07-20-2022

**FOR REFERENCE ONLY  
NOT TO SCALE**



0' 100' 200'

- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = 1/2" IRON PIPE (FOUND)(ORIGIN UNKNOWN)
- = #6 REBAR (FOUND)(ORIGIN UNKNOWN)
- = 3/4" IRON PIPE (FOUND)(ORIGIN UNKNOWN)
- = 1/2" IRON PIPE IN THIMBLE (FOUND)(ORIGIN UNKNOWN)

(M) = MEASURED  
(OSM) = CALCULATED FROM MEASURED INFO.  
(CO) = CALCULATED FROM SUBDIVISION  
(Q) = CALCULATED FROM QUARTER SECTION  
(DSO) = CALCULATED FROM DESCRIBED INFO.  
(PM) = PLATTED INFO. FROM MONARCH LANDING  
(PI) = PLATTED INFO. FROM 143RD STREET ESTATES

LOT	BLOCK	ELEVATION	NAVD88
47-62	A	1365.3	
3-15	B	1369.5	

**MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES**

**BENCHMARKS:**  
CHASED SQUARE ON NW CORNER OF CATCH BASIN, 262.2' W. & 35.1' N. OF S1/4 COR., SEC. 1, TWP. 27-S, R-2-E. ELEV.=1361.76 NAVD88  
CHASED SQUARE ON NW CORNER OF CATCH BASIN, 362.0' W. & 24.3' N. OF S1/4 COR., SEC. 1, TWP. 27-S, R-2-E. ELEV.=1363.84 NAVD88  
CHASED SQUARE ON NW CORNER OF CATCH BASIN, 162.0' E. & 24.3' S. OF SW COR., LOT 13, BLOCK A, NRD ADDITION. ELEV.=1369.65 NAVD88

**DRAINAGE PLAN NOTE:**  
A master drainage plan has been developed for this plat. All drainage easements, right-of-way, and reserves shall remain at established grades (unless modified with the approval of the City Engineer) and shall be unobstructed to allow for the conveyance of stormwater in accordance with the Stormwater Manual. The maintenance of all drainages and drainage facilities in working drainage easements and reserves shall be the responsibility of the property owner, and shall be enforced by the Homeowners' Association and be provided for in the Homeowners' Association covenants.

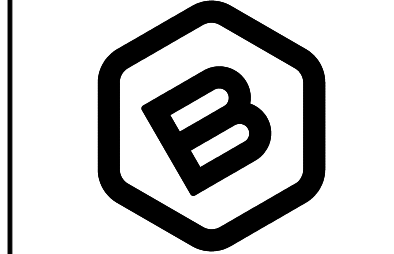
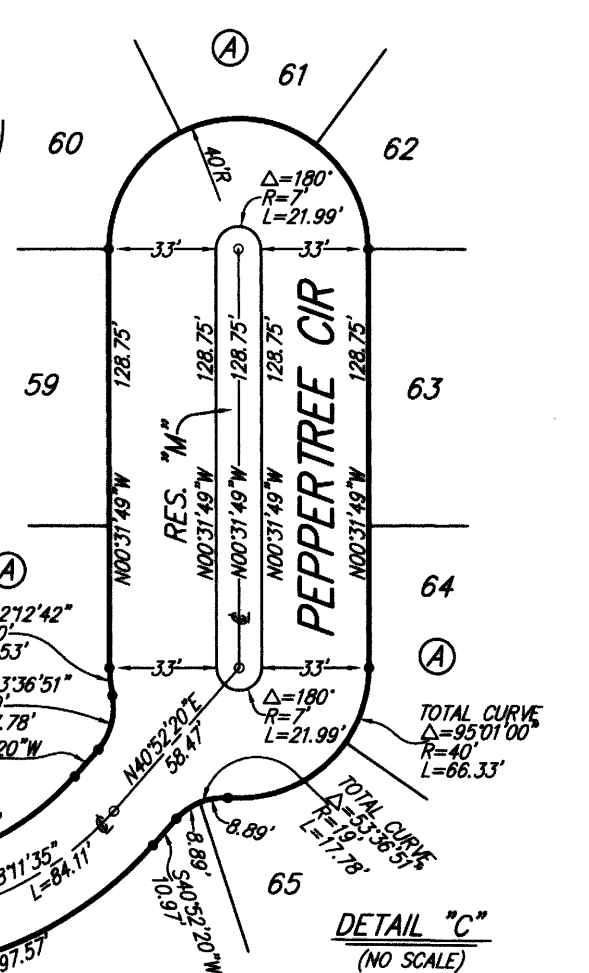
**NOTE:**  
LOTS 1-36, 55-58, BLOCK A, AND LOTS 1-31, BLOCK B WITHIN NRD ADDITION SHALL HAVE A 5 FOOT INTERIOR SIDEYARD SETBACK.

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**BAUGHMAN COMPANY**  
315 Ellis St.  
Wichita, KS 67211  
316-262-7271  
BaughmanCo.com

NRD ADDITION  
Phase I & Entrance  
**COPY OF PLAT**

STREET IMPROVEMENTS  
PROJECT NUMBER:  
21-03-E868 & E869  
DESIGN: DRAWN:  
DATE: December 6, 2021  
SHEET OF  
**47 47**

**Baughman Company, P.A.**  
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149  
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE  
E:\Projects\NRD Addition\_12-01-2021\Plan\Drawings\NRD Addition\_Entry.RVT