

GENERAL NOTES:

1. The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.

2. Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

AT&T 1-800-246-8464
 Black Hills Energy 1-800-694-8989
 City of Wichita Water & Sewer 1-316-219-8921
 City of Wichita Stormwater 1-316-268-4090
 City of Wichita Traffic 1-316-268-4034
 Cox Communications 1-888-249-3530
 Kansas Gas Service 1-888-482-4950
 Energy 1-800-544-4857

3. Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.

4. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.

5. Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.

6. The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.

7. The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

8. All elevations shown are NAVD88.

9. All stubs and capped pipes shall be located with green plastic tape in the same manner as risers.

10. Connecting to Existing Manholes: Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where the stub is unusable due to elevation grade or alignment, the Contractor shall remove the stub and plug the hole, and reshape the existing manhole invert to provide smooth flow. Where connection to an existing manhole that does not have an existing stub, the Contractor shall core cut into existing manhole wall to make connection using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost of connect to existing manholes is incidental to the project.

11. Contractor shall limit the extent of trench open overnight and weekends to less than 50 feet.

12. Contractor shall provide positive drainage away from all manhole covers.

13. The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.

14. The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.

15. Contractor shall grade around exposed manholes at a 1:1 slope. Manholes set lower than existing grade shall have a 9" berm constructed around manhole to prevent infiltration into sanitary sewer system. Cost of dirt, labor, equipment, etc. to be incidental to cost of manhole. Easements shall be graded with the street improvement project as part of the mass grading plan.

16. All disturbed areas are to be seeded as follows:

Seed -- Rye grass; 5 lbs./1000 Sq. Ft.

All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".

17. All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".

18. All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.

19. The developer for this project is Riverside 11, LLC, Jerry Jones and David C. Burk, Managers.

Benchmarks

BM #1: Crows foot cut in top of curb near fire hydrant on Amidon at NE corner of 11th St. & Amidon, 10.6' N. & 70.5' E. of the SE Cor., Reserve "D", Riverside Patio Homes Addition. Elev. = 1306.93 NAVD88

BM #2: Chiseled square in NW corner of transformer pad, 101.5'± N. of the intersection of the N. line of 12th St. N. with the E. line of Government lot 1 & 20.7'± W. of the E. line of Government lot 1. Elev. = 1308.23 NAVD88

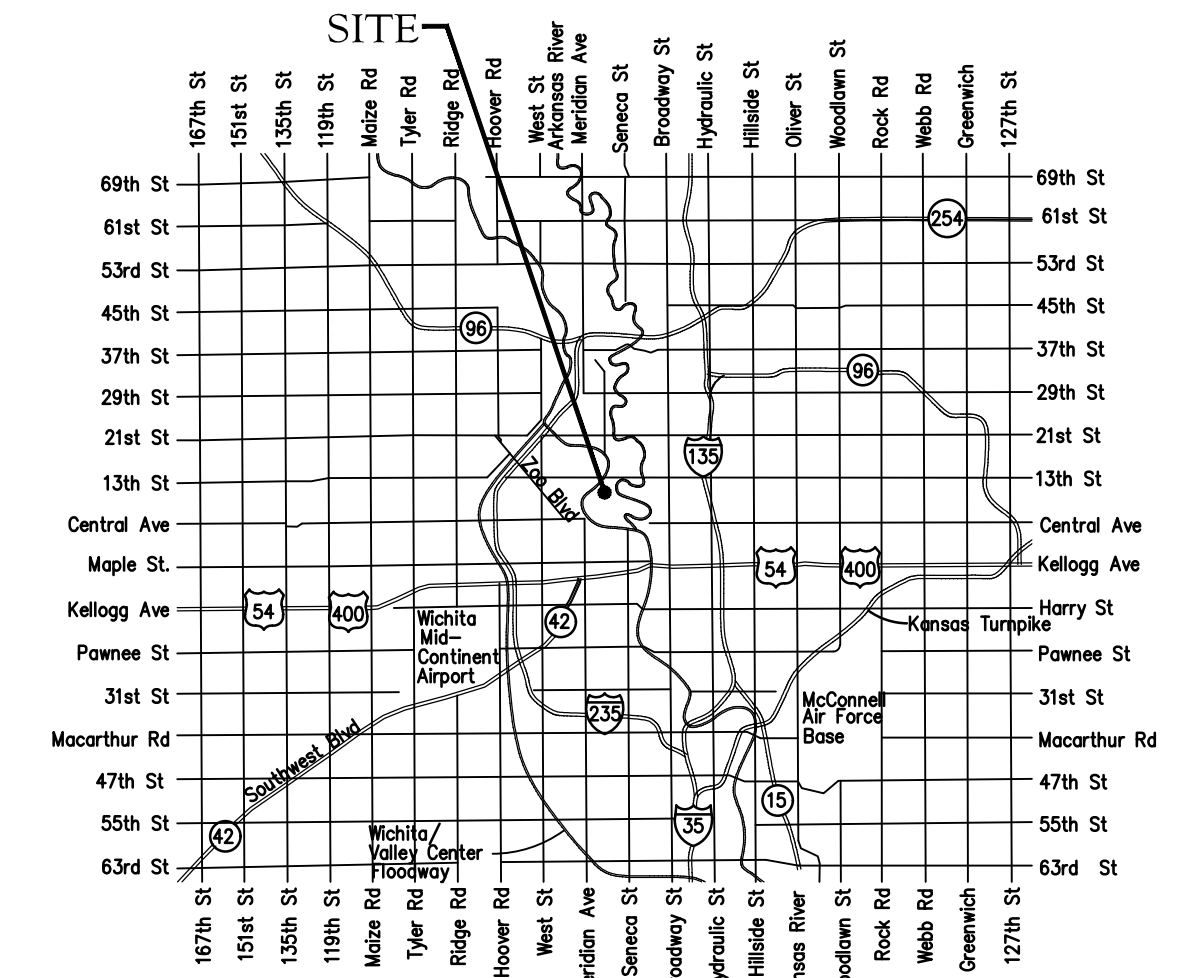
SANITARY SEWER IMPROVEMENTS to serve RIVERSIDE PATIO HOMES ADD.

CITY OF WICHITA, KANSAS

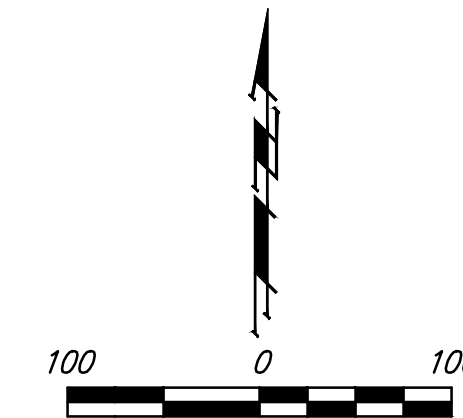
Gary Janzen, P.E. City Engineer
 Project Number 468-2021-003081

Org Code _____
 Munis Number X_____

Release Date (for connection purposes only): 02/15/2022
 BUILT PER PLAN

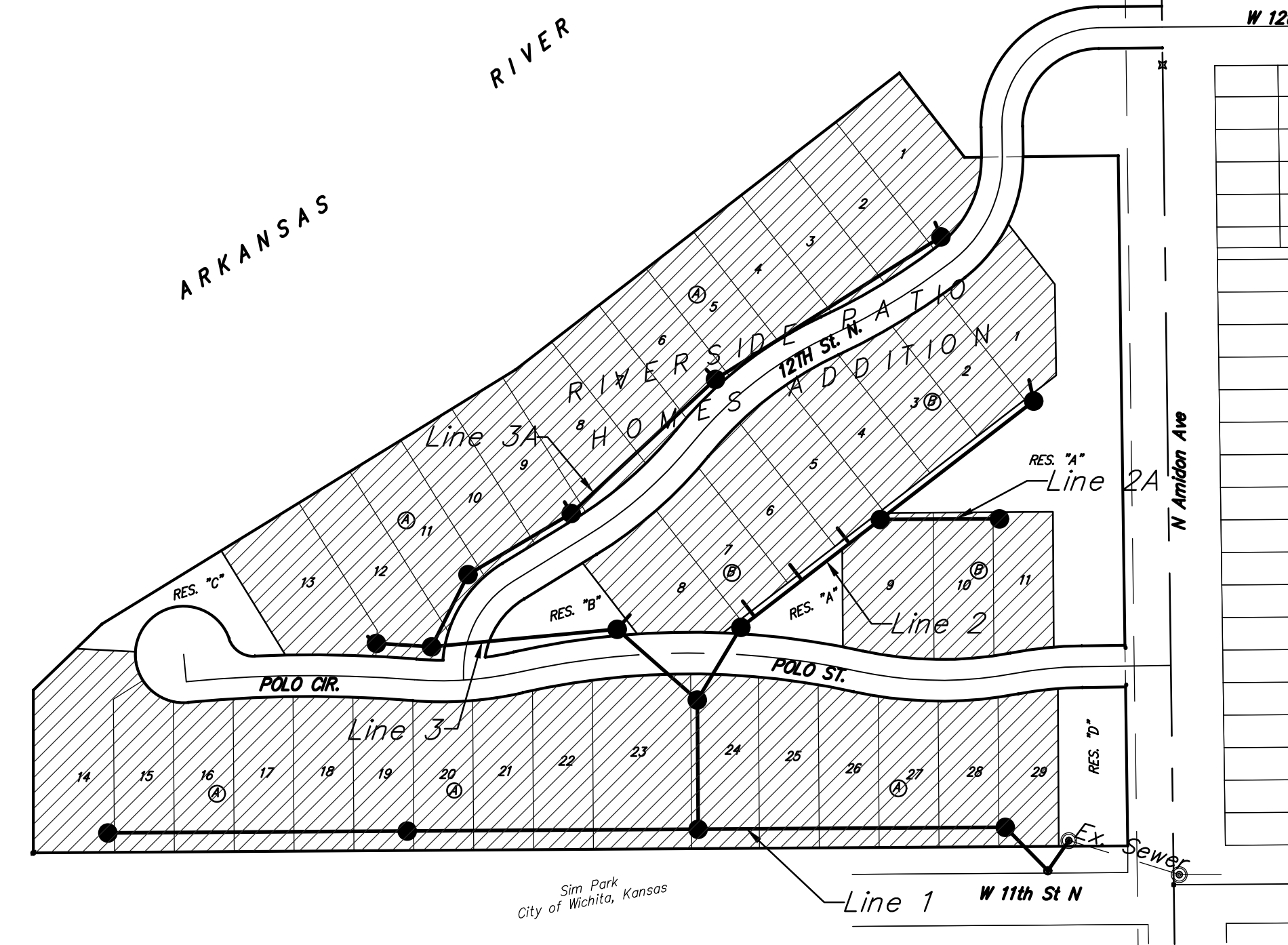


Vicinity Map



Sheet Index

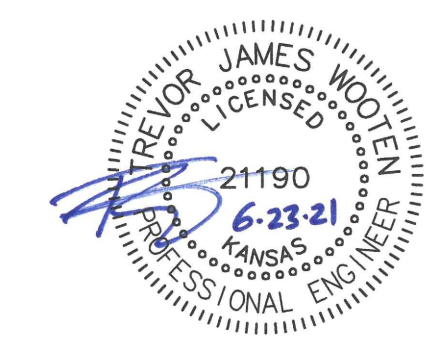
Title Sheet	1
Line 1	2
Lines 2 & 2A	3
Line 3	4
Line 3A	5
Erosion Control Plan	6
Precast SS Manhole Detail	7
Manhole Frame & Cover Detail	8
Vertical Riser Detail	9
Erosion Control BMP Details	10-14
Coordinate Sheet	15
Copy of Plat	16



APPROVED AS NOTED
 BY WICHITA PUBLIC WORKS ENGINEERING DIVISION

Engineering _____

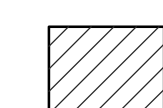
An approved copy of these plans signed by City staff are required on-site.



Jun. 22, 2021

BAUGHMAN COMPANY
 315 Ellis St. Wichita, KS 67211 316-262-7271
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Benefit District



BENCHMARKS:
 BM #1: Crows foot cut in top of curb near fire hydrant on Amidon at NE corner of 11th St. & Amidon, 10.6' N. & 70.5' E. of the SE Cor., Reserve "D", Riverside Patio Homes Addition. Elev. = 1306.93 NAVD88

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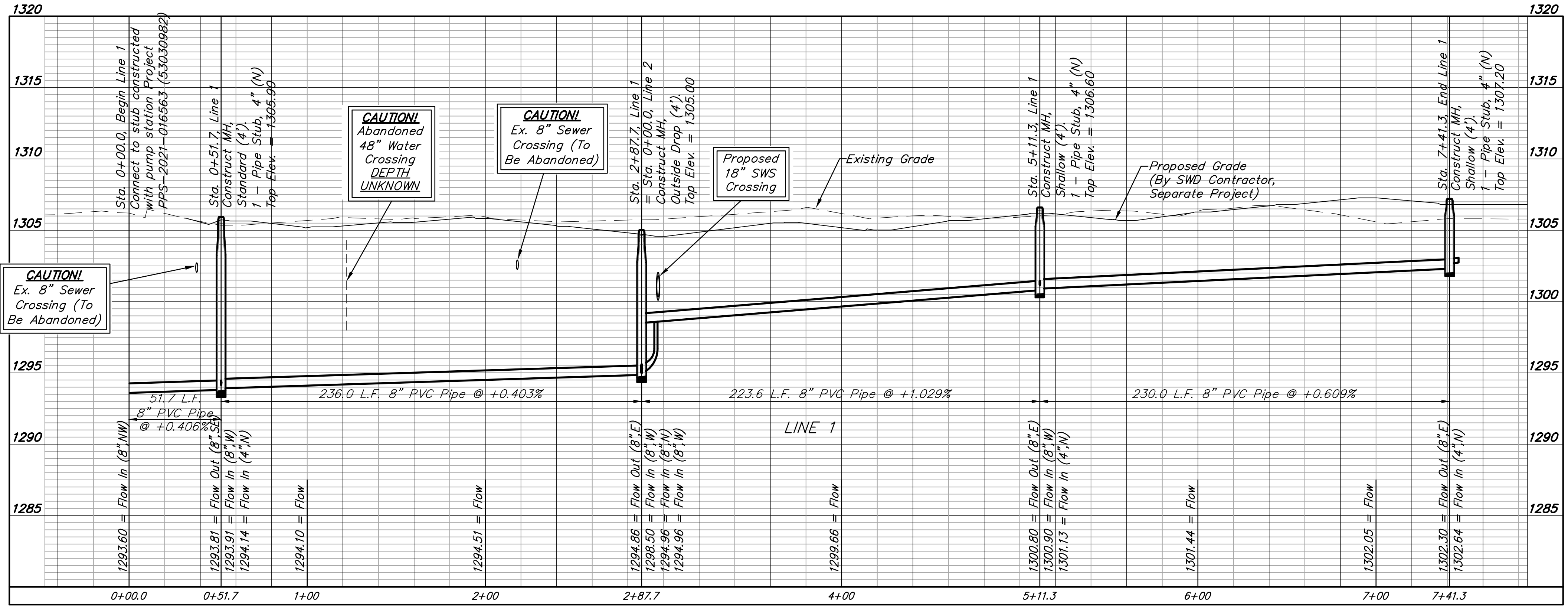
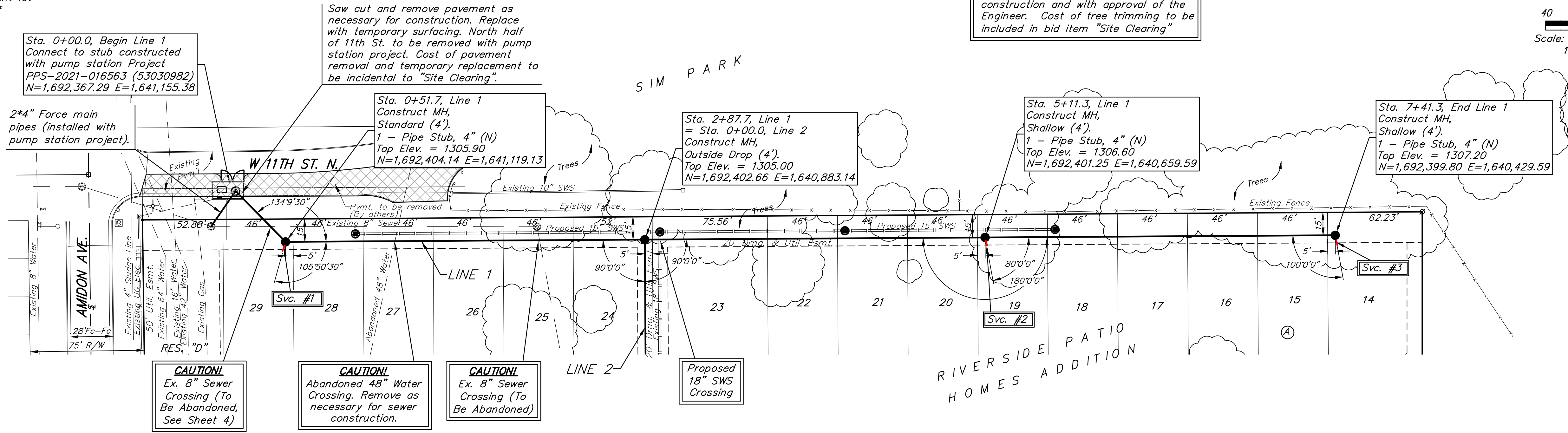
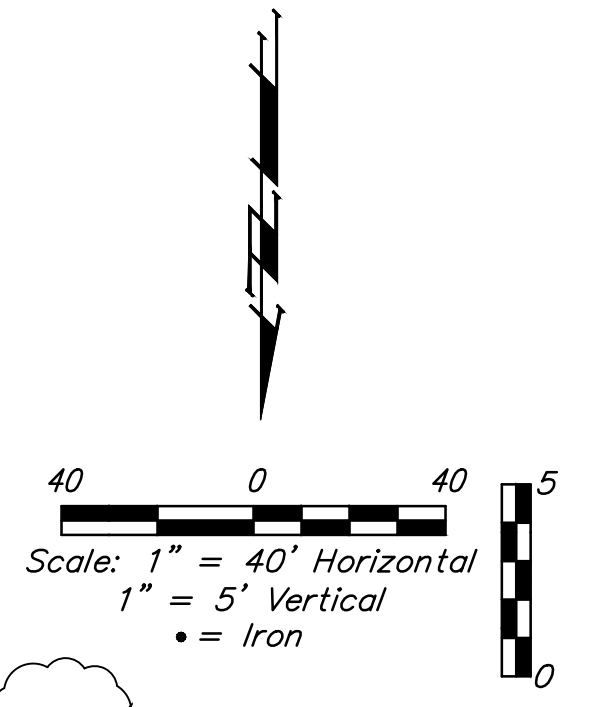
SEWER SERVICE TABLE

NUMBER	TYPE	LOCATION			STATION \ DIRECTION	FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.		APPROXIMATE LENGTH 4" PIPE	VERTICAL
1	4" Stub	29	A	1	0+51.7/Rt.	-	5.2'
2	4" Stub	19	A	1	5+11.3/Rt.	-	5.2'
3	4" Stub	14	A	1	7+41.3/Rt.	-	5.2'

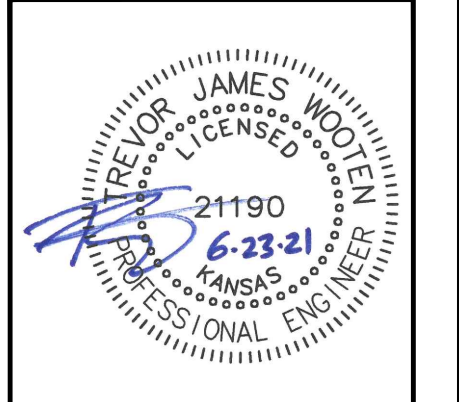
NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.

Trees in conflict with sewer construction to be removed by contractor. To be paid for as lump sum bid item "Site Clearing"

All other trees shall remain and be protected from damage during construction. Overhanging limbs shall be trimmed by the Contractor using a chain saw only as necessary for construction and with approval of the Engineer. Cost of tree trimming to be included in bid item "Site Clearing"



Contractor shall verify elevation and alignment of existing stub prior to construction and notify Engineer of any discrepancy.



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RIVERSIDE PATIO HOMES ADD.
LINE 1
 SANITARY SEWER IMPROVEMENTS
 PROJECT NUMBER:
 DESIGN: TJW DRAWN: TMS
 DATE: June 23, 2021
 SHEET 2 OF 16

File: E:\Projects\Riverside Multi-Family Addition_18-11-P415\Engineering\Phase 1\Sewer\Sewer.dwg

BENCHMARKS:
 BM #1: Crows foot cut in top of curb near fire hydrant on Amidon at NE corner of 11th St. & Amidon, 10.6' N. & 70.5' E. of the SE Cor., Reserve "D", Riverside Patio Homes Addition. Elev. = 1306.93 NAVD88

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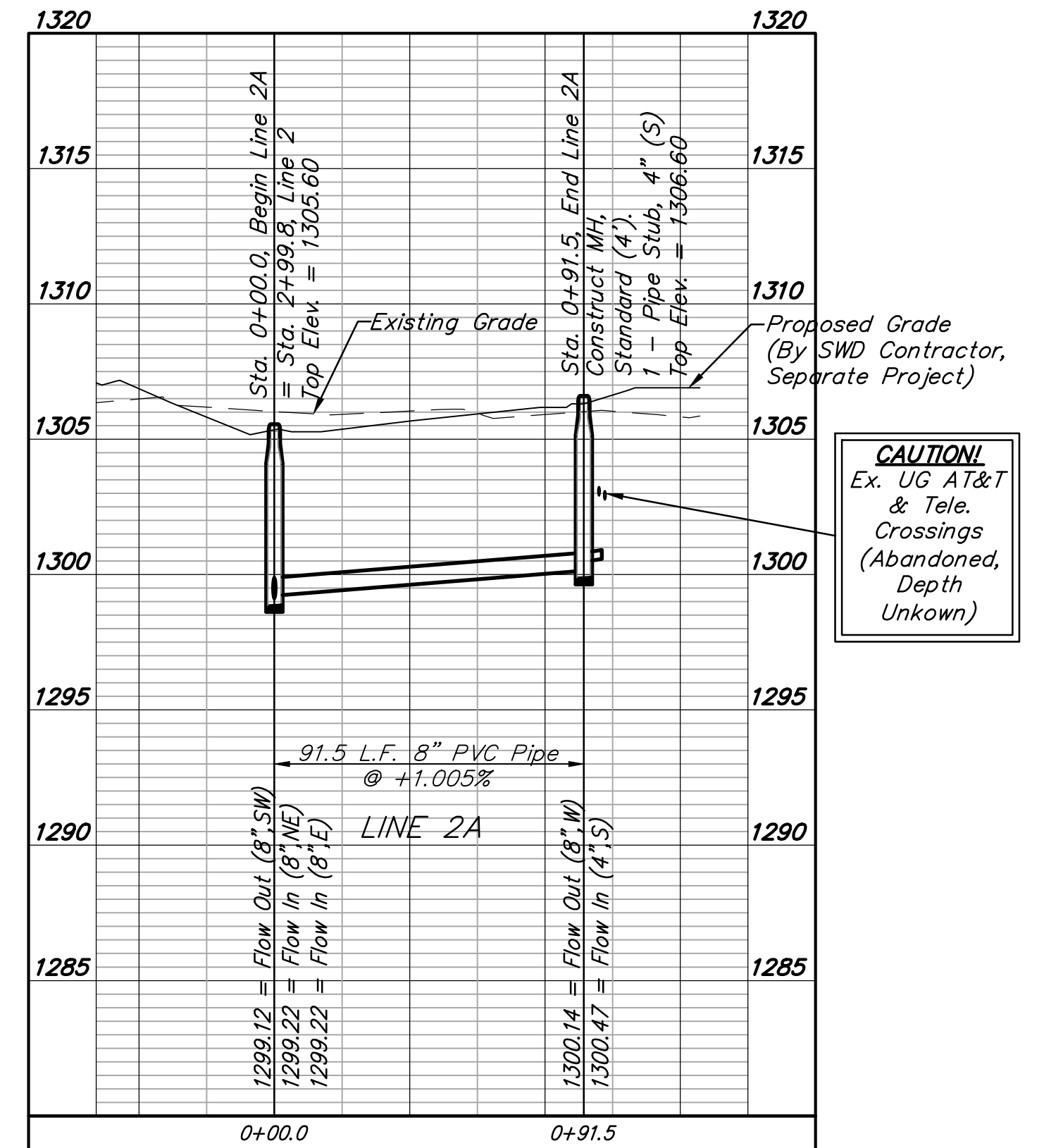
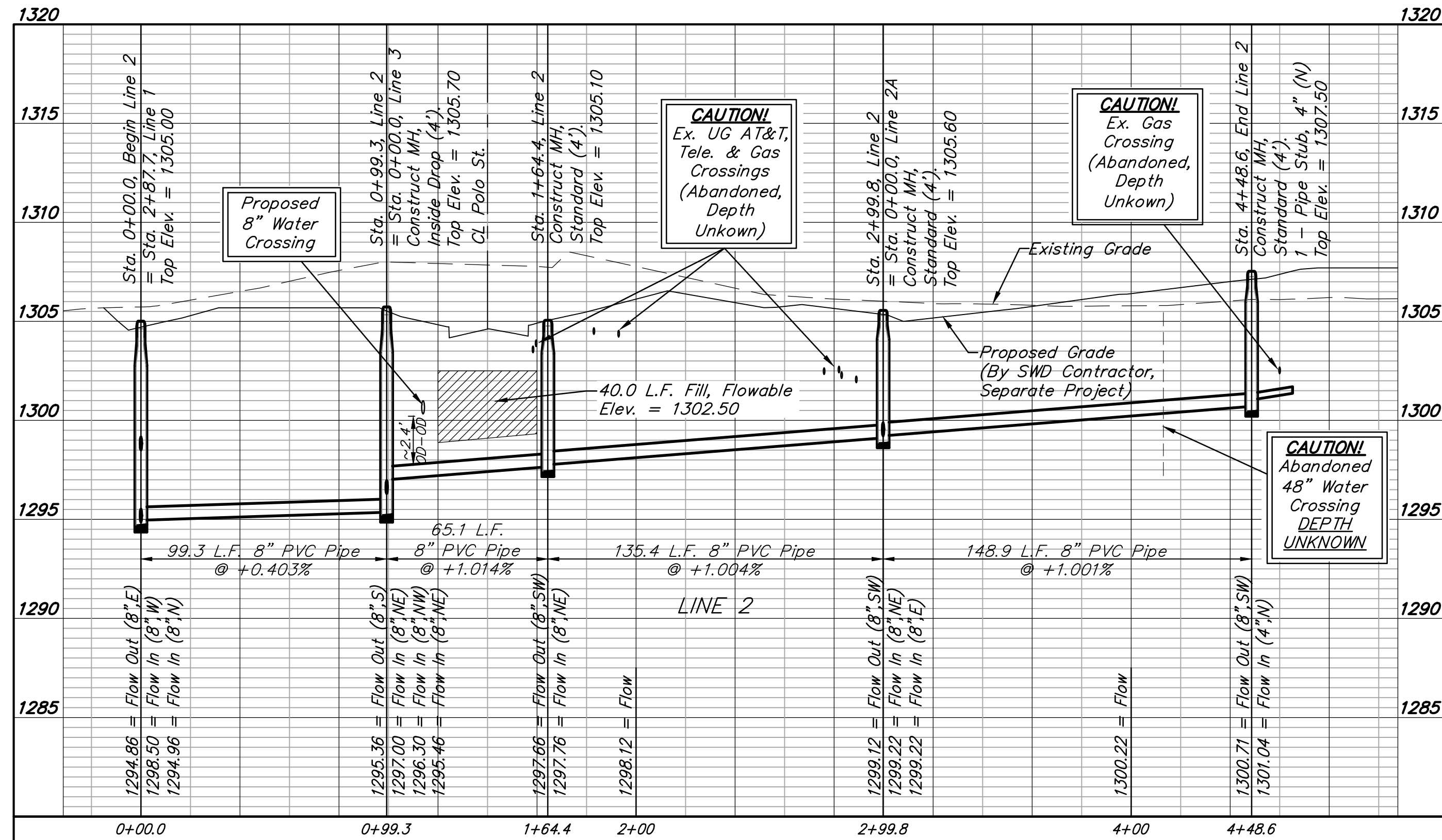
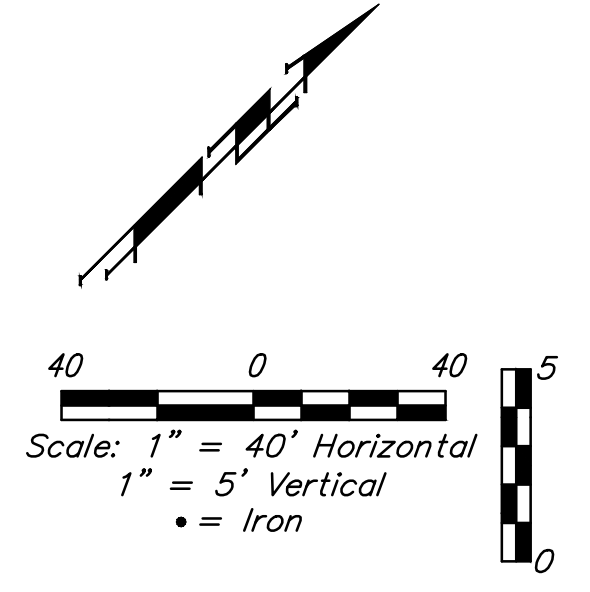
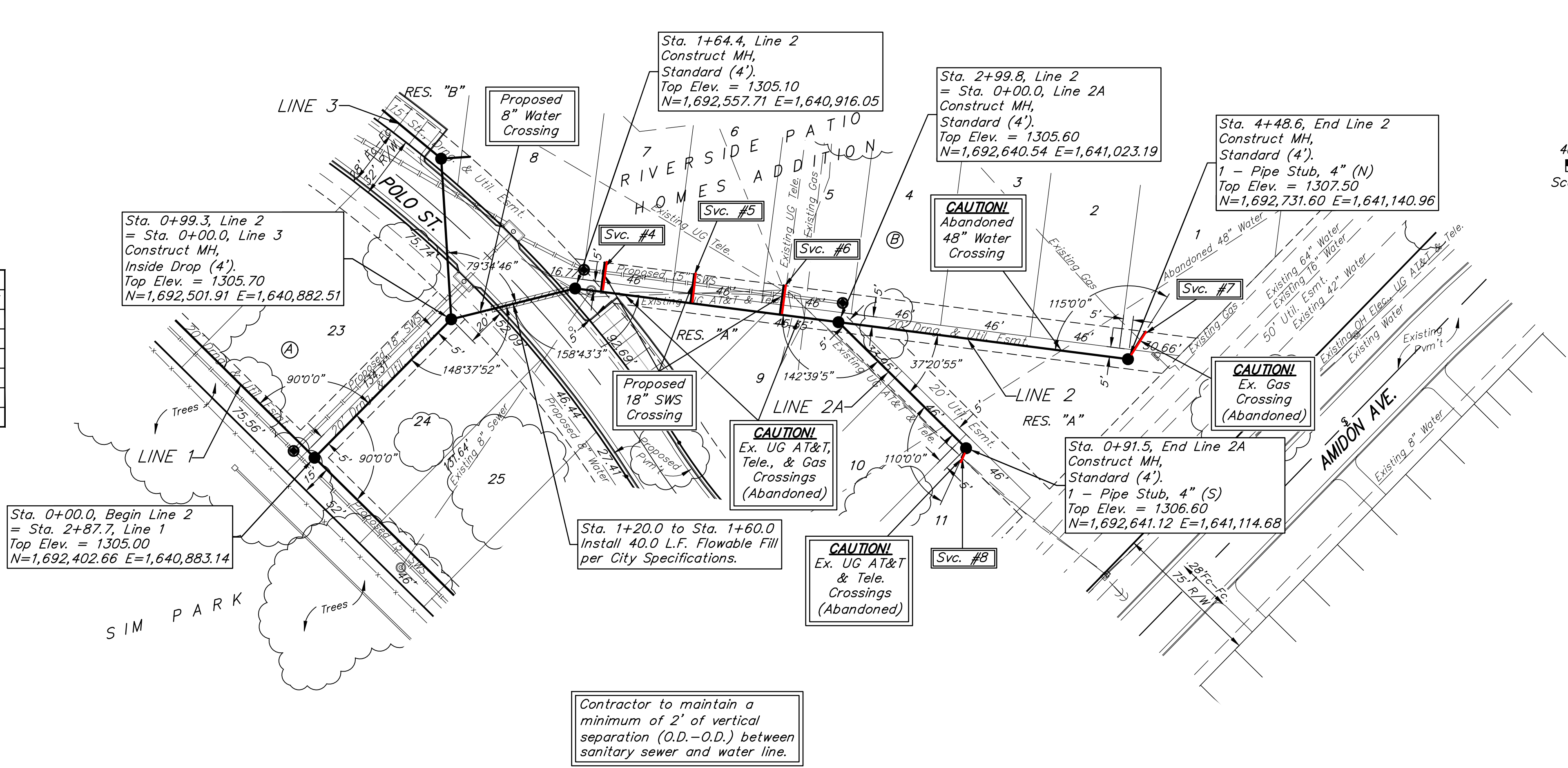
SEWER SERVICE TABLE

NUMBER	TYPE	LOCATION				FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.	STATION\ DIRECTION	APPROXIMATE LENGTH 4" PIPE	VERTICAL
4	8" X 4" Tee W/Riser	7	B	2	1+77.7/Lt.	-	15.0'
5	8" X 4" Tee W/Riser	6	B	2	2+23.7/Lt.	-	15.0'
6	8" X 4" Tee W/Riser	5	B	2	2+69.7/Lt.	-	15.0'
7	4" Stub	1	B	2	4+48.6/Lt.	-	16.6'
8	4" Stub	11	B	2A	0+91.5/Rt.	-	5.3'

NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.

Trees in conflict with sewer construction to be removed by contractor. To be paid for as lump sum bid item "Site Clearing"

All other trees shall remain and be protected from damage during construction. Overhanging limbs shall be trimmed by the Contractor using a chain saw only as necessary for construction and with approval of the Engineer. Cost of tree trimming to be included in bid item "Site Clearing"



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RIVERSIDE PATIO HOMES ADD.
LINES 2 & 2A
 SANITARY SEWER IMPROVEMENTS
 PROJECT NUMBER:
 DESIGN: TJW DRAWN: TMS
 DATE: June 23, 2021
 SHEET **3** OF **16**

File: E:\Projects\Riverside Multi-Family Addition_18-11-P415\Engineering\Phase 1\Sewer\Sewer.dwg

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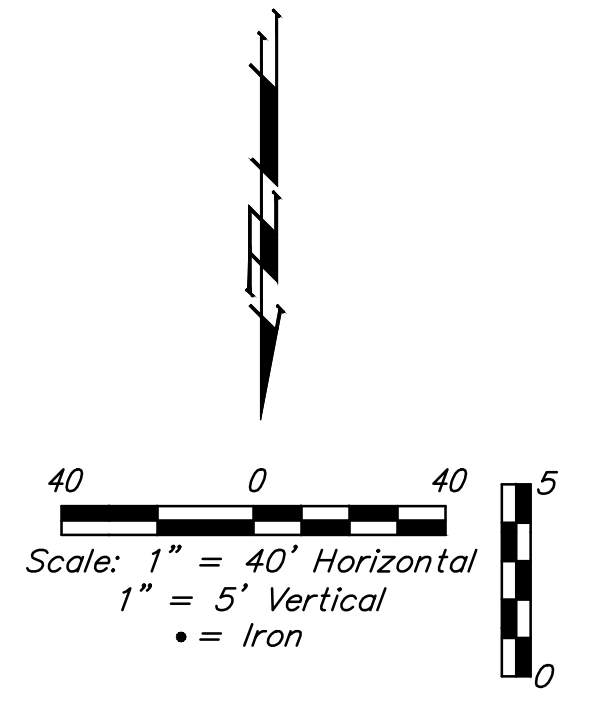
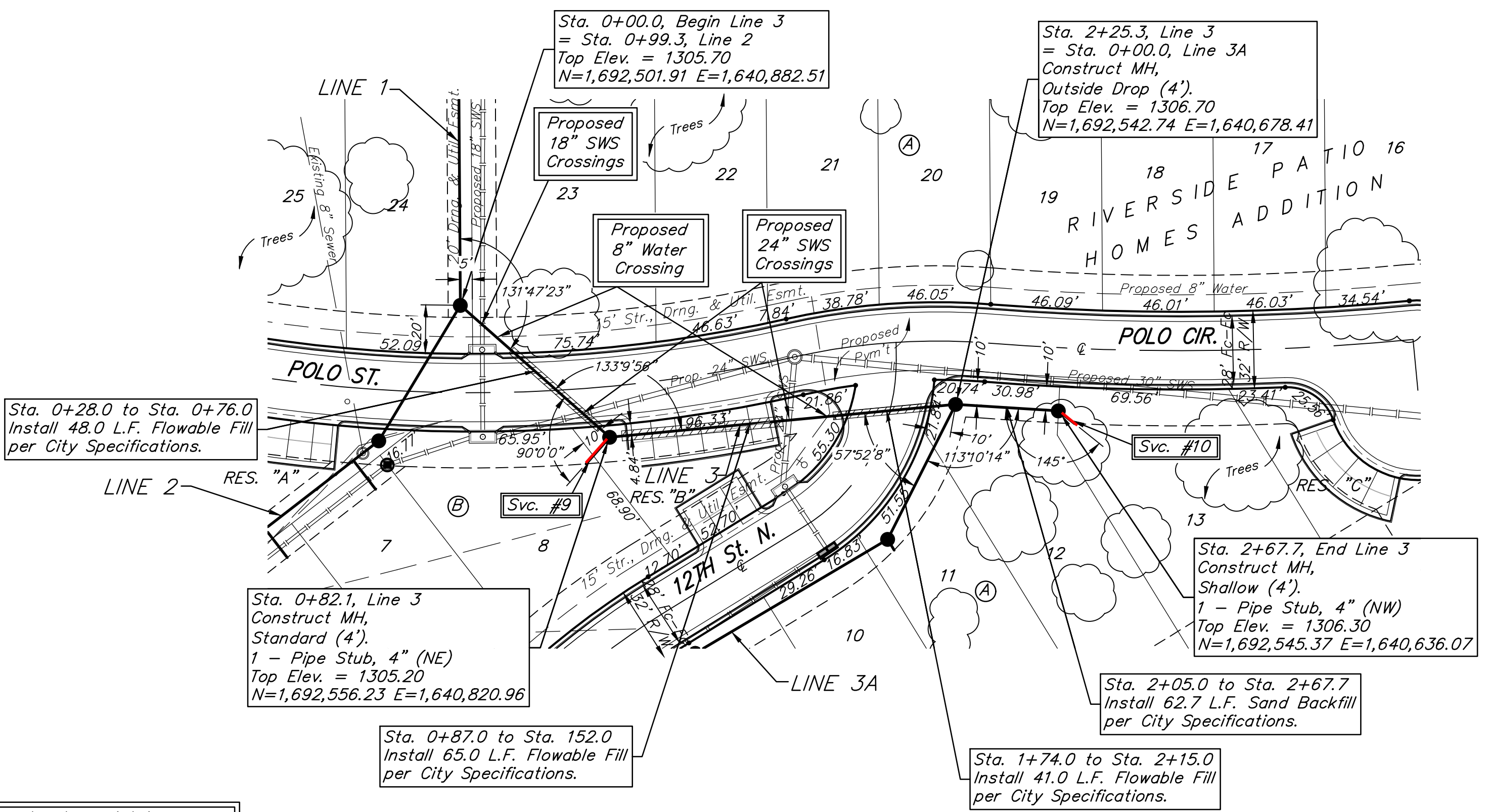
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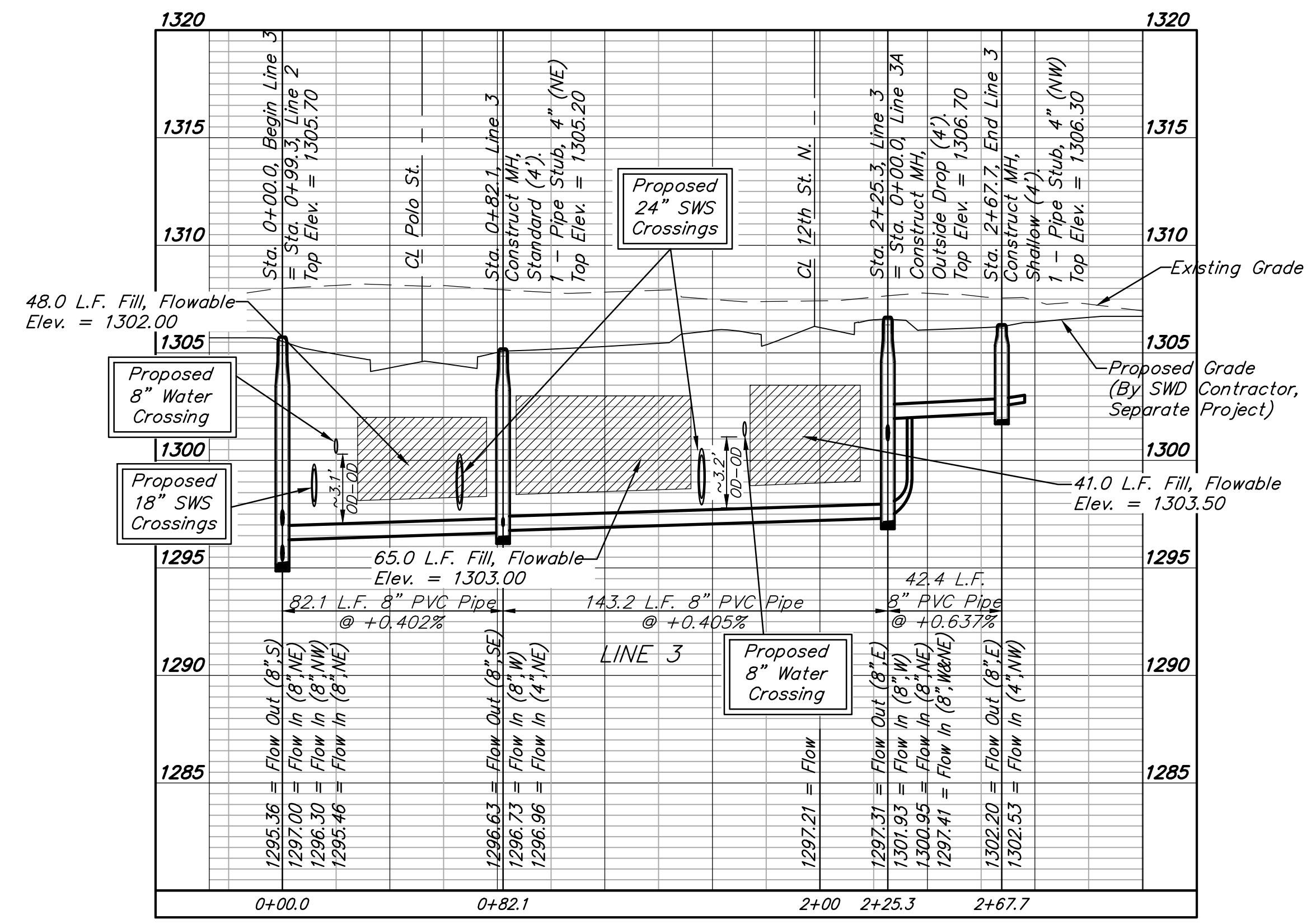
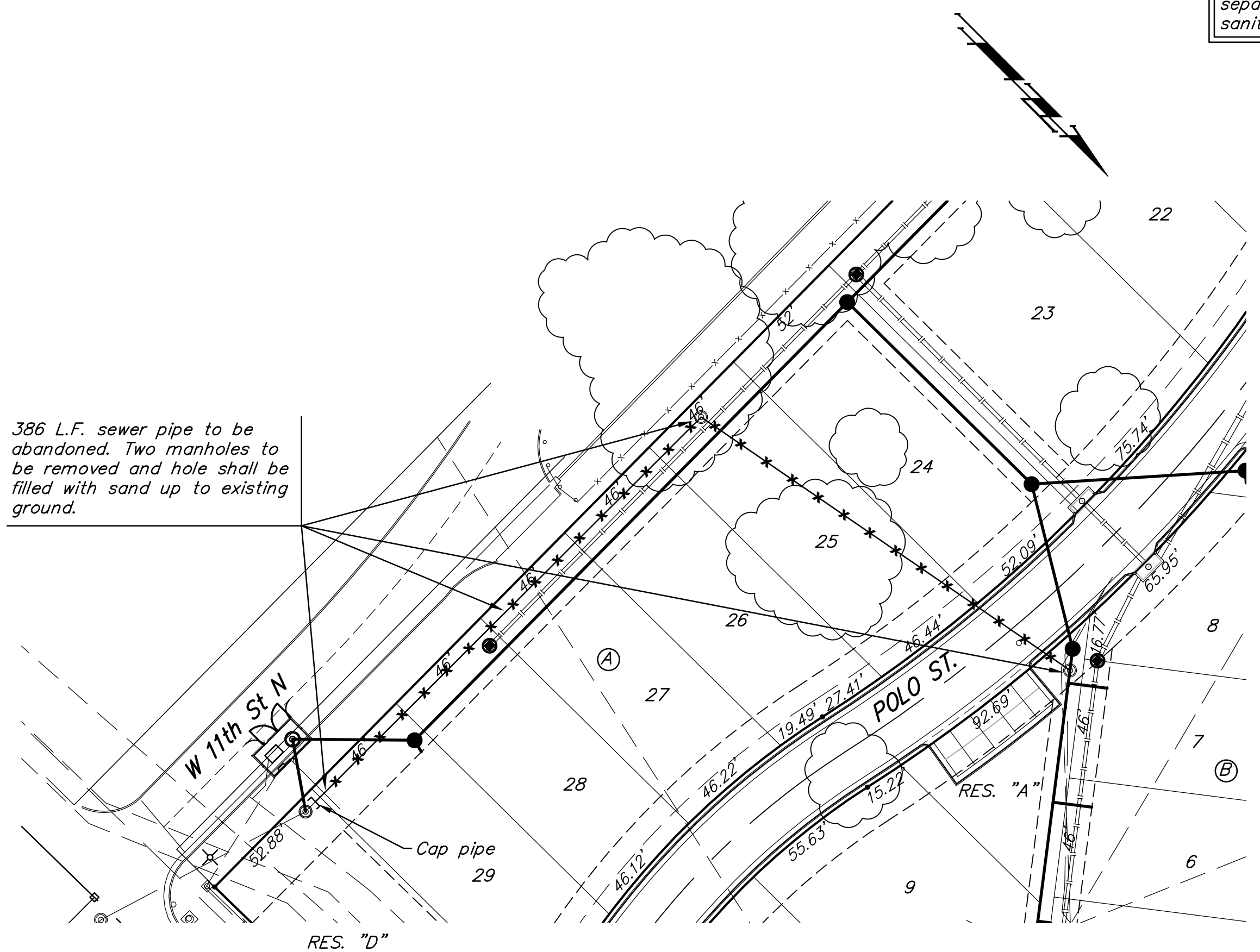
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		LOT NO.	BLOCK NO.	LINE NO.	STATION \ DIRECTION	APPROXIMATE LENGTH 4" PIPE
9	4" Stub	8	B	3	0+82.1/Rt.	10.0'
10	4" Stub	13	A	3	2+67.7/Rt.	8.5'

NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.



Contractor to maintain a minimum of 2' of vertical separation (O.D.-O.D.) between sanitary sewer and water line.



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RIVERSIDE PATIO HOMES ADD.

LINE 3

SANITARY SEWER IMPROVEMENTS

PROJECT NUMBER:

DESIGN: TJW DRAWN: TMS
 DATE: June 22, 2021

SHEET **4** OF **16**

File: E:\Projects\Riverside Multi-Family Addition_18-11-P415\Engineering\Phase 1\Sewer\Sewer.dwg

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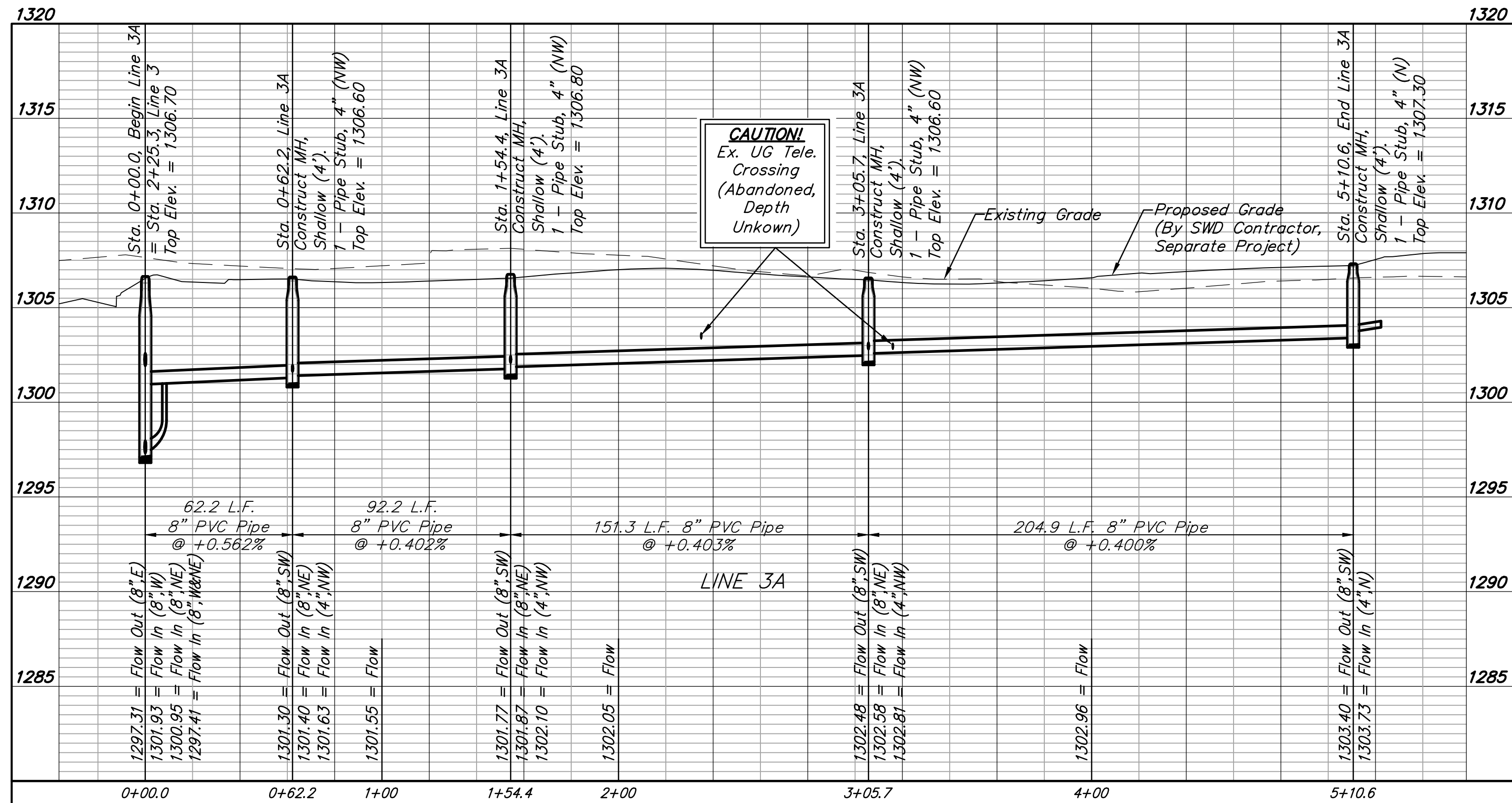
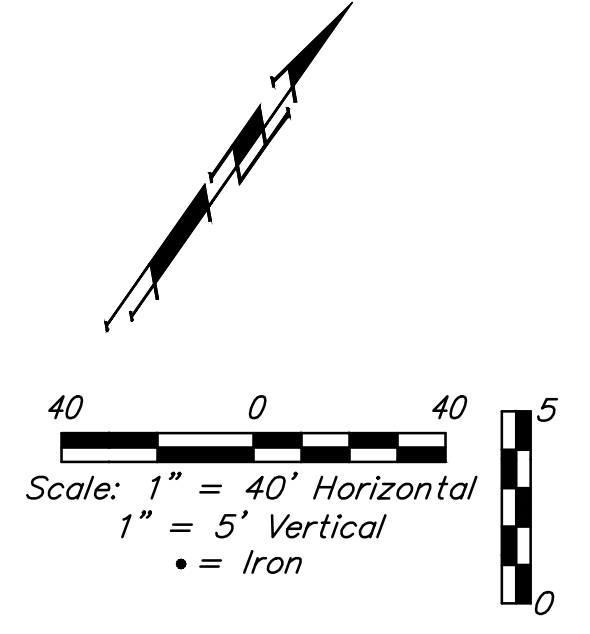
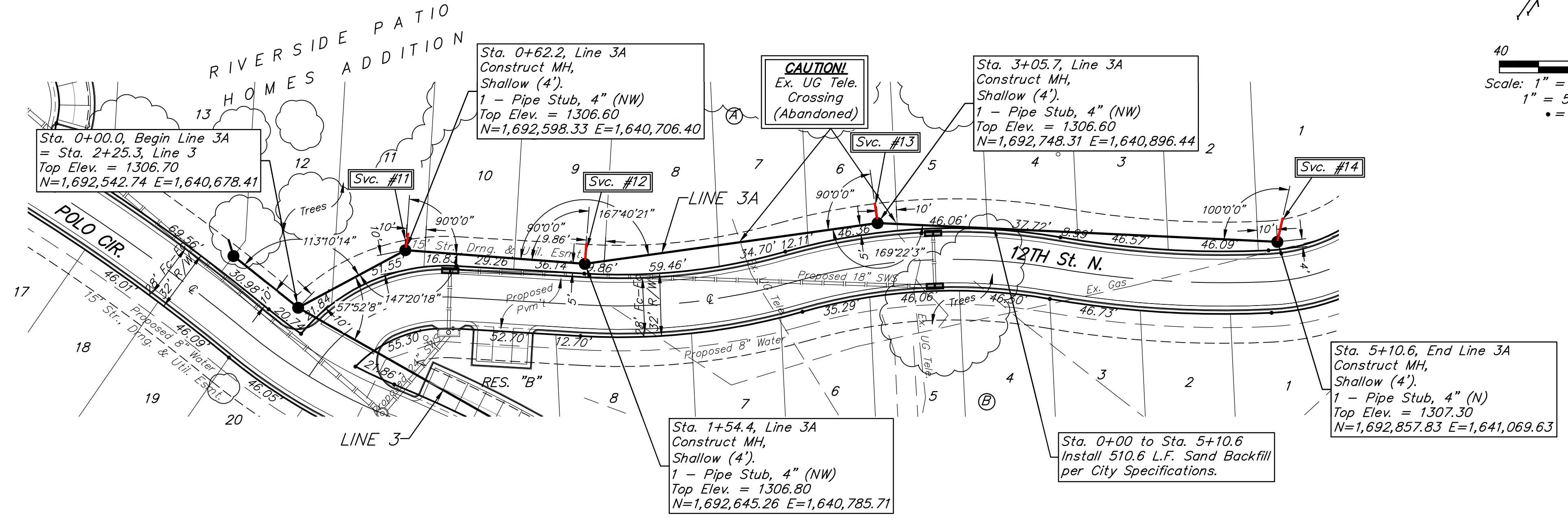
SEWER SERVICE TABLE

NUMBER	TYPE	LOCATION			STATION \ DIRECTION	FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.		APPROXIMATE LENGTH 4" PIPE	VERTICAL
11	4" Stub	11	A	3A	0+62.2/Lt.	-	5.2'
12	4" Stub	9	A	3A	1+54.4/Lt.	-	9.0'
13	4" Stub	6	A	3A	3+05.7/Lt.	-	10.0'
14	4" Stub	1	A	3A	5+10.6/Lt.	-	11.7'

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Professional Engineer Seal: TREVOR JAMES WOITEN, License No. 6-23-21, State of Kansas, Professional Engineer.

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 Wichita, KS 67211
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RIVERSIDE PATIO HOMES ADD.

LINE 3A

SANITARY SEWER IMPROVEMENTS

PROJECT NUMBER:

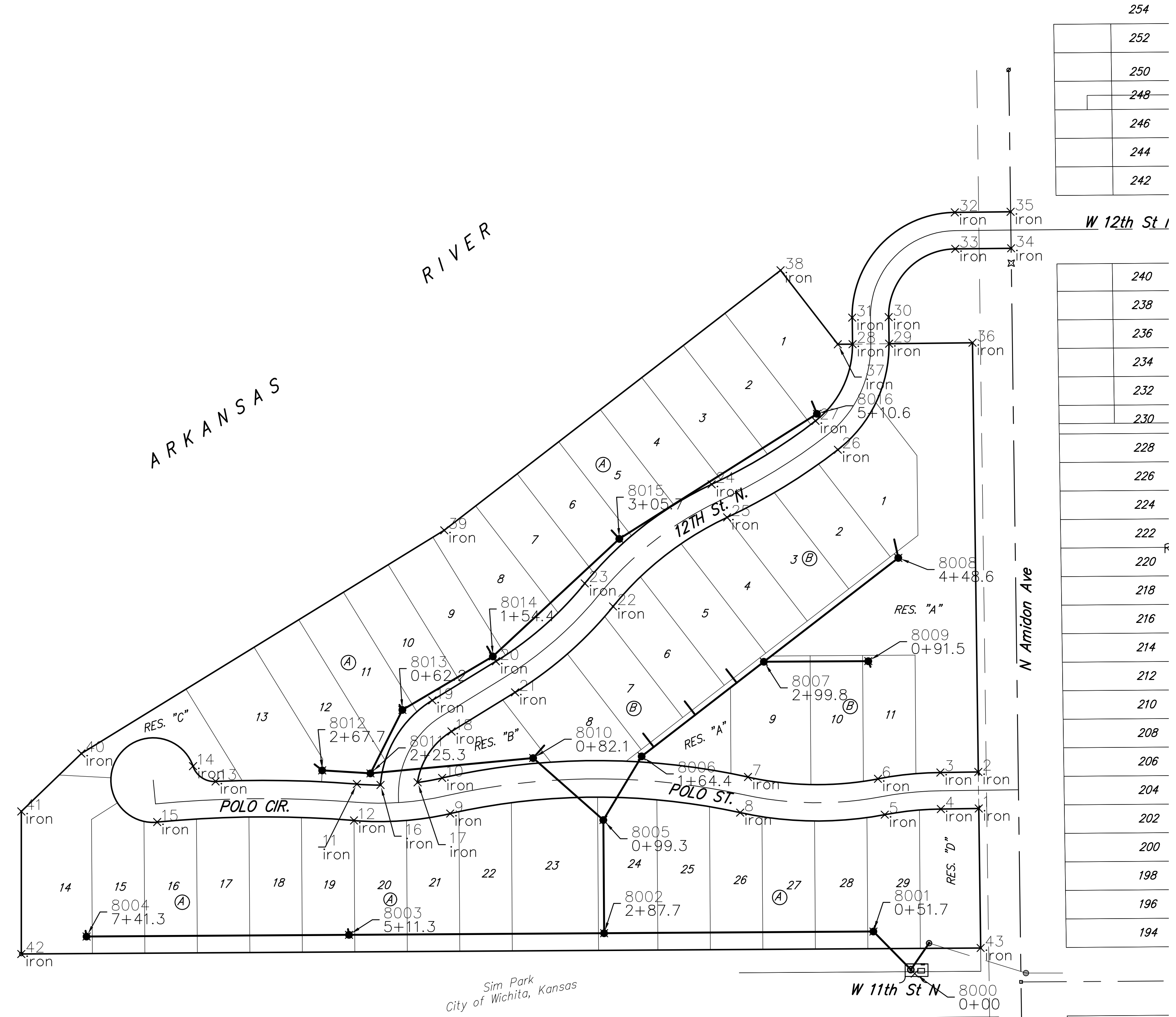
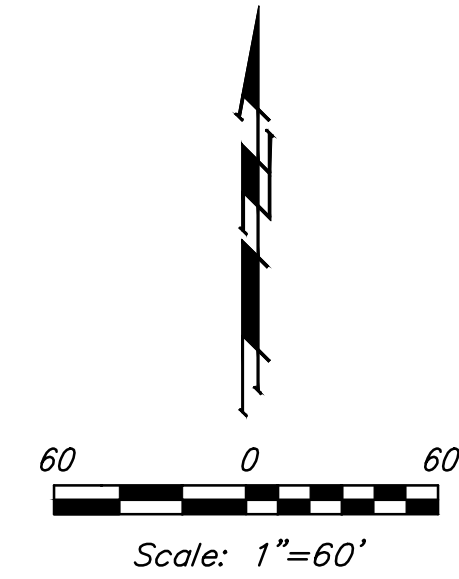
DESIGN: TJW DRAWN: TMS
 DATE: June 22, 2021

SHEET **5** OF **16**

File: E:\Projects\Riverside Multi-Family Addition_18-11-P415\Engineering\Phase 1\Sewer\Sewer.dwg

Point Table			
Point #	Northing	Easting	Raw Description
1	1692511.96	1641211.45	iron
2	1692543.96	1641211.02	iron
3	1692543.51	1641177.79	iron
4	1692511.51	1641178.23	iron
5	1692506.55	1641129.08	iron
6	1692537.99	1641123.11	iron
7	1692539.60	1641009.21	iron
8	1692508.35	1641002.34	iron
9	1692507.54	1640748.25	iron
10	1692538.75	1640741.18	iron
11	1692533.40	1640666.49	iron
12	1692501.50	1640663.95	iron
13	1692535.68	1640542.64	iron
14	1692549.08	1640522.90	iron
15	1692500.06	1640491.52	iron
16	1692532.62	1640687.21	iron
17	1692534.87	1640719.68	iron
18	1692579.49	1640749.38	iron
19	1692606.74	1640732.62	iron
20	1692641.00	1640788.32	iron
21	1692613.74	1640805.09	iron
22	1692689.05	1640891.00	iron
23	1692709.24	1640866.18	iron
24	1692796.05	1640977.36	iron
25	1692767.06	1640990.93	iron
26	1692826.34	1641087.99	iron
27	1692851.65	1641068.41	iron
28	1692918.91	1641100.82	iron
29	1692919.28	1641132.82	iron
30	1692942.55	1641132.51	iron
31	1692942.12	1641100.51	iron
32	1693034.35	1641190.46	iron
33	1693002.35	1641190.82	iron
34	1693002.91	1641239.79	iron
35	1693034.91	1641239.36	iron
36	1692920.12	1641205.91	iron
37	1692918.76	1641087.92	iron
38	1692983.63	1641037.77	iron
39	1692755.75	1640743.03	iron
40	1692560.21	1640425.08	iron
41	1692509.40	1640372.45	iron
42	1692384.44	1640372.45	iron
43	1692389.74	1641213.11	iron

Point Table			
Point #	Northing	Easting	Raw Description
8000	1692367.29	1641155.38	0+00
8001	1692404.14	1641119.13	0+51.7
8002	1692402.66	1640883.14	2+87.7
8003	1692401.25	1640659.59	5+11.3
8004	1692399.80	1640429.59	7+41.3
8005	1692501.91	1640882.51	0+99.3
8006	1692557.71	1640916.05	1+64.4
8007	1692640.54	1641023.19	2+99.8
8008	1692731.60	1641140.96	4+48.6
8009	1692641.12	1641114.68	0+91.5
8010	1692556.23	1640820.96	0+82.1
8011	1692542.74	1640678.41	2+25.3
8012	1692545.37	1640636.07	2+67.7
8013	1692598.33	1640706.40	0+62.2
8014	1692645.26	1640785.71	1+54.4
8015	1692748.31	1640896.44	3+05.7
8016	1692857.83	1641069.63	5+10.6



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BAUGHMAN COMPANY
 315 Ellis St.
 Wichita, KS 67211
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COORDINATE SHEET
 SANITARY SEWER IMPROVEMENTS
 PROJECT NUMBER:
 DESIGN: TJW DRAWN: TMS
 DATE: June 22, 2021
 SHEET **15** OF **16**

Sim Park
City of Wichita, Kansas