

GENERAL NOTES

1. ALL ELEVATIONS SHOWN ARE BASED ON CITY OF WICHITA DATUM (MEAN SEA LEVEL ELEV. - 1187.4 = CITY DATUM).
2. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT(48)HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

KANSAS ONE CALL 687-2470

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

| | |
|--------------------|----------------------|
| COX COMMUNICATIONS | 262-4270 OR 263-2061 |
| KG&E-GAS | 263-7511 |
| KG&E-ELECTRIC | 264-1141 |
| AQUILA | 942-8811 |
| SBC | 1-571-2611 |

THE CONTRACTOR SHALL NOTIFY PIPELINE COMPANIES AT LEAST 24 HOURS IN ADVANCE OF ANY WORK BEING PERFORMED ACROSS AND/OR ADJACENT TO PIPELINES.

3. COST OF EXCAVATION, HAULING AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO OTHER ITEMS OF WORK.

4. THE CONTRACTOR SHALL NOTIFY THE INSPECTOR FOR THIS PROJECT 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR ASSIGNED TO THE PROJECT IS PRESENT ON SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.

5. THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ADJUTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

7. THE CONTRACTOR SHALL RESTORE ALL DITCHES, SWALES, ROAD SHOULDERS, ENTRANCES AND BANK LINES TO THEIR ORIGINAL SLOPES AND GRADES EXCEPT AS SHOWN OTHERWISE.

8. INTERURBAN TRAFFIC GENERATED OUTSIDE THE PROJECT AREA SHALL BE CARRIED THROUGH CONSTRUCTION.

9. UNDERGROUND UTILITY SERVICE LINES AND OVERHEAD UTILITY POLE LINES ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.

10. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, THAT IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOODPLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.

11. PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN THE PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THEIR OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

12. ALL PROPOSED STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE.

14. THE CONTRACTOR MUST EXAMINE THE CONSTRUCTION SITE PRIOR TO BIDDING AND BE SATISFIED AS TO THE WORK SHOWN FOR COMPLETION. AFTER BIDS HAVE BEEN RECEIVED, THE CONTRACTOR SHALL NOT ASSERT THAT THERE WAS A MISUNDERSTANDING OF THE QUANTITIES OF WORK OR OF THE NATURE FOR THE WORK TO BE COMPLETED.

15. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WHICH ARE ENCOUNTERED ON THIS PROJECT. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING TRENCHING OPERATIONS TO AVOID DAMAGING THESE LINES. ANY LINES DAMAGED SHALL BE REPLACED OR REPAIRED IMMEDIATELY AS DIRECTED BY THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

17. THE CONTRACTOR SHALL CONTAIN HIS OPERATIONS TO PERMIT TRAFFIC THROUGH AND ACROSS CONSTRUCTION AT EXISTING ROADWAYS AT ALL TIMES. THE CONTRACTOR SHALL ERECT WARNING SIGNS, FLASHING LIGHTS, AND BARRICADES IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES TO ENSURE SAFETY AND DIRECTED IN THE GENERAL CONDITIONS. THE CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH TO REMAIN OPEN OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.

18. ALL LAWN/TURF AREAS DISTURBED BY CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE RESTORED WITH THE SAME GRASS/SOIL AS EXISTING. RESTORATION OF DISTURBED AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP SOIL PREPARATION, SEEDING, MULCH, AND/OR RESEEDING. ALL SEEDING/SODDING WORK SHALL BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD SPECIFICATIONS AND THE CITY OF WICHITA ADMINISTRATIVE REGULATION NO. AR78 WHICH GOVERNS CLEANUP AND RESTORATION OR REPLACEMENT FOLLOWING CONSTRUCTION. ALL COSTS FOR THIS WORK SHALL BE SUBSIDIARY TO THE LUMP SUM PRICE BID FOR "SITE RESTORATION".

19. CUTS MADE TO PAVED SURFACES ON PUBLIC PROPERTY WILL BE REPAIRED BY THE CITY'S CONTRACTOR AND CHARGED AGAINST THE OWNER/APPLICANT. UNIT REPAIR PRICES ARE AVAILABLE FROM THE CITY AT 268-4418. A SURCHARGE MAY BE APPLICABLE. CALL 268-4418 FOR DETAILS. REPAIR COSTS TO BE PAID PRIOR TO RELEASE OF WATER SERVICE IF WATER SERVICE IS AFFECTED.

STORM WATER SEWER IMPROVEMENTS

FOR

SUBWAY SANDWICH SHOP

LOCATED AT 2420 SOUTH WEST STREET, LOT 2, BLOCK 1, WESTPORT INDUSTRIAL

PARK 5TH ADDITION,

WICHITA, KANSAS

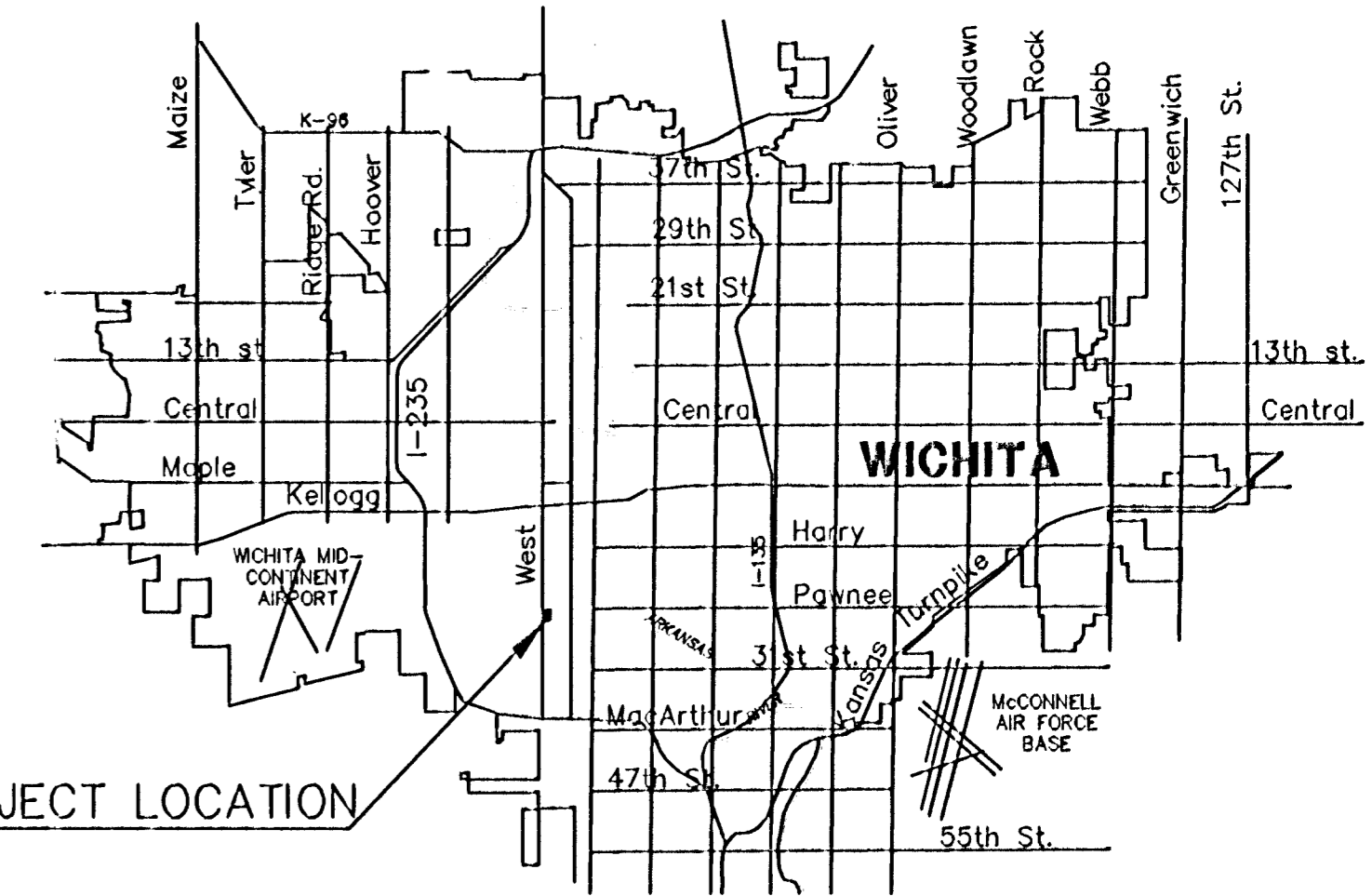
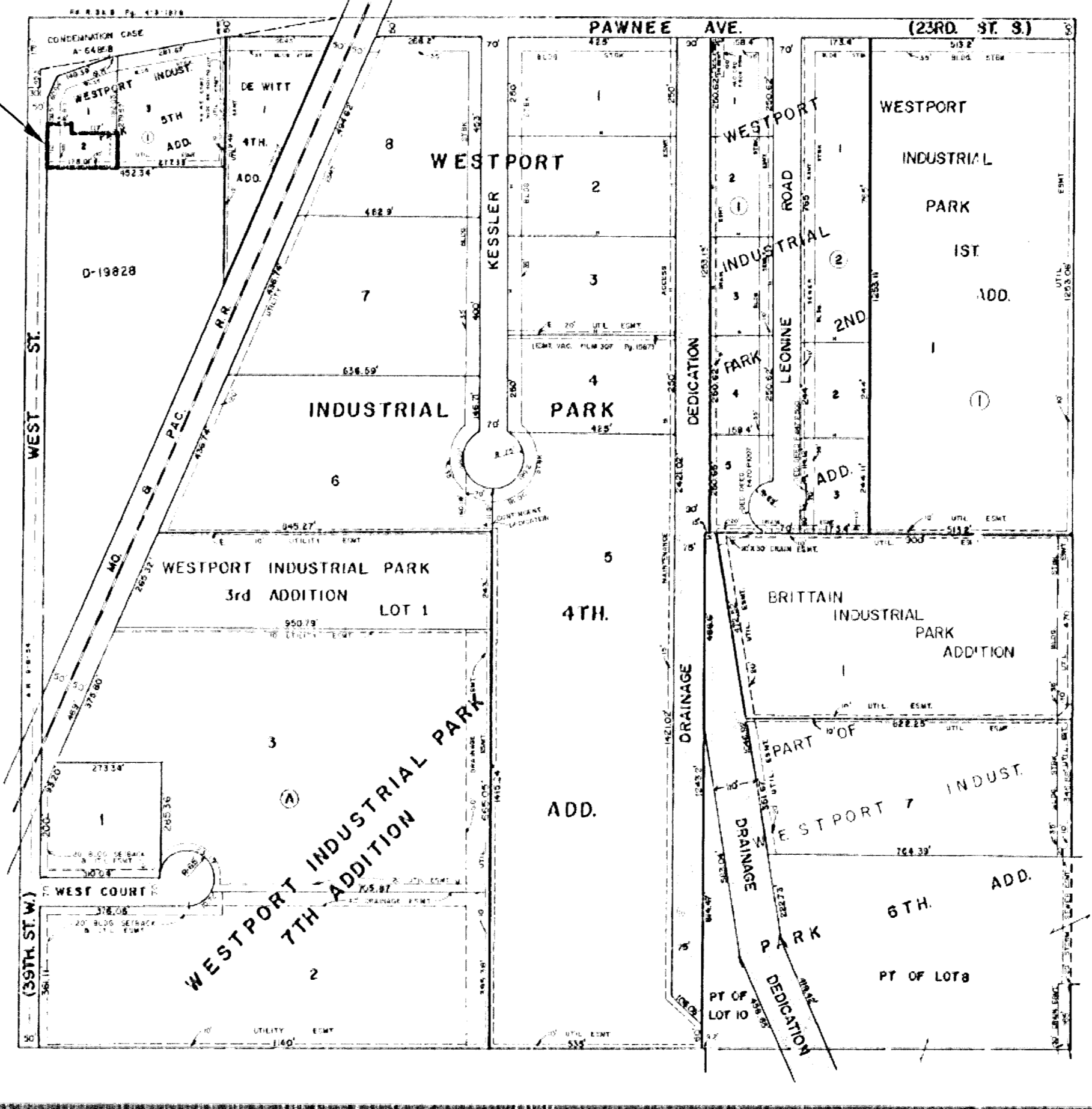
COW PRIV. PROJ. NO. 1463 PPS(607861)

JIM ARMOUR, P.E., CITY ENGINEER

AUGUST 2004

N.W. 1/4 SEC. 1, TWP. 28 S. R. 1 W

BENEFIT DISTRICT



PROJECT LOCATION

LOCATION MAP

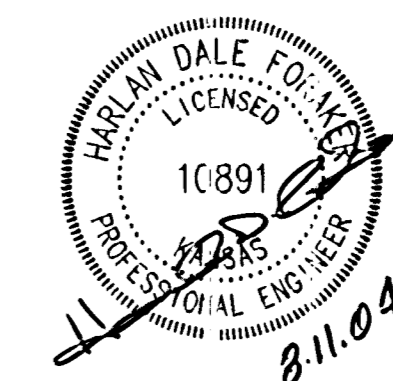
APPROVED AS NOTED
By CITY ENGINEER OF WICHITA

Sanitary Sewers _____
Storm Sewers URH 8/11/04
Driveway Approaches _____
Water Mains _____
Paving _____

NOTE TO CONTRACTOR

INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

PROJECT LOCATED IN THE N.W.1/4,
SEC. 1, T.28S., R.1W. WICHITA,
SEDGWICK COUNTY, KANSAS



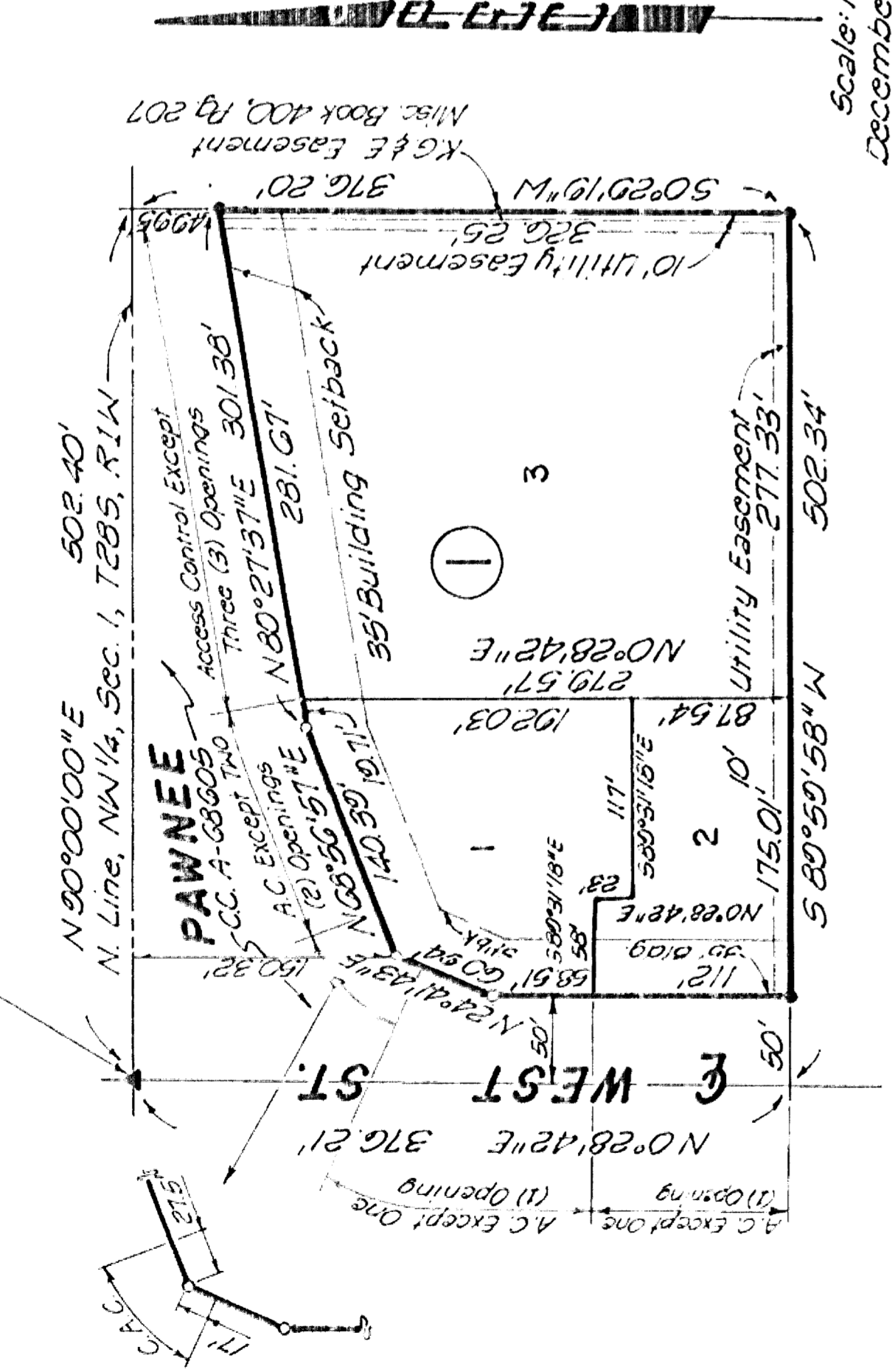
| | | | |
|--|--|---------|--|
| CED PROJ. NO.: 20041169 | | SHEET 1 | |
| CERTIFIED ENGINEERING DESIGN, P.A. | | TOTAL 5 | |
| 810 WEST DOUGLAS, SUITE C WICHITA, KANSAS 67203 | | | |
| PH: (316) 262-8808 | | | |
| FAX: (316) 262-1669 | | | |

As-BUILT 8-15-06 *URH* *URH* *URH* *URH*
CED

WESTPORT INDUSTRIAL PARK 5TH ADDITION

TO WICHITA, SEDGWICK COUNTY, KANSAS

NW 1/4, Sec. 1,
T28S, R1W, 6th PM



Scale: 1"=100'
December 30, 1982
Bench Mark - City St. & West St
#24.8' N. of N. 1311 Santa Fe
Railroad. El. +100.08 City Datum

State of Kansas
County of Sedgwick

I, R.W. Linn, a Professional Engineer in aforesaid State and County, hereby certify that on this 14th day of February, 1983, I have caused to be surveyed and platted "WESTPORT INDUSTRIAL PARK 5TH ADDITION" to Wichita, Sedgwick County, Kansas, into lots, a block and streets, and more particularly described as: Beginning at the NW Corner of the NW 1/4 of Section 1, Township 28 South, Range 1 West of the 6th PM.; thence bearing N50°00'00"E along the north line of said NW 1/4 a distance of 502.40 feet to the NW Corner of DeWitt 4th Addition, Wichita Sedgwick County, Kansas; thence bearing S0°29'19"W along the west line of said DeWitt 4th Addition a distance of 376.20 feet; thence bearing S89°59'58"W a distance of 502.34 feet to a point on the west line of said A.M.L.S.; thence bearing N0°22'42"E along said west line a distance of 376.21 feet to the point of beginning.

R.W. Linn
R.W. Linn, P.E.
#3684

Know all men by these presents that I, the undersigned property owner of the land as above set forth in the Engineer's Certificate, do hereby certify that I have caused the land to be surveyed and platted into lots, a block, and streets, the same to be known as "WESTPORT INDUSTRIAL PARK 5TH ADDITION" to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements, as indicated, for the construction and maintenance of public utilities, are hereby granted. All abutters' rights of access to and from Pawnee, over and across the NW Corner of Lot 1, Block 1, as shown and dimensioned above; access control except for two (2) openings over and across the remaining portion of the north line of Lot 1, Block 1; access control except for three (3) openings over and across the north line of Lot 3, Block 1; and to and from West Street, access control except for one (1) opening each over and across the west lines of Lot 2 and the remaining portion of Lot 1, Block 1, are hereby granted to the City of Wichita.

Earl Van Meter Long, Jr. Owner

State of Kansas
County of Sedgwick

Be it remembered that on this 13th day of February, 1983, before me, a Notary Public in aforesaid State and County, came Earl Van Meter Long, Jr., owner of the land as above described in the Engineer's Certificate, personally known to me to be the same person who executed the foregoing instrument of writing, and duly acknowledges the same for and on behalf and as the voluntary act and deed of said person, in testimony whereof, I have hereunto set my hand and affixed my seal the day and year above written.



Cynthia S. Luman Notary Public
My Appointment Expires: October 31, 1984

This plat has been submitted to and approved by the Wichita - Sedgwick County Planning Commission, Wichita, Kansas, dated this 10th day of February, 1983.

David Bayouth Chairman
Robert A. Lakin Secretary



This plat approved and all dedications shown hereon are accepted by the City Commission of the City of Wichita, Kansas. Dated this 17th day of February, 1983.

Albert J. Mink Mayor
Donald C. Gistick City Clerk

This is to certify that this instrument was filed for record in the Register of Deeds Office of Sedgwick County, Kansas, on this 14th day of February, 1983.

Bette F. McCart Register of Deeds
Pat Kettler Deputy

This plat approved and all dedications shown hereon are accepted by the Board of County Commissioners of Sedgwick County, Kansas, dated this 24th day of February, 1983.

Jack Spratt Chairman
Conrad E. Graber Commissioner
Tom Scott Commissioner

Attest:
Dorothy K. White County Clerk

Entered on Transfer Record this 24th day of February, 1983.

Dorothy K. White County Clerk



This digital plat record accurately reproduces in all details the original plat filed with the Sedgwick County Register of Deeds. Digitized under the supervision of Register of Deeds Bill Meek by Sedgwick County Geographic Information Systems.

Bill Meek, Register of Deeds
Produced pursuant to computer software

Sta. 0+21.89, CAUTION!!!
Existing 4" Steel KGS Gas Line approx. 5' West of East Curb & Gutter. Depth could not be provided by KGS. Contractor Shall verify Location & Depth and Notify Engineer of any Discrepancies and/or Conflicts Prior to Installation of SWS. Property Owner will be Responsible for the Costs Associated with the Lowering of the Gas Line if Required to Clear the SWS. KGS Contact: Charlene Lawless, 832-3121
Existing Top of Pavement=106.28
Depth from Top of Pavement=Unknown
Top of 4" Steel Gas Line=Unknown
Top of Prop. 15" SWS=102.88
Bottom of Prop. 15" SWS=101.44
Clearance=Unknown

Sta. 0+00.00, End SWS
Install Reinforced Concrete MH (W=8' L=4' H=7.27') (See MH Detail Sheet #5)
Top=107.54
Exist. FL=101.36
Prop. (15") FL=101.46
Inlet Floor=100.69
Contractor Shall Verify Existing Elevations and Storm Sewer for Accuracy and Notify Engineer of any Discrepancies.
N 5015.00
E 4956.23

Note:
All Permanent Concrete Pavement Replacement Shall be Performed by a City of Wichita Approved Street Paving Contractor. All Costs Shall be Reimbursed back to the City by the Property Owner. Contact City Engineering for List of Applicable Contractors, 268-4501.

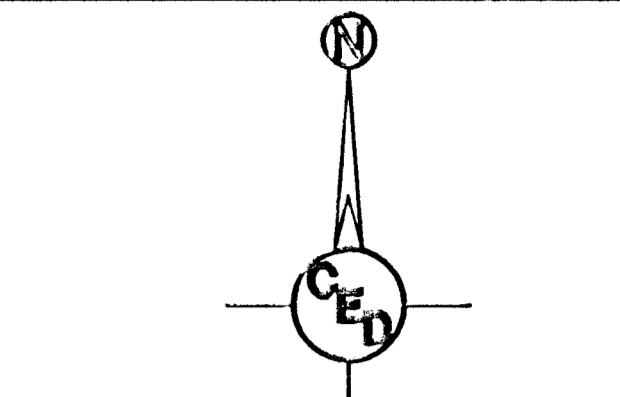
Sta. 0+27.89, CAUTION!!!
Existing 12" Cast Iron Water Main Under Existing Curb & Gutter. City Performed Vacuum Indicated 78" depth. Contractor Shall verify Depth and Notify Engineer of any Discrepancies.
Existing Top of Curb=106.65
Depth from Top of Curb=78" or 6.5'
Top of 12" Water Main=100.15
Bottom of Prop. 15" SWS=102.84
Clearance=2.69' or 32.3"

Sta. 0+46.82, CAUTION!!!
Existing 3/4" AQUILA Gas Line (Coated & Wrapped Steel) Approx. 3' East of R/W Line. Aquila performed probe to determine depth of 51". Contractor Shall verify Location & Depth and Notify Engineer of any Discrepancies. Contractor Shall Coordinate with Calvin Briggs (941-1608) of Aquila on re-orientation of 3/4" Steel Gas Line.
Existing Ground=106.64
Depth from Existing Ground=51" or 4.25'
Top of 3/4" Gas Line=102.39
Bottom of 3/4" Gas Line=102.3
Bottom of Prop. 15" SWS=102.9 (Clearance=0.52' or 6.25")
Top of Prop. 15" SWS=104.35

Sta. 0+78.20, End SWS
Install Type 1 Curb Inlet (W=5', L=3')
Top=105.00
Prop. (15") FL=103.12
N 5010.65 (Middle Point on E 5034.31 Inside Rear Wall)
N 5012.77 (Middle Point on E 5036.43 (Inside Front Wall))

HORIZONTAL CONTROL POINTS

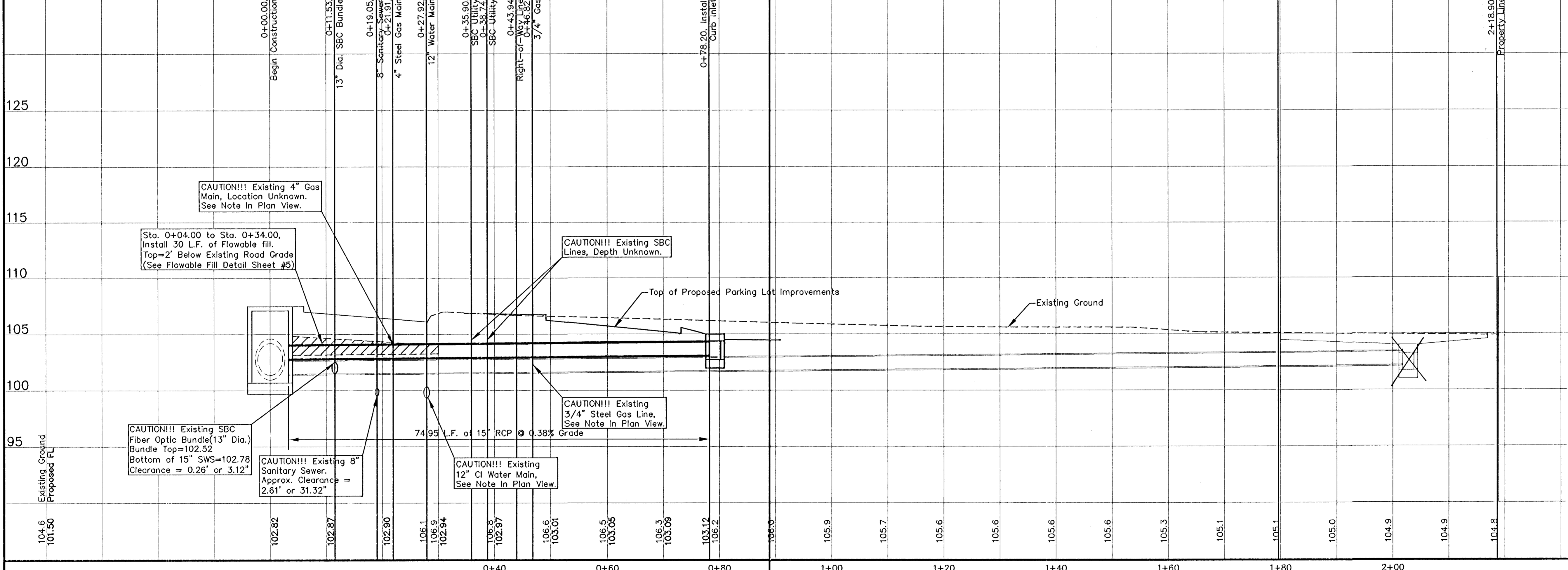
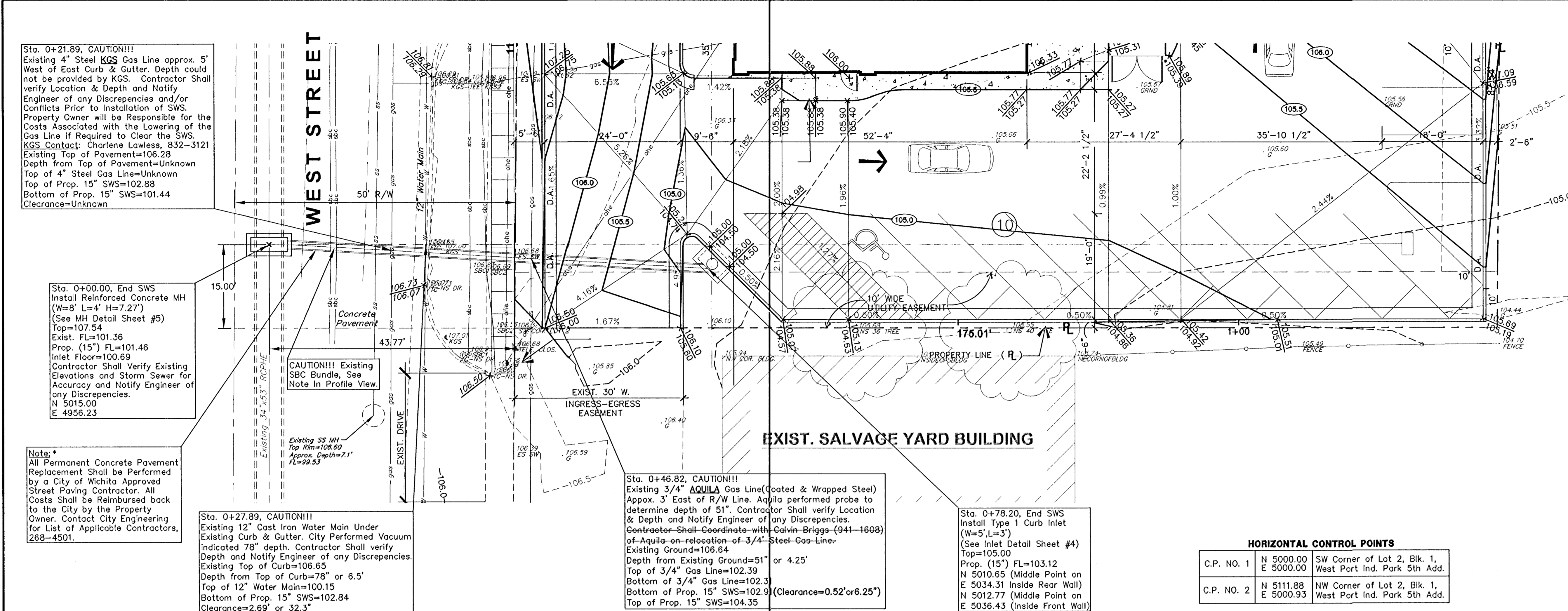
| | | |
|------------|------------------------|---|
| C.P. NO. 1 | N 5000.00 E 5000.00 | SW Corner of Lot 2, Blk. 1, West Port Ind. Park 5th Add. |
| C.P. NO. 2 | N 5111.88 E 5000.93 | NW Corner of Lot 2, Blk. 1, West Port Ind. Park 5th Add. |



GRAPHIC SCALE
1 inch = 10 ft.

- UTILITY LEGEND**
- = Power Pole
 - = Sign
 - ⊙ = San. Sewer Manhole
 - ⊙ = Storm Sewer Manhole
 - ⊙ = Telephone Riser
 - ⊙ = Water Meter
 - ⊙ = Water Valve
 - ⊙ = Gas Meter
 - ⊙ = Catv Box
 - ⊙ = Fire Hydrant
 - ⊙ = Guard Post
 - ⊙ = Guy Anchor
 - ⊙ = Guy Pole
 - ⊙ = Light Pole
 - ⊙ = Mailbox

Benchmark:
City Disc in Center of North Median
South of K-42 Highway, 17.5' North
of the South end of the Median.
Elev.=109.98



SUBWAY SANDWICH SHOP
SWS PLAN & PROFILE
2420 S. WEST ST., WICHITA, KS
CED PROJ. NO.: 20041169
CERTIFIED ENGINEERING DESIGN, P.A.
810 WEST DOUGLAS, SUITE C
WICHITA, KANSAS 67203
PH.(316)262-8808 FAX.(316)262-1669

DESIGNED: HDF
DRAWN: CKW
CHECKED: HDF

SCALE: 1"=10'
DATE: 5/04
CED FILE: Paw&West_Subway TOTAL 5

SHEET 3 OF 10

16-0117 8-15-06 HDF/WCED

Sta. 0+21.89, CAUTION!!!
Existing 4" Steel KGS Gas Line approx. 5' West of East Curb & Gutter. Depth could not be provided by KGS. Contractor shall verify Location & Depth and Notify Engineer of any Discrepancies and/or Conflicts Prior to Installation of SWS. Property Owner will be Responsible for the Costs Associated with the Lowering of the Gas Line if Required to Clear the SWS.
KGS Contact: Charlene Lawless, 832-3121
Existing Top of Pavement=106.28
Depth from Top of Pavement=Unknown
Top of 4" Steel Gas Line=Unknown
Top of Prop. 15" SWS=102.88
Bottom of Prop. 15" SWS=101.44
Clearance=Unknown

Sta. 0+00.00, End SWS
Install Reinforced Concrete MH (W=8' L=4' H=7.27') (See MH Detail Sheet #5)
Top=106.96
Exist. FL=101.36
Prop. (15") FL=101.46
Inlet Floor=100.69
Contractor Shall Verify Existing Elevations and Storm Sewer for Accuracy and Notify Engineer of any Discrepancies.
N 5008.01
E 4956.22

Note:
All Permanent Concrete Pavement Replacement Shall be Performed by a City of Wichita Approved Street Paving Contractor. All Costs Shall be Reimbursed back to the City by the Property Owner. Contact City Engineering for List of Applicable Contractors, 268-4501.

Sta. 0+27.89, CAUTION!!!
Existing 12" Cast Iron Water Main Under Existing Curb & Gutter. City Performed Vacuum indicated 78" depth. Contractor Shall verify Depth and Notify Engineer of any Discrepancies.
Existing Top of Curb=106.65
Depth from Top of Curb=78" or 6.5'
Top of 12" Water Main=100.15
Bottom of Prop. 15" SWS=101.46
Clearance=1.31' or 15 3/4"

Sta. 0+46.78, CAUTION!!!
Existing 3/4" AQUILA Gas Line (Coated & Wrapped Steel) Approx. 3' East of R/W Line. Aquila performed probe to determine depth of 51". Contractor shall verify Location & Depth and Notify Engineer of any Discrepancies. Contractor Shall Coordinate with Calvin Briggs (941-1608) of Aquila on relocation of 3/4" Steel Gas Line.
Existing Ground=106.64
Depth from Existing Ground=51" or 4.25'
Top of 3/4" Gas Line=102.39
Bottom of 3/4" Gas Line=102.31
Bottom of Prop. 15" SWS=101.54
Top of Prop. 15" SWS=102.98

OMITTED
Sta. 2+02.77, End SWS
Install 2'x4' Area Inlet (See Inlet Detail Sheet #4)
Top=104.00
Prop. (15") FL=102.22
Inlet Floor=101.75
N 5003.50
E 5171.50

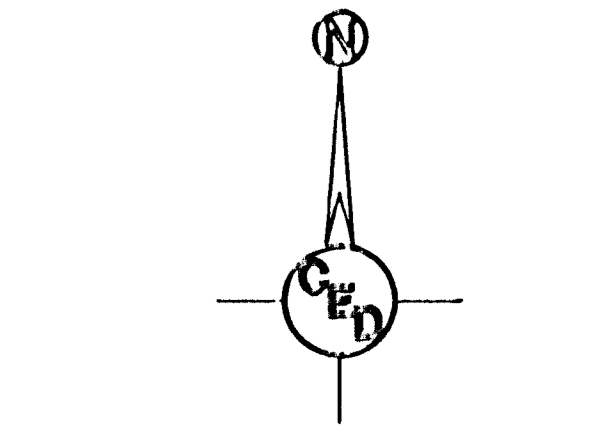
WEST STREET

Concrete Pavement

EXIST. SALVAGE YARD BUILDING

HORIZONTAL CONTROL POINTS

| | | |
|------------|------------------------|---|
| C.P. NO. 1 | N 5000.00 E 5000.00 | SW Corner of Lot 2, Blk. 1, West Port Ind. Park 5th Add. |
| C.P. NO. 2 | N 5111.88 E 5000.93 | NW Corner of Lot 2, Blk. 1, West Port Ind. Park 5th Add. |

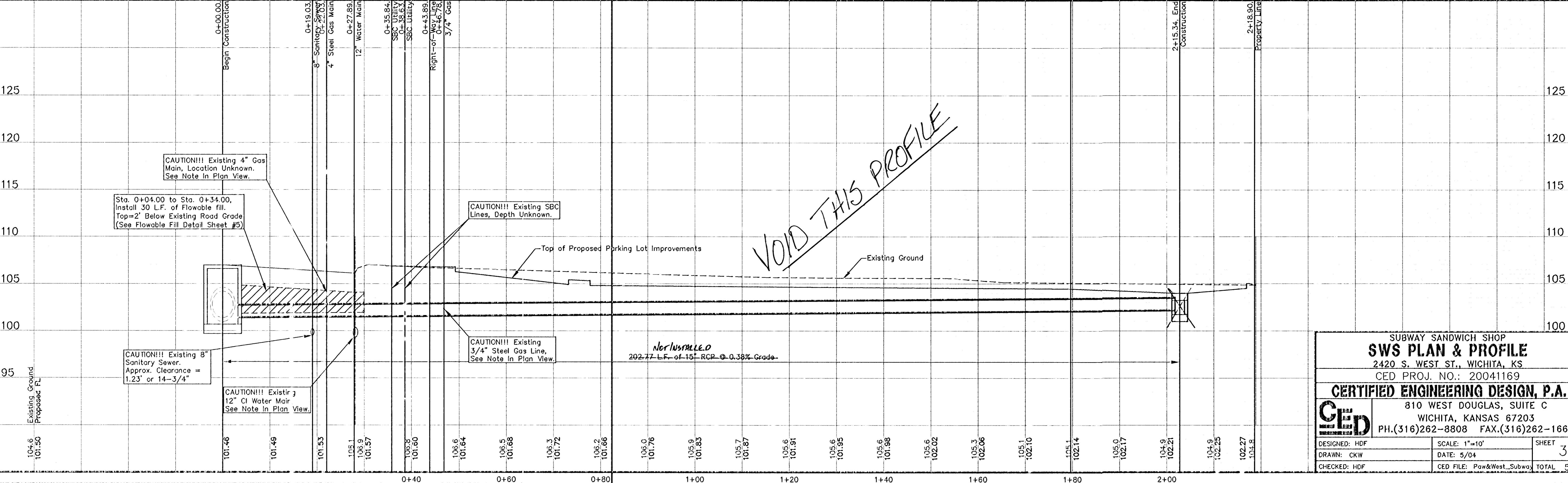


GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

UTILITY LEGEND

- = Power Pole
- = Sign
- = San. Sewer Manhole
- = Storm Sewer Manhole
- = Telephone Riser
- = Water Meter
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- = Gas Meter
- = Cotv Box
- = Fire Hydrant
- = Guard Post
- = Guy Anchor
- = Guy Pole
- = Light Pole
- = Mailbox

Benchmark:
City Disc in Center of North Median
South of K-42 Highway, 17.5' North
of the South end of the Median.
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SUBWAY SANDWICH SHOP
SWS PLAN & PROFILE
2420 S. WEST ST., WICHITA, KS
CED PROJ. NO.: 20041169

CERTIFIED ENGINEERING DESIGN, P.A.
810 WEST DOUGLAS, SUITE C
WICHITA, KANSAS 67203
PH.(316)262-8808 FAX.(316)262-1669

| | | |
|---------------|---------------------------|---------|
| DESIGNED: HDF | SCALE: 1"=10' | SHEET |
| DRAWN: CKW | DATE: 5/04 | 3 |
| CHECKED: HDF | CED FILE: Pow&West_Subway | TOTAL 5 |

AS-BUILT 8-15-06 HOF/ICD