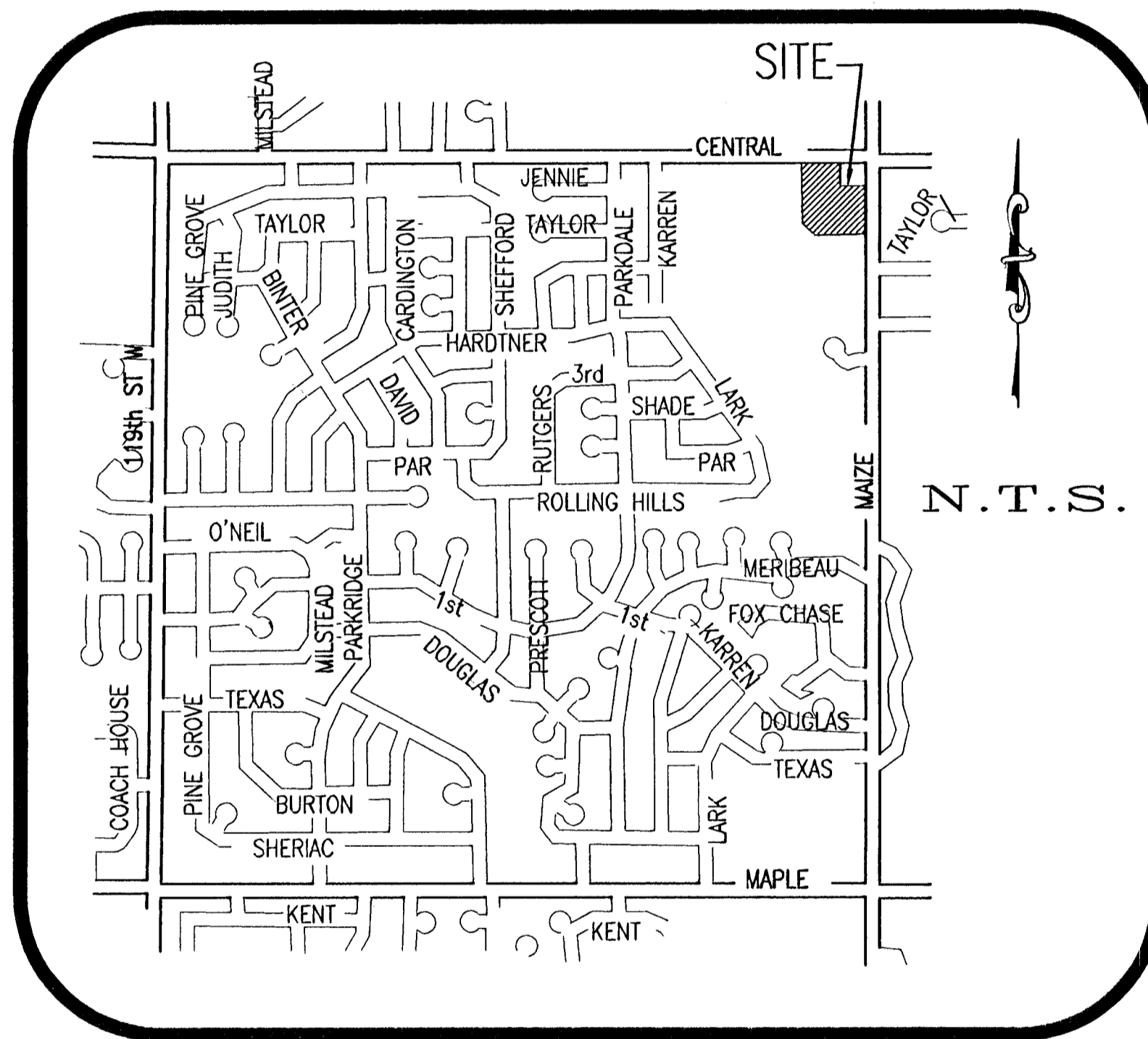


# INDEX OF DRAWINGS

## DILLON'S FOOD STORES BUILDING EXPANSION

- SHEET 1/10 COVER SHEET
- SHEET 2/10 PLAN & PROFILE OF PROPOSED LINE
- SHEET 3/10 EROSION CONTROL PLAN
- SHEET 4/10 STORM SEWER DETAILS - DROP INLET
- SHEET 5/10 STORM SEWER DETAILS - SHALLOW MANHOLE
- SHEET 6/10 STORM SEWER DETAILS - MANHOLE FRAME & COVER
- SHEET 7/10 STORM SEWER DETAILS - COMMERCIAL DEVELOPMENT SITES
- SHEET 8/10 STORM SEWER DETAILS - CURB INLET PROTECTION & CONSTRUCTION ENTRANCE
- SHEET 9/10 STORM SEWER DETAILS - SOIL EROSION BMP DETAILS
- SHEET 10/10 RECORDED PLAT

### VICINITY MAP WICHITA, KS



# PRIVATE STORM SEWER PLANS FOR DILLON'S FOOD STORES #72 BUILDING EXPANSION

PRIVATE PROJECT NUMBER: **1613 PPS (607861)**

**DP-129**

**LOT 2, BLOCK 1, CENTRAL-MAIZE 2ND ADDITION  
CITY OF WICHITA, SEDGWICK COUNTY, KANSAS  
CITY ENGINEER: JIM L. ARMOUR, P.E.**

PREPARED & SUBMITTED BY  
**PICKERING FIRM, INC.**  
6775 LENOX CENTER COURT, SUITE 300  
MEMPHIS, TN 38115



ENGINEER **P.L. LeBlanc** DATE **1/5/06**

APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA:

CHIEF ENGINEER **J.L. Armour** DATE **1/10/06**

SITE TBM

DEVELOPER:

**DILLON STORES**  
2700 EAST 4TH  
P.O. BOX 1608  
HUTCHINSON, KS 67501-1608

**ZONING NOTE:**  
ACCORDING TO INFORMATION PROVIDED BY THE CITY OF WICHITA, KANSAS PLANNING DEPARTMENT THE SUBJECT PROPERTY IS ZONED "LC- LIMITED COMMERCIAL".

**SPECIAL FLOOD HAZARD STATEMENT:**  
BY GRAPHIC DETERMINATION, REVISED TO REFLECT LOMR, JUNE 26, 1997, THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE B, AN AREA BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND THE 500-YEAR FLOOD, AND IN ZONE C, AN AREA DESCRIBED AS HAVING MINIMAL FLOODING PER FEMA/FIRM MAP NUMBER 2003280020 B, CITY OF WICHITA, KANSAS, SEDGWICK COUNTY, EFFECTIVE DATE OF MAY 15, 1986.

**UTILITY NOTE:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES, CALL KANSAS ONE-CALL 1-800-344-7233. THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF EMERGENCY:

POWER: WESTAR 316-261-6512  
GAS: KANSAS GAS SERVICE 316-832-3101  
WATER & SEWER: CITY OF WICHITA 316-262-6000  
TELEPHONE: SOUTHWESTERN BELL TELE. CO. 800-870-8390  
CABLE: COX COMMUNICATIONS 316-262-0661

**BENCHMARK:**  
SITE TBM: CITY OF WICHITA STD. DISC IN N.E. TURN ISLAND 54.7' N. AND 35.6' E. OF CENTERLINE INTERSECTION OF CENTRAL & MAIZE  
ELEVATION: = 1333.39 NGVD

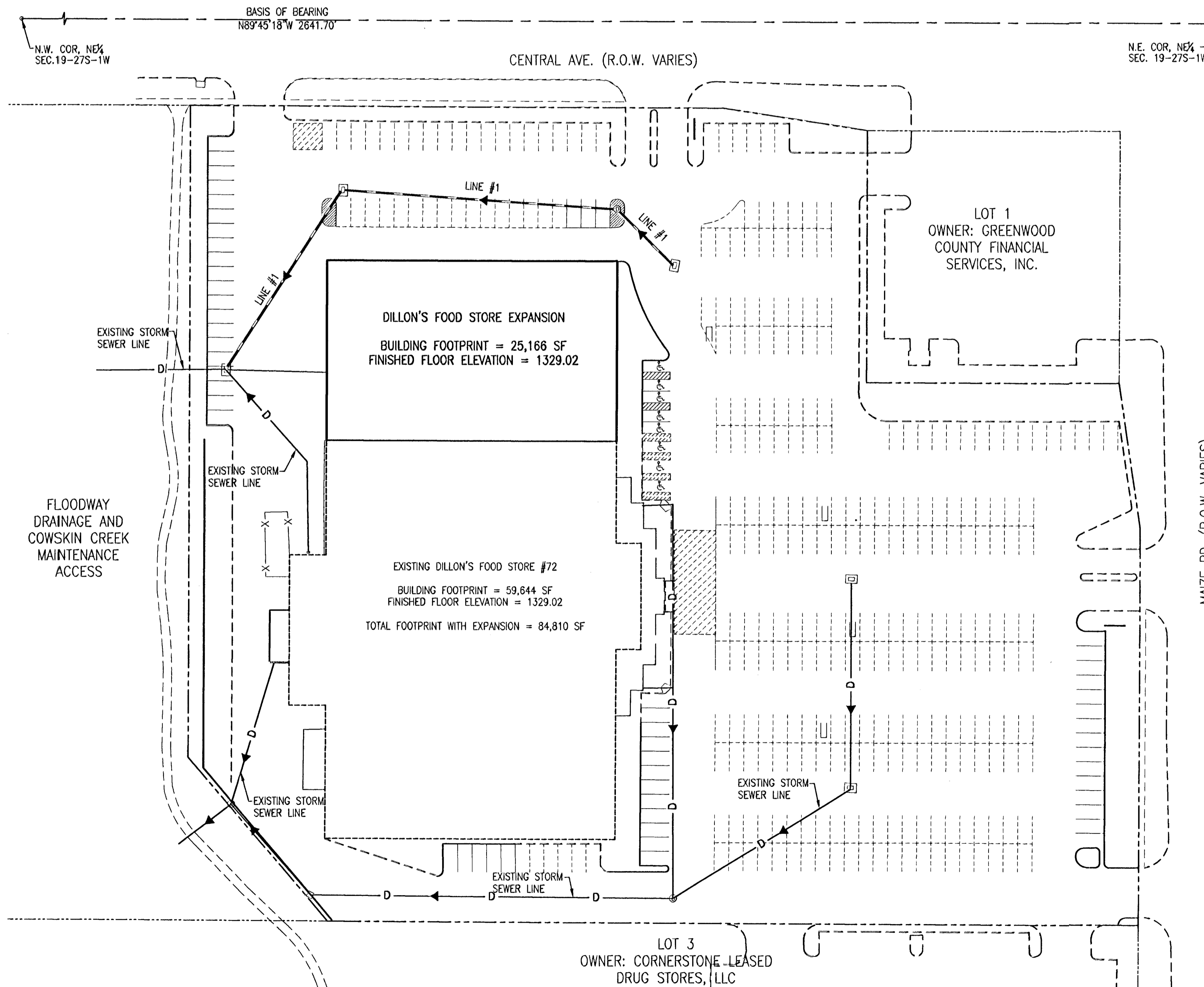
**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OF SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

**LEGAL DESCRIPTION:**  
LOT 2, BLOCK 1, CENTRAL-MAIZE SECOND ADDITION, SEDGWICK COUNTY, KANSAS

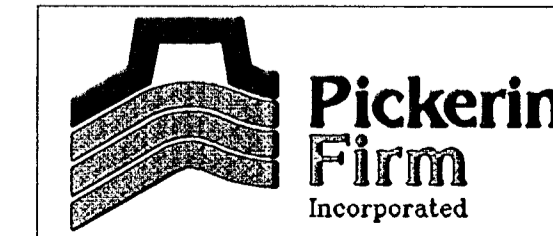
**NOTE TO CONTRACTOR:**  
INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

### GENERAL NOTES

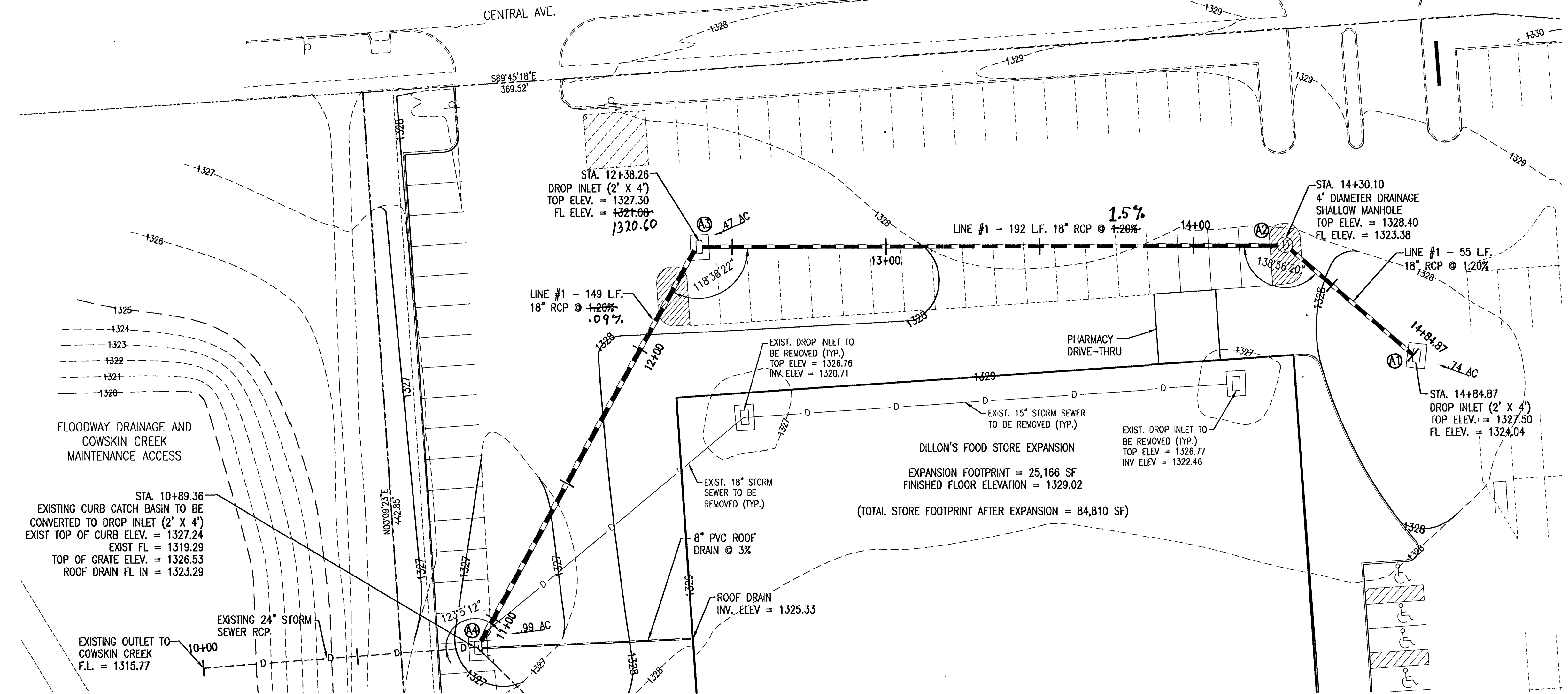
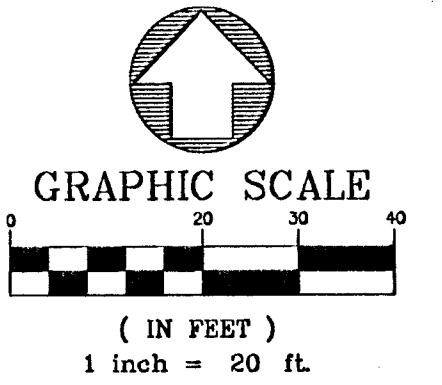
1. UNLESS SHOWN OR OTHERWISE STATED ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD SPECIFICATIONS.
2. CONNECTING TO EXISTING STRUCTURES:  
PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING STRUCTURES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF THE EXISTING STUB AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE CONNECTION TO AN EXISTING STRUCTURE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION, GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE OUT INTO EXISTING STRUCTURE WALL TO MAKE CONNECTION USING APPROVED WATER STOP CASKET AND RESHAPE THE EXISTING INVERT TO PROVIDE SMOOTH FLOW. THE COST OF CONNECTING TO EXISTING STRUCTURES IS INCIDENTAL TO THE PROJECT.
3. ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
4. COST OF EXCAVATION, HAULING AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.
5. ALL CONCRETE SHALL BE STANDARD PAVING MIX UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAW.
7. TREES TO BE REMOVED ARE MARKED ○. ALL TREES WHICH IN THE OPINION OF THE FIELD ENGINEER CAN BE SAVED, SHALL BE SAVED.
8. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OF CONSTRUCTION SCHEDULING.
9. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS, OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
10. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
11. TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
12. ALL DISTURBED AREAS TO BE SEEDDED WITH RYE GRASS AT A RATE OF 200 LBS. PER ACRE WITHIN 10 DAYS OF CONSTRUCTION. CONTRACTOR TO PREPARE GROUND PER CITY SPECIFICATIONS. COST IS SUBSIDIARY TO SITE PREPARATION AND RESTORATION.



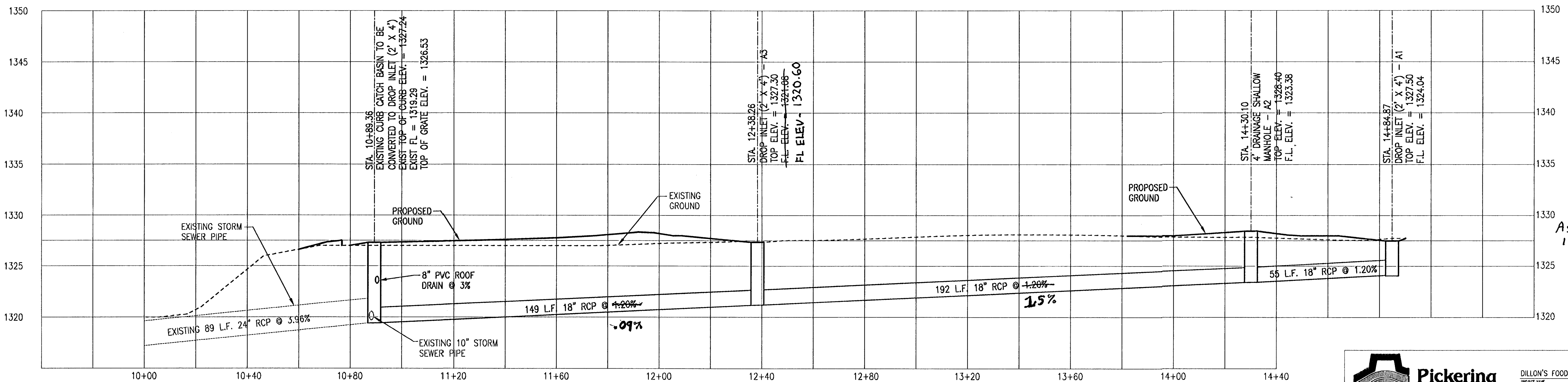
**GENERAL LAYOUT**  
SCALE: 1" = 50'



DILLON'S FOOD STORE #72 BUILDING EXPANSION		
PROJECT TITLE		
COVER SHEET		
SHEET TITLE		
ATP	ATP	CLM
DESIGN BY	DRAWN BY	CHECKED BY
11-08-05	21047-00	1/10
DATE	JOB NUMBER	SHEET

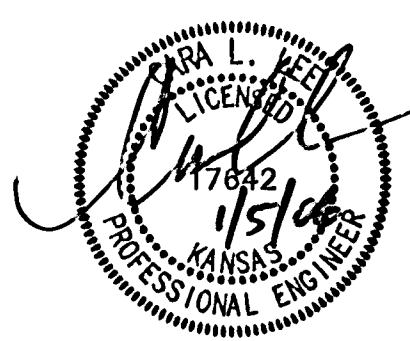


**1 LINE 1 - STORM SEWER PLAN**  
SCALE: 1" = 20' HORIZONTAL



**2 LINE 1 - STORM SEWER PROFILE**  
SCALE: 1" = 20' HORIZONTAL, 5' VERTICAL

As Built PJS  
1/12/2007



**Pickering Firm**  
Incorporated  
Planning - Architecture - Engineering - Management  
6719 Lopez Center Court  
Suite 300  
Meriden, TN 37654  
931.278.8810  
931.278.8911 FAX

DILLON'S FOOD STORE #72 BUILDING EXPANSION  
PROJECT NAME  
PLAN & PROFILE OF PROPOSED LINE  
SHEET TITLE

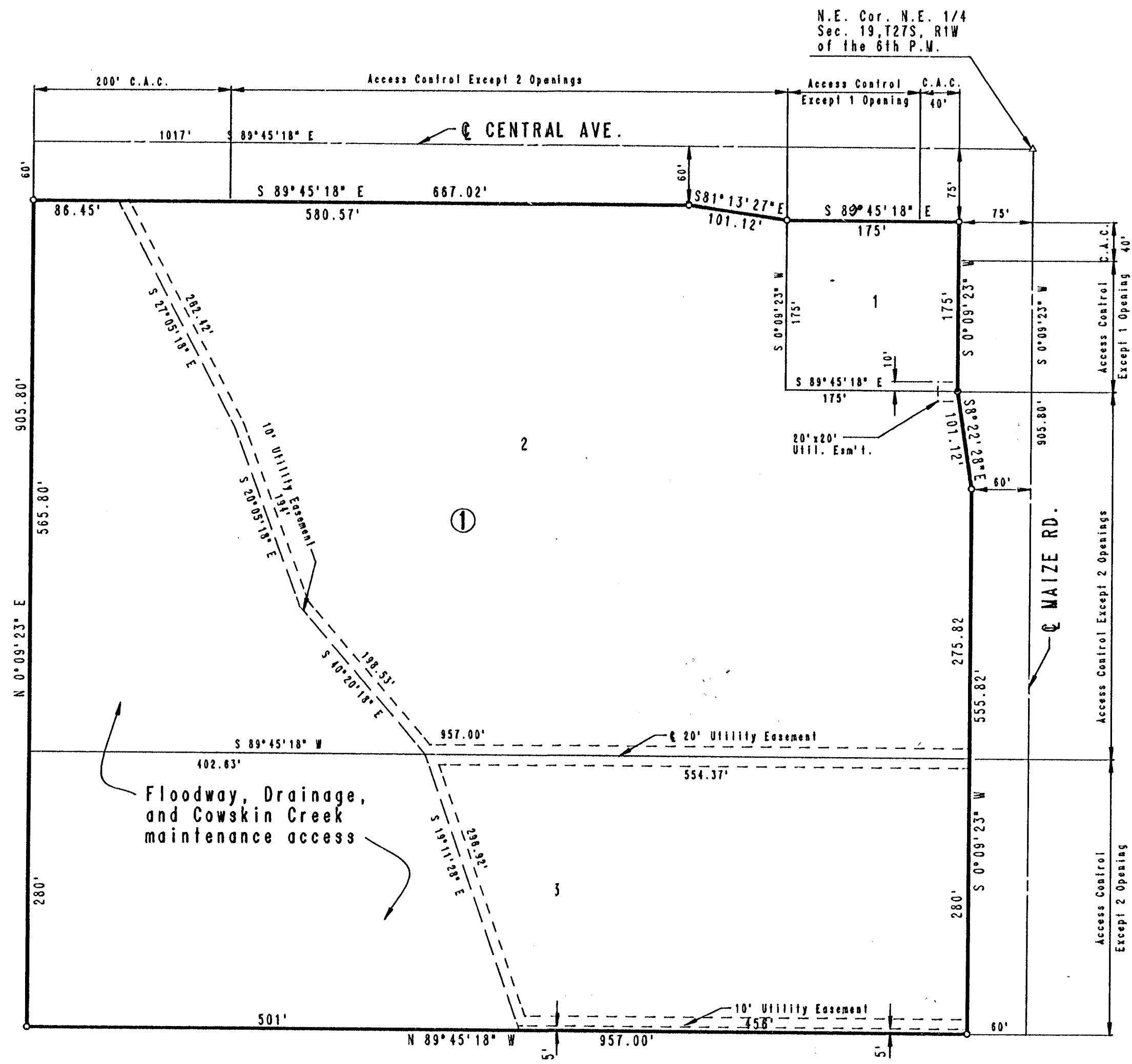
ATP DRAWN BY 11-08-05	ATP CHECKED BY 21047-00	CLM CHECKED BY 2/10
DATE	JOB NUMBER	SHEET

11/20/07/Plan/Drainage Plans/08-PROFILE-DWG.dwg  
PJK Scale: 1"=5'  
update/ December 23, 2008-11:28 AM



# Central-Maize 2nd Addition

WICHITA, SEDGWICK COUNTY, KANSAS.

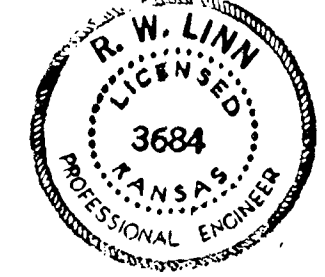


N.E. Cor. N.E. 1/4  
Sec. 19, T27S, R1W  
of the 8th P.M.

STATE OF KANSAS SS  
COUNTY OF SEDGWICK

I, R. W. LINN, A PROFESSIONAL ENGINEER IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT ON THIS 27th DAY OF September, 1985, I HAVE CAUSED TO BE SURVEYED AND PLATTED CENTRAL-MAIZE 2ND ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS AND A BLOCK, DESCRIBED AS AND BEING A REPLAT OF BLOCK 1, CENTRAL-MAIZE ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS.

*R. W. Linn*  
R. W. LINN, P.E. P.E. No. 3888



KNOW ALL MEN BY THESE PRESENTS THAT WE, OWNERS OF THE LAND AS ABOVE SET FORTH IN THE ENGINEER'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS AND A BLOCK KNOWN AS "CENTRAL-MAIZE 2ND ADDITION", WICHITA, SEDGWICK COUNTY, KANSAS. EASEMENTS AS INDICATED FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES ARE HEREBY GRANTED. BUILDING SETBACKS REQUIRED AS NOTED IN DP-129, MAIZE ROAD DEVELOPMENT COMMUNITY UNIT PLAN ON FILE AT THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING DEPARTMENT, THAT PART OF LOTS 2 AND 3 MARKED AS FLOODWAY SHALL ALSO BE USED FOR DRAINAGE AND CONFINEMENT MAINTENANCE ACCESS. THE FLOODWAY SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF LOTS 2 AND 3 UNTIL SUCH TIME AS THE GOVERNING BODY EXERCISING JURISDICTION ELECTS TO ASSUME RESPONSIBILITY FOR MAINTENANCE AND IMPROVEMENT OF THE FLOODWAY, PROVIDED FURTHER THAT NO BUILDINGS SHALL BE CONSTRUCTED ON OR WITHIN SAID FLOODWAY, NOR SHALL ANY FILL, CHANGE OF GRADE, CREATION OF CHANNEL, OR OTHER WORK BE CARRIED ON WITHOUT THE PERMISSION OF THE APPROPRIATE GOVERNING BODY. MINIMUM PAD ELEVATION FOR LOTS 1 AND 2 SHALL BE 1325 MSL AND FOR LOT 3 SHALL BE 1327 MSL. ALL ADJUTERS' RIGHTS OF ACCESS TO AND FROM CENTRAL AVENUE AND MAIZE ROAD ARE HEREBY GRANTED TO THE CITY OF WICHITA, PROVIDED HOWEVER THAT LOT 1 SHALL HAVE ACCESS TO CENTRAL AVENUE AT ONE (1) LOCATION AND TO MAIZE ROAD AT ONE (1) LOCATION; THAT LOT 2 SHALL HAVE ACCESS TO CENTRAL AVENUE AT TWO (2) LOCATIONS AND ACCESS TO MAIZE ROAD AT TWO (2) LOCATIONS; THAT LOT 3 SHALL HAVE ACCESS TO MAIZE ROAD AT TWO (2) LOCATIONS. ALL OF THE ABOVE LOCATIONS TO BE DETERMINED BY THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. FOR CROSS-LOT OF DRAINAGE AGREEMENT OF SURFACE WATER, SEE FILM 724 PAGES 24-26. ALL PORTIONS OF BLOCK 1, CENTRAL-MAIZE ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS ARE HEREBY VACATED AND REPLATTED BY VIRTUE OF KSA 12-512(b) AMENDED.

OWNERS:  
*Sam E. Rudd* SAM E. RUDD  
*Elenore Rudd* ELENORE RUDD  
HIGHLAND HOUSE, A PARTNERSHIP BY ALL PARTNERS  
*Leslie J. Rudd* LESLIE J. RUDD  
*Wesley R. Weigand, Jr.* WESLEY R. WEIGAND, JR.  
THE CELIA LEVAND TRUST:  
*Celia Levand* CELIA LEVAND, TRUSTEE  
*Doris E. Sted* DORIS E. STED, TRUSTEE

STATE OF KANSAS SS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS 4th DAY OF September, 1985, BEFORE ME, A NOTARY PUBLIC IN AFORESAID STATE AND COUNTY, CAME SAM E. RUDD AND ELENORE RUDD, HUSBAND AND WIFE, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME, IN TESTIMONY WHEREOF I HAVE HEREBY SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES: March 10, 1987 *Patricia J. Dale* NOTARY PUBLIC  
*Patricia J. Dale* Patricia J. Dale

STATE OF KANSAS SS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS 4th DAY OF September, 1985, BEFORE ME, A NOTARY PUBLIC IN AFORESAID STATE AND COUNTY, CAME WESLEY R. WEIGAND, JR., PARTNER AND LESLIE J. RUDD, PARTNER, ALL OF THE PARTNERS OF HIGHLAND HOUSE, A PARTNERSHIP, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME FOR AND ON BEHALF AND AS THE VOLUNTARY ACT AND DEED OF SAID PARTNERSHIP, IN TESTIMONY WHEREOF I HAVE HEREBY SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES: March 10, 1987 *Patricia J. Dale* NOTARY PUBLIC  
*Patricia J. Dale* Patricia J. Dale

STATE OF KANSAS SS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS 4th DAY OF September, 1985, BEFORE ME, A NOTARY PUBLIC IN AFORESAID STATE AND COUNTY, CAME CELIA LEVAND, TRUSTEE, AND DORIS E. STED, TRUSTEE OF THE CELIA LEVAND TRUST, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME FOR AND ON BEHALF AND AS THE VOLUNTARY ACT AND DEED OF SAID TRUST, IN TESTIMONY WHEREOF I HAVE HEREBY SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES: March 10, 1987 *Patricia J. Dale* NOTARY PUBLIC  
*Patricia J. Dale* Patricia J. Dale

WE, RETA C. KAMEN, IVONNE KAMEN GOLDSTEIN, AND DON L. MCCAFFREE AND BETTY MCCAFFREE HUSBAND AND WIFE, HOLDERS OF A MORTGAGE ON PART OF THE ABOVE DESCRIBED PROPERTY, DO HEREBY CONSENT TO THE PLATTING OF CENTRAL-MAIZE 2ND ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS.

*Reta C. Kamen* RETA C. KAMEN  
*Don L. McCaffree* DON L. MCCAFFREE  
*Ivonne Kamen Goldstein* IVONNE KAMEN GOLDSTEIN  
*Betty McCaffree* BETTY MCCAFFREE

STATE OF KANSAS SS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS 4th DAY OF September, 1985, BEFORE ME, A NOTARY PUBLIC IN AFORESAID STATE AND COUNTY, CAME RETA C. KAMEN, IVONNE KAMEN GOLDSTEIN AND DON L. MCCAFFREE AND BETTY MCCAFFREE HUSBAND AND WIFE, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGED THE EXECUTION OF SAME, IN TESTIMONY WHEREOF I HAVE HEREBY SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

MY COMMISSION EXPIRES: March 10, 1987 *Patricia J. Dale* NOTARY PUBLIC  
*Patricia J. Dale* Patricia J. Dale

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS, DATED THIS 8th DAY OF August, 1985.

*James C. Wilson* JAMES C. WILSON, CHAIRMAN  
*Michael E. Lindebar* MICHAEL E. LINDEBAR, SECRETARY

THIS PLAT APPROVED AND ALL PEDICTIONS SHOWN HEREON ARE ACCEPTED BY THE CITY COMMISSION OF THE CITY OF WICHITA, KANSAS, DATED THIS 11th DAY OF August, 1985.

*Robert C. Brown* ROBERT C. BROWN  
*Donald C. Fister* DONALD C. FISTER, CITY CLERK

ENTERED ON TRANSFER RECORD THIS 27th DAY OF September, 1985.

*Don Wright* DON WRIGHT, COUNTY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT 2:00 P.M. ON THIS 27th DAY OF Sept. 1985.

*Pat Kertler* PAT KERTLER, REGISTER OF DEEDS

*Ed Resa* ED RESA, DEPUTY

Scale: 1" = 100'  
C.A.C. = Complete Access Control  
o = Iron Set  
• = Iron Fd.

B.M. City of Wichita bench mark disc 41.3 ft. South & 52.5 ft. East of centerlines of Central & Maize.  
E.I. = 142.257 City Data  
G.I. = 1329.657 M.S.L.  
A.C. = Access Control  
Note: For Building Setback Lines See DP-129  
Minimum Pad Elev. =  
Lots 1 and 2, 1329 m.s.l.  
Lot 3, 1327 m.s.l.

20.00

M-1 P-26

M-7 R-76  
17 05 19 13