

STORM SEWER PLANS TO SERVE LOT 5, BLOCK 1 CROSS POINTE ADDITION

PRIVATE PROJECT NO. 1617PPS (607861)
CITY OF WICHITA
SEDGWICK COUNTY, KANSAS

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

STORM SEWERS *ICV 11/10/05*

GENERAL NOTES:

- THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FOURTY-EIGHT (48) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

KANSAS ONE-CALL 1-800-344-7233

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF EMERGENCY:

KANSAS GAS & ELECTRIC	1-316-261-6734
SOUTHWESTERN BELL TELEPHONE COMPANY	1-316-268-2222
CITY OF WICHITA WATER DEPARTMENT	1-316-268-4555
CITY OF WICHITA SEWER MAINTENANCE	1-316-268-4501

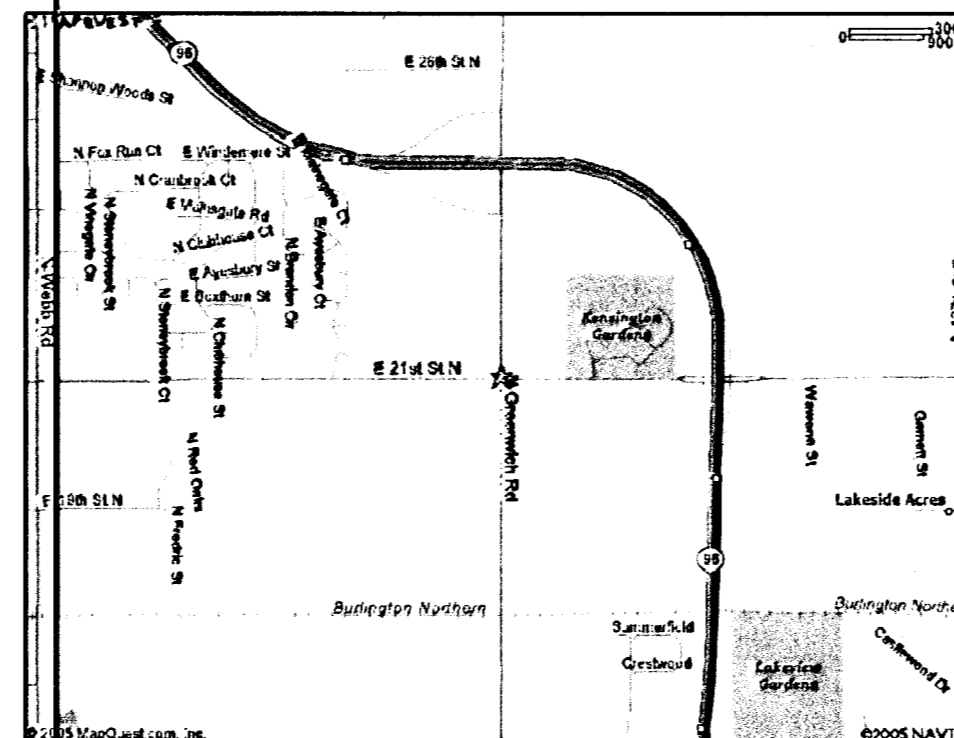
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA SPECIFICATIONS.
- SITE RESTORATION AND PREPARATION SHALL BE SUBSIDIARY TO THE PROJECT.

CONTACT PERSONS:

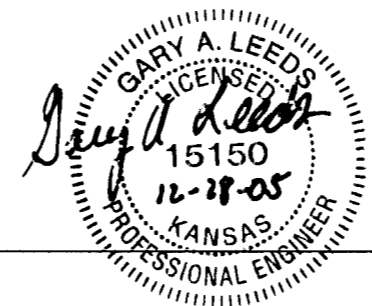
SAMUEL D. MALINOWSKY, P.E., KAW VALLEY ENGINEERING, INC. 785-762-5040
GARY A. LEEDS, P.E., KAW VALLEY ENGINEERING, INC. 913-894-5150

BENCHMARK:

BM #4: CROSS POINTE PLAT BM: CHISELED SQUARE ON CONC. BASE TRAFFIC SIGNAL POLE AT SOUTHWEST CORNER OF 21ST STREET AND GREENWICH ROAD-CITY OF WICHITA DATUM. ELEV.=176.16
TBM-40: RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE, NORTH SIDE OF LOT 5 CROSS POINTE. ELEV.=179.73



VICINITY MAP:
NOT TO SCALE



GARY A. LEEDS
PROFESSIONAL ENGINEER

NOTE TO CONTRACTOR

INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER / DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

INDEX TO SHEETS:

- TITLE SHEET
- STORM SEWER PLAN AND PROFILE
- C.O.W. TYPE 1 INLET DETAIL
- C.O.W. CURB INLET PROTECTION
- SITE GRADING PLAN
- PLAT

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTION - NOTICE TO CONTRACTOR:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

AS-BUILT 6-13-06 HOFM/CED

REV	DATE	DESCRIPTION
1	12/18/05	REVISED PER CITY COMMENTS
0	11/20/05	INITIAL ISSUE

2318 NORTH JACKSON
AVENUE
SUITE 100
JUNCTION CITY, KANSAS 66441
785-762-5040 FAX 785-762-7744
E-MAIL icv@kvweng.com
WEB SITE www.kvweng.com

KAW VALLEY ENGINEERING, INC. - CONSULTING ENGINEERS
Office: Junction City, Mo., Kansas City, Mo., Lawrence, Kan.

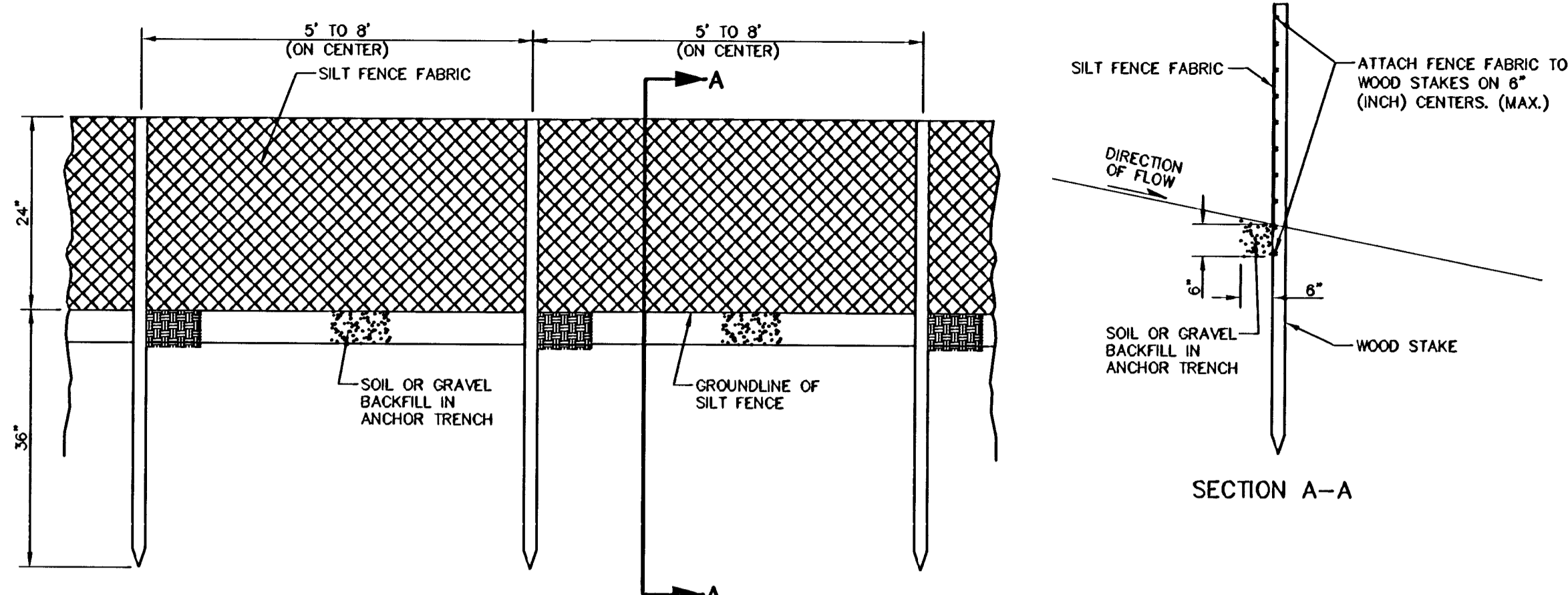
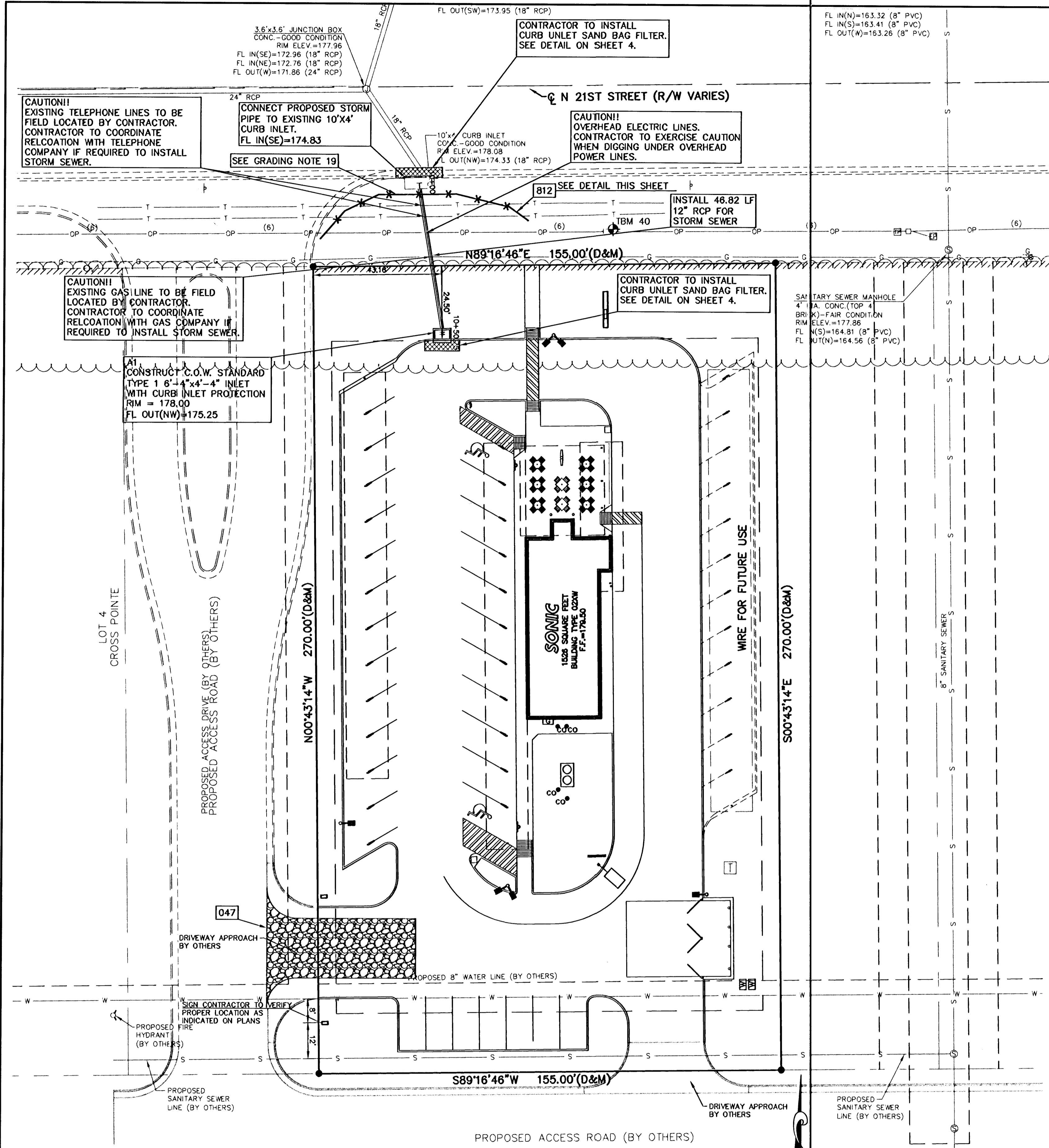
SONIC DRIVE-IN
NORTH 21ST ST & NORTH GREENWICH
WICHITA, KANSAS

PROJ. NO.	A05-2220
DATE	OCTOBER 25, 2005
DESIGNER	GAL
DRAWN BY	DDW
CFN	22200TS
SHEET	1
1 OF 6	

TITLE SHEET

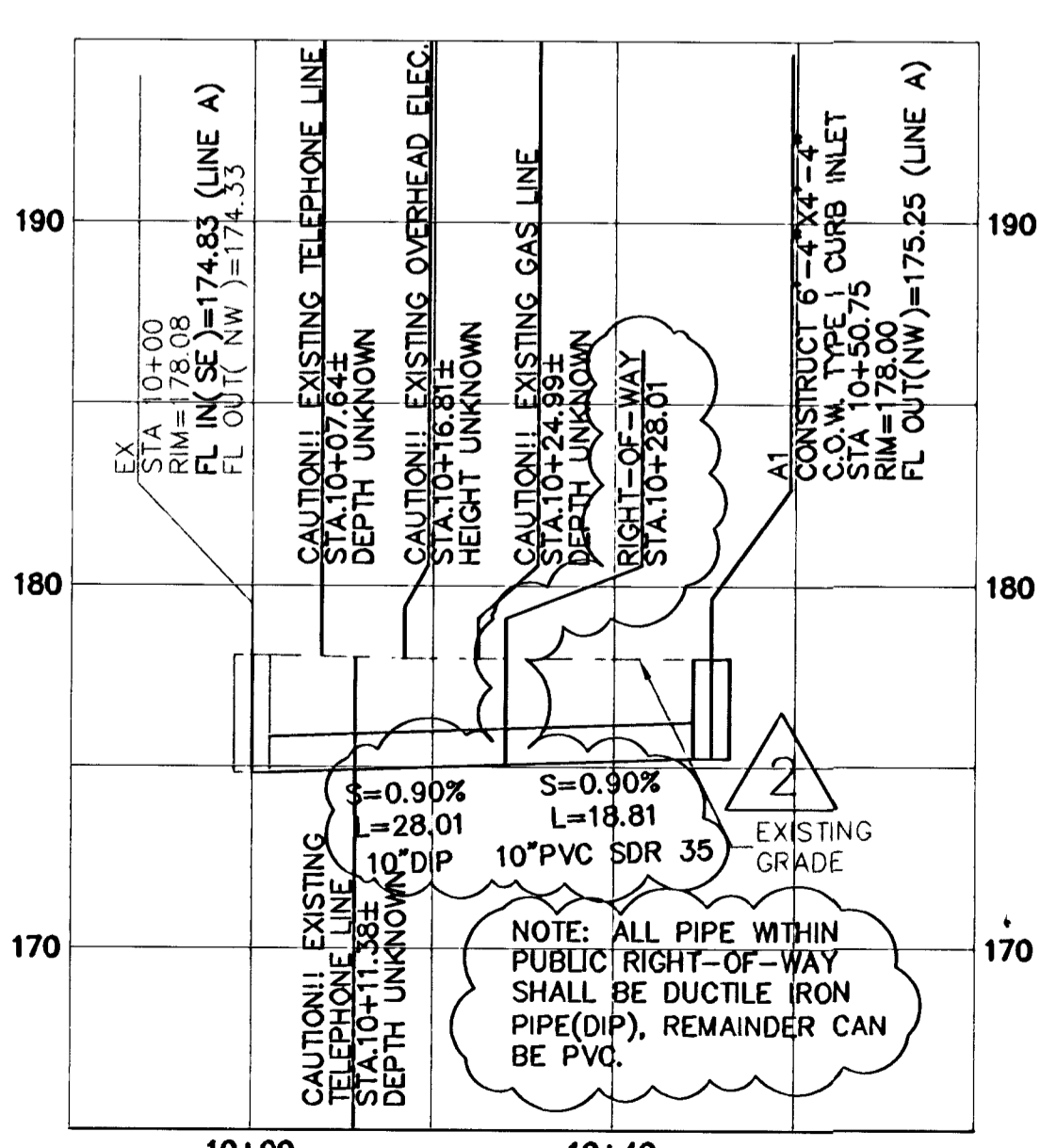
CHK
DWN
DOW
DOL
GAL
GAL

14 22 11 10



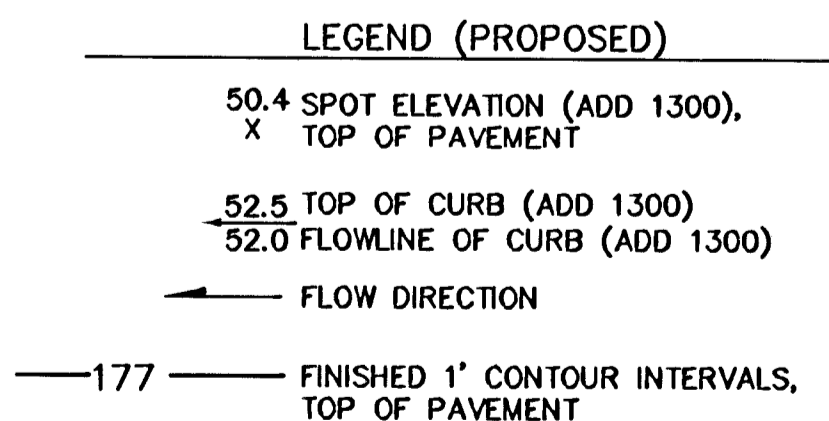
SEDIMENTATION FENCE [812]

- GRADING NOTES:**
1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
 2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
 4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
 5. ALL AREAS OF THE SUBGRADE THAT ARE TO BE STABILIZED SHALL BE DONE IN ACCORDANCE WITH THE SITEMARK SPECIFICATIONS.
 6. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
 7. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 9. ALL SLOPES ARE TO BE 4:1 OR FLATTER UNLESS OTHERWISE INDICATED.
 10. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
 11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
 12. CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
 13. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
 14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 15. THE DUTY OF THE ENGINEER, ARCHITECT, AND OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
 16. THE SITEMARK FOR THIS PROJECT SHALL MEET OR EXCEED THE STANDARD SITEMARK SPECIFICATIONS.
 17. PIPE LENGTHS ARE FROM INSIDE FACE OF BOX TO INSIDE FACE OF BOX.
 18. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE OR THE CITY OF WICHITA DEEMS NECESSARY.
 19. CONTRACTOR TO RESTORE RIGHT OF WAY TO PRE CONSTRUCTION CONDITION AND INSTALL PERMANENT SOD PER GRADING NOTE 11 ON THIS SHEET.



NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACT DOCUMENTS.



SAFETY NOTICE TO CONTRACTOR
 IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER
 THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES BELOW AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

SCALE:
 PLAN: 1"=20'
 PROFILE: 1"=20' HORIZ.
 1"=5' VERT.

PROJ. NO.	A05-2220	DATE	OCTOBER 25, 2005
DESIGNER	GAL	DRAWN BY	DDW
CEN	22200PP	SHEET	1
2 OF 6		REV	0
REV	DATE	DESCRIPTION	CHK
1	11/25/05	INITIAL ISSUE	DDW
2	12/18/05	REVISED PER CITY COMMENTS	GAL
3	1/29/06	REVISED PER FIELD INTERFERENCES	ELM

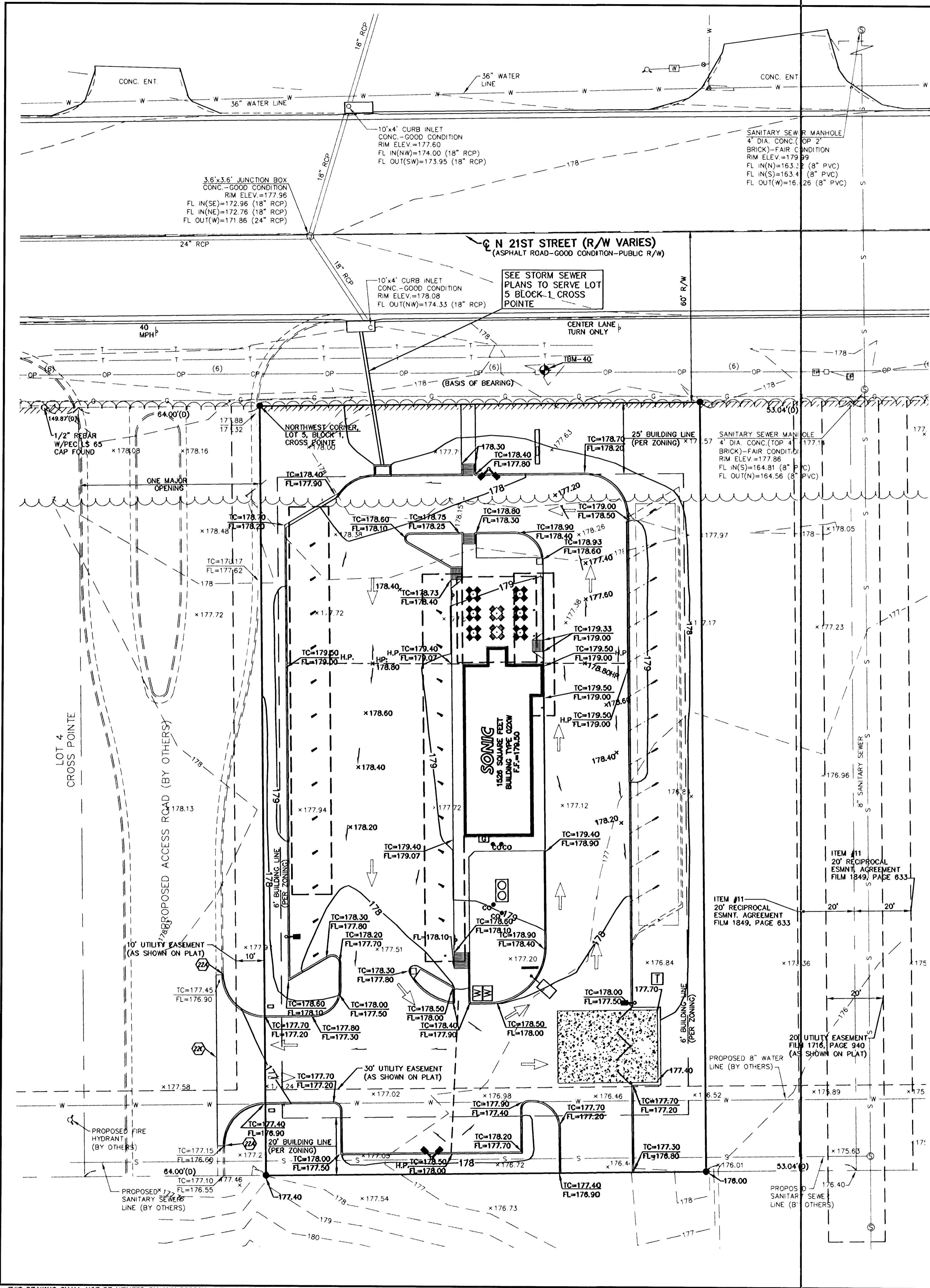
KAW VALLEY ENGINEERING, INC. - CONSULTING ENGINEERS
 Office: Junction City, Mo. Kansas City, Mo. Lawrence, Mo.

SONIC DRIVE-IN
 NORTH 21ST ST & NORTH GREENWICH
 WICHITA, KANSAS

STORM DRAINAGE PLAN AND PROFILE

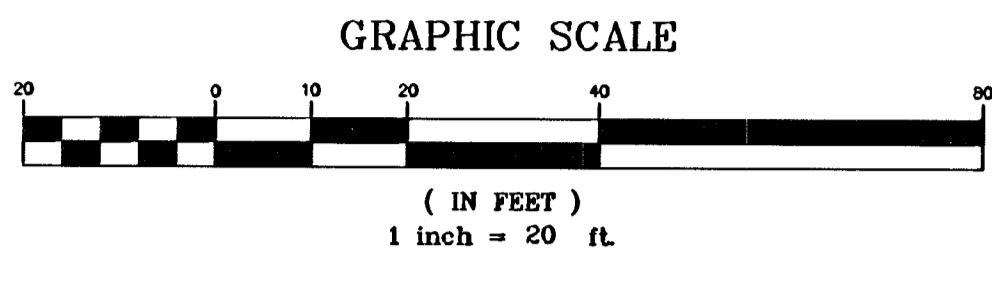
2319 NORTH JACKSON
 P.O. BOX 1304
 JUNCTION CITY, KANSAS 66441
 785-762-5040 FAX 785-762-7744
 E-MAIL jk@kveeng.com
 WEB SITE www.kveeng.com

AS-BUILT 6-13-06 HOF/WCED



IMPERVIOUS AREA = 41850 SQ. FT.
 PERVIOUS AREA = 14945 SQ. FT.

- LEGEND (PROPOSED)**
- x 43.0 SPOT ELEVATION, TOP OF PAVEMENT (ADD 1300 TO ELEVATION)
 - H.P. HIGH POINT
 - 44.50 TOP OF CURB (ADD 1300 TO ELEVATION)
 - 44.00 FLOW LINE OF CURB (ADD 1300 TO ELEVATION)
 - FLOW DIRECTION
 - ← DRIVE LANE DIRECTION ARROWS
 - 44 FINISHED 1' CONTOUR INTERVALS, TOP OF PAVEMENT (ADD 1300 TO ELEVATION)
 - BREAKLINE



THE COORDINATES PROVIDED IN THESE PLANS ARE FOR INFORMATION AND CHECKING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE CONSTRUCTION STAKING COORDINATES ACCORDING TO THE DIMENSIONS SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE COORDINATES SHOWN IN THE TABLE HEREON BEFORE CONSTRUCTION.

IF DISCREPANCIES EXIST BETWEEN THE GRADING NOTES BELOW AND THE RECOMMENDATIONS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT SHALL GOVERN.

- NOTES:**
- 22A MATCH EXISTING TOP OF CURB ELEVATION
 - 22C MATCH EXISTING PAVEMENT ELEVATION

GRADING NOTES:

1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 8 INCHES.
2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
5. ALL AREAS OF THE SUB GRADE THAT ARE TO BE STABILIZED SHALL BE DONE IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS.
6. AREAS THAT ARE TO BE CUT TO SURGED LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
7. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
9. ALL SLOPES ARE TO BE 4:1 OR FLATTER UNLESS OTHERWISE INDICATED.
10. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
12. CONTRACTOR SHALL USE SILT FENCE, BALES OF HAY OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
13. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
15. THE DUTY OF THE ENGINEER, ARCHITECT, AND OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
16. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE STANDARD SITE WORK SPECIFICATIONS.

BENCHMARK:

- BM #4: CROSS POINT PLAT BM: CHISELED SQUARE ON CONC. BASE TRAFFIC SIGNAL POLE AT SOUTHWEST CORNER OF 21ST STREET AND GREENWICH ROAD-CITY OF WICHITA DATUM. ELEV.=178.16
- TBM-40: RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE, NORTH SIDE OF LOT 5 CROSS POINT. ELEV.=179.73

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY / DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

NOTE:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
5. ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

REV	DATE	DESCRIPTION	CHK
1	12/18/05	REVISED PER CITY COMMENTS	DDL
0	11/26/05	INITIAL ISSUE	DDL



2319 NORTH JACKSON
 P.O. BOX 1304
 JUNCTION CITY, KANSAS 66441
 785-762-5040 FAX 785-762-7744
 E-MAIL jke@kveeng.com
 WWW.KVEENG.COM

KAW VALLEY ENGINEERING, INC. - CONSULTING ENGINEERS
 Office: Junction City, Ka, Kansas City, Mo., Lansing, Ia.

SONIC DRIVE-IN
 NORTH 21ST ST & NORTH GREENWICH
 WICHITA, KANSAS

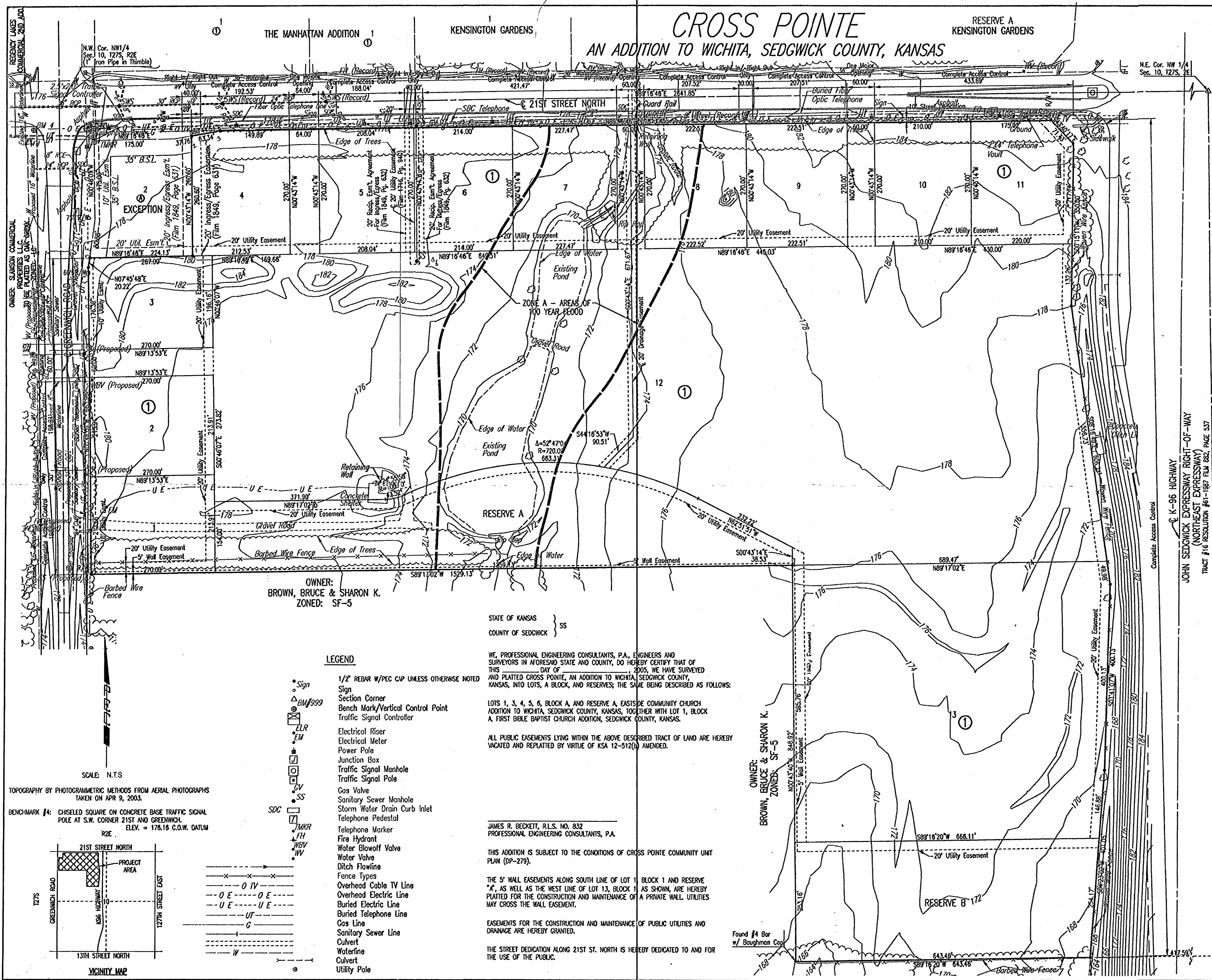
GRADING PLAN

PROJ. NO.	A05-2220
DATE	OCTOBER 25, 2005
DESIGNER	GAL
DRAWN BY	DDL
CFN	2220DGP
SHEET	5 OF 6

AS-BUILT 6-13-06 ADF/DCD

I:\proj\05\2220\DESIGN\SONIC\PLAN\2220DGP.dwg, 1/5/2006 9:25:19 AM, ATB/BL
 HP:0002.cpl, 1:1

CROSS POINTE AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



RESERVE "A" IS HEREBY PLATED FOR DRAINAGE, LAKES, LANDSCAPING, RECREATIONAL USES, SIDEWALKS, AND UTILITIES CONFINED TO EASEMENTS. RESERVE "B" IS HEREBY PLATED FOR DRAINAGE, LAKES, LANDSCAPING, RECREATIONAL USES, SIDEWALKS, SIGNAGE, AND UTILITIES CONFINED TO EASEMENTS. RESERVES "A" AND "B" SHALL BE OWNED AND MAINTAINED BY AN OWNER'S ASSOCIATION TO BE FORMED WITHIN CROSS POINTE.

ALL ADJUTERS RIGHT OF ACCESS TO AND FROM 21ST ST. NORTH OVER AND ACROSS THE WEST PROPERTY LINE AND TO AND FROM GREENWICH ROAD OVER AND ACROSS THE WEST PROPERTY LINE IS HEREBY GRANTED TO THE CITY OF WICHITA. PROVIDED HOWEVER THAT THERE SHALL BE ACCESS TO 21ST STREET NORTH AT SIX LOCATIONS AS SHOWN, AND ACCESS TO GREENWICH ROAD AT TWO LOCATIONS AS SHOWN.

MINIMUM PAD ELEVATIONS (LOWEST OPENING) SHALL BE AS FOLLOWS:

BLOCK	ELEVATION (N.G.V.D.)	City Datum
LOTS 4-9	1368.00	178.60
LOT 12	1361.20	173.80
LOT 13	1358.00	170.60

A DRAINAGE PLAN HAS BEEN APPROVED FOR THIS PLAT. ALL DRAINAGE EASEMENTS AND RIGHTS-OF-WAY SHALL REMAIN AT ESTABLISHED GRADES AND UNOBSTRUCTED TO ALLOW FOR THE CONVEYANCE OF STORM WATER, UNLESS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER.

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE SURVEYOR'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO LOTS, A BLOCK, AND RESERVES; THE SAME TO BE KNOWN AS CROSS POINTE, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

OWNER:
SLAWSON EAST INC., A KANSAS CORPORATION

STATE OF KANSAS }
COUNTY OF SEDGWICK } SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2005, BY _____ OF SLAWSON EAST INC., A KANSAS CORPORATION.
_____, NOTARY PUBLIC

MY APPOINTMENT EXPIRES: _____
WE, HILLCREST BANK, HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY, DO HEREBY CONSENT TO THE PLATTING OF CROSS POINTE, AN ADDITION TO SEDGWICK COUNTY, KANSAS.

STATE OF KANSAS }
COUNTY OF SEDGWICK } SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2005, BY _____ OF HILLCREST BANK.
_____, NOTARY PUBLIC

MY APPOINTMENT EXPIRES: _____
THIS PLAT OF CROSS POINTE HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS _____ DAY OF _____, 2005.
WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

RONALD L. MARNELL, CHAIR
JOHN L. SCHLEGEL, SECRETARY

REVIEWED IN ACCORDANCE WITH K.S.A. 58-2005 ON THIS _____ DAY OF _____, 2005.

TRICIA L. ROBELLO, LS #1248
DEPUTY COUNTY SURVEYOR
SEDGWICK COUNTY KANSAS

THIS PLAT IS APPROVED AND ALL DEDICATIONS SHOWN HEREON, IF ANY ARE ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS _____ DAY OF _____, 2005.

CARLOS MAYANS, MAYOR
KAREN SUBLETT, CITY CLERK
ENTERED ON TRANSFER RECORD THIS _____ DAY OF _____, 2005.

DON BRACE, COUNTY CLERK
THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT _____ M., ON THE _____ DAY OF _____, 2005.

BILL MEEK, REGISTER OF DEEDS
LINDA KIZZIRE, DEPUTY

OWNER:
BROWN, BRUCE & SHARON K.
ZONED: SF-5

STATE OF KANSAS }
COUNTY OF SEDGWICK } SS

WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., ENGINEERS AND SURVEYORS IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT OF THIS _____ DAY OF _____, 2005, WE HAVE SURVEYED AND PLATTED CROSS POINTE, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, A BLOCK, AND RESERVES; THE SAME BEING DESCRIBED AS FOLLOWS:

LOTS 1, 3, 4, 5, 6, BLOCK A, AND RESERVE A, EASTSIDE COMMUNITY CHURCH ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, TOGETHER WITH LOT 1, BLOCK A, FIRST BIBLE BAPTIST CHURCH ADDITION, SEDGWICK COUNTY, KANSAS.

ALL PUBLIC EASEMENTS LYING WITHIN THE ABOVE DESCRIBED TRACT OF LAND ARE HEREBY VACATED AND REPLATED BY VIRTUE OF KSA 12-512(a) AMENDED.

JAMES R. BECKETT, R.L.S. NO. 832
PROFESSIONAL ENGINEERING CONSULTANTS, P.A.

THIS ADDITION IS SUBJECT TO THE CONDITIONS OF CROSS POINTE COMMUNITY UNIT PLAN (DP-279).

THE 5' WALL EASEMENTS ALONG SOUTH LINE OF LOT 1, BLOCK 1 AND RESERVE "A", AS WELL AS THE WEST LINE OF LOT 13, BLOCK 1, AS SHOWN, ARE HEREBY PLATTED FOR THE CONSTRUCTION AND MAINTENANCE OF A PRIVATE WALL. UTILITIES MAY CROSS THE WALL EASEMENT.

EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE ARE HEREBY GRANTED.

THE STREET DEDICATION ALONG 21ST ST. NORTH IS HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC.

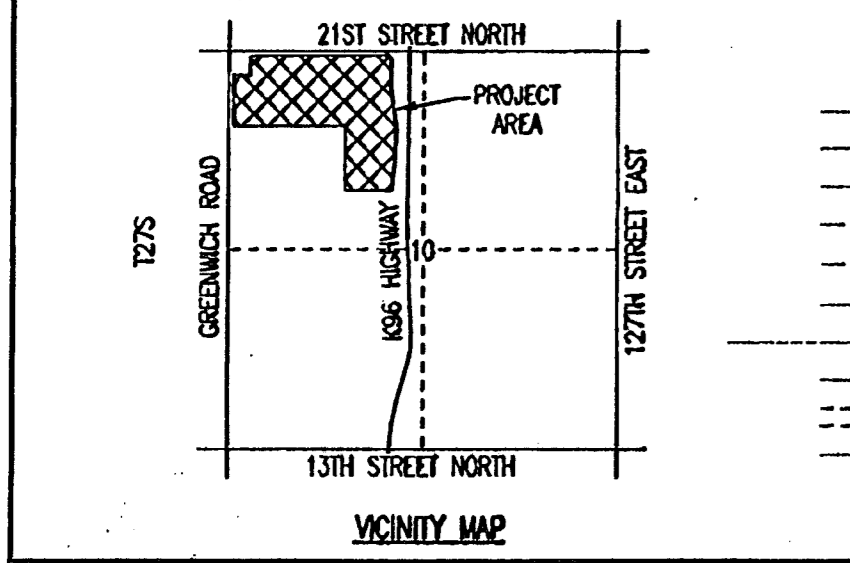
LEGEND

- Sign
 - △ BM#999
 - ⊠ ELR
 - EM
 - JCB
 - TR
 - SS
 - SOC
 - TMRK
 - FH
 - WBY
 - WY
- 1/2" REBAR W/PEC CAP UNLESS OTHERWISE NOTED
 - Sign
 - Section Corner
 - Bench Mark/Vertical Control Point
 - Traffic Signal Controller
 - Electrical Riser
 - Electrical Meter
 - Power Pole
 - Junction Box
 - Traffic Signal Manhole
 - Traffic Signal Pole
 - Gas Valve
 - Sanitary Sewer Manhole
 - Storm Water Drain Curb Inlet
 - Telephone Pedestal
 - Telephone Marker
 - Fire Hydrant
 - Water Blowoff Valve
 - Water Valve
 - Ditch Flowline
 - Fence Types
 - Overhead Cable TV Line
 - Overhead Electric Line
 - Buried Electric Line
 - Buried Telephone Line
 - Gas Line
 - Sanitary Sewer Line
 - Culvert
 - Waterline
 - Culvert
 - Utility Pole

SCALE: N.T.S.

TOPOGRAPHY BY PHOTOGAMMETRIC METHODS FROM AERIAL PHOTOGRAPHS TAKEN ON APR 9, 2003.

BENCHMARK #4: CHISELED SQUARE ON CONCRETE BASE TRAFFIC SIGNAL POLE AT S.W. CORNER 21ST AND GREENWICH. ELEV. = 178.18 C.O.M. DATUM



PLAT NOT PREPARED BY KAW VALLEY ENGINEERING, INC. OR FOR SONIC RESTAURANTS. PLAT PROVIDED FOR REFERENCE ONLY.

AB-BUILT 6-13-06 HOF WICED

REV	DATE	DESCRIPTION
1	12/18/05	REVISED PER CITY COMMENTS
0	11/25/05	INITIAL ISSUE

PROJ. NO.	A05-2220
DATE	OCTOBER 25, 2005
DESIGNER	GAL
DRAWN BY	DDW
CFN	22200PLAT
SHEET	8 OF 8
PLAT	1

2319 NORTH JACKSON P.O. BOX 1304 JUNCTION CITY, KANSAS 66441 785-762-5040 FAX 785-762-7744 E-MAIL jk@kvweng.com WEB SITE www.kvweng.com	KAW VALLEY ENGINEERING, INC. - CONSULTING ENGINEERS Office: Junction City, Mo. Kansas City, Mo. Lenexa, Mo.
--	--