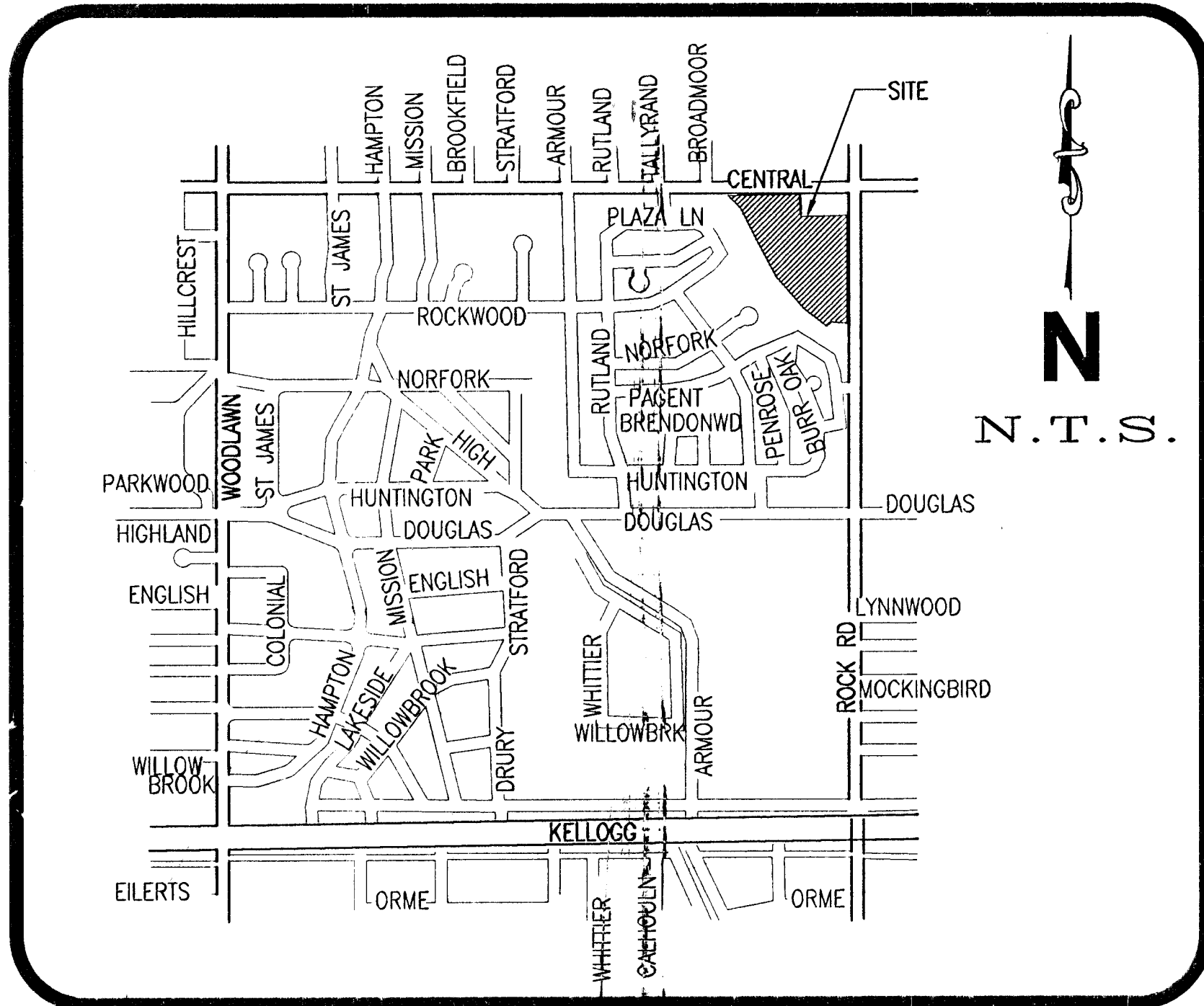


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## VICINITY MAP WICHITA, KS



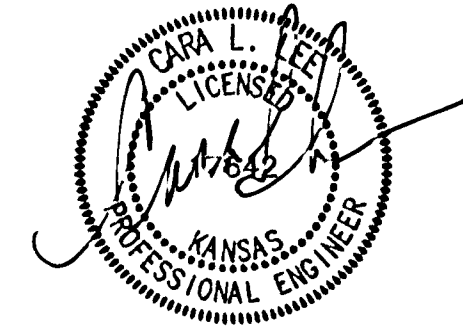
### GENERAL NOTES

1. UNLESS SHOWN OR OTHERWISE STATED ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD SPECIFICATIONS.
2. CONNECTING TO EXISTING STRUCTURES: PRIOR TO LAYING SEWER LINES USING EXISTING STUBS IN EXISTING STRUCTURES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE ELEVATION, GRADE AND ALIGNMENT OF THE EXISTING STUB AND NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLAN. WHERE CONNECTION TO AN EXISTING STRUCTURE THAT DOES NOT HAVE AN EXISTING STUB OR THE STUB IS UNUSABLE DUE TO ELEVATION, GRADE OR ALIGNMENT, THE CONTRACTOR SHALL BORE CUT INTO EXISTING STRUCTURE WALL TO MAKE CONNECTION USING APPROVED WATER STOP GASKET, AND RESHAPE THE EXISTING INVERT TO PROVIDE SMOOTH FLOW. THE COST OF CONNECTING TO EXISTING STRUCTURES IS INCIDENTAL TO THE PROJECT.
3. ALL STUBS AND PLUGGED PIPES SHALL BE LOCATED WITH GREEN PLASTIC TAPE IN THE SAME MANNER AS RISERS.
4. COST OF EXCAVATION, HAULING AND DUMPING OF EXCESS EXCAVATION SHALL BE SUBSIDIARY TO THE PROJECT.
5. ALL CONCRETE SHALL BE STANDARD PAVING MIX UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAW.
7. TREES TO BE REMOVED ARE MARKED WITH A 'C'. ALL TREES WHICH IN THE OPINION OF THE FIELD ENGINEER CAN BE SAVED, SHALL BE SAVED.
8. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OF CONSTRUCTION SCHEDULING.
9. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS COMPANIES AND IS EITHER FROM COMPANY UTILITY DRAWINGS, OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
10. RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
11. TREES AND SHRUBS IN PUBLIC RIGHT-OF-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
12. ALL DISTURBED AREAS TO BE SEEDED WITH RYE GRASS AT A RATE OF 200 LBS. PER ACRE WITHIN 10 DAYS OF CONSTRUCTION. CONTRACTOR TO PREPARE GROUND PER CITY SPECIFICATIONS. COST IS SUBSIDIARY TO SITE PREPARATION AND RESTORATION.

# PRIVATE STORM SEWER PLANS FOR DILLON'S FOOD STORES #20 BUILDING EXPANSION PRIVATE PROJECT NUMBER: 1625PPS

## DP-41 ROCKWOOD CENTER CITY OF WICHITA, SEDGWICK COUNTY, KANSAS CITY ENGINEER: JIM L. ARMOUR, P.E.

PREPARED & SUBMITTED BY  
PICKERING FIRM, INC.  
6775 LENOX CENTER COURT, SUITE 300  
MEMPHIS, TN 38115



ENGINEER *JL Armour* DATE *2/23/06*

APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA:

*JL Armour* DATE *2/27/06*  
CHIEF ENGINEER DATE

DEVELOPER:

DILLON STORES  
2700 EAST 4TH STREET  
P.O. BOX 1608  
HUTCHINSON, KS 67501-1608

**ZONING NOTE:**  
THE SUBJECT PROPERTY IS ZONED "LC- LIMITED COMMERCIAL", WITH DP-41 OVERLAY.

**SPECIAL FLOOD HAZARD STATEMENT:**  
BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE B, AN AREA BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND THE 500-YEAR FLOOD, AND IN ZONE C, AN AREA DESCRIBED AS HAVING MINIMAL FLOODING PER FEMA/FIRM MAP NUMBER 2003280030 B, CITY OF WICHITA, KANSAS, SEDGWICK COUNTY, EFFECTIVE DATE OF MAY 15, 1986.

**UTILITY NOTE:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES, CALL KANSAS ONE-CALL 1-800-344-7233. THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF EMERGENCY:

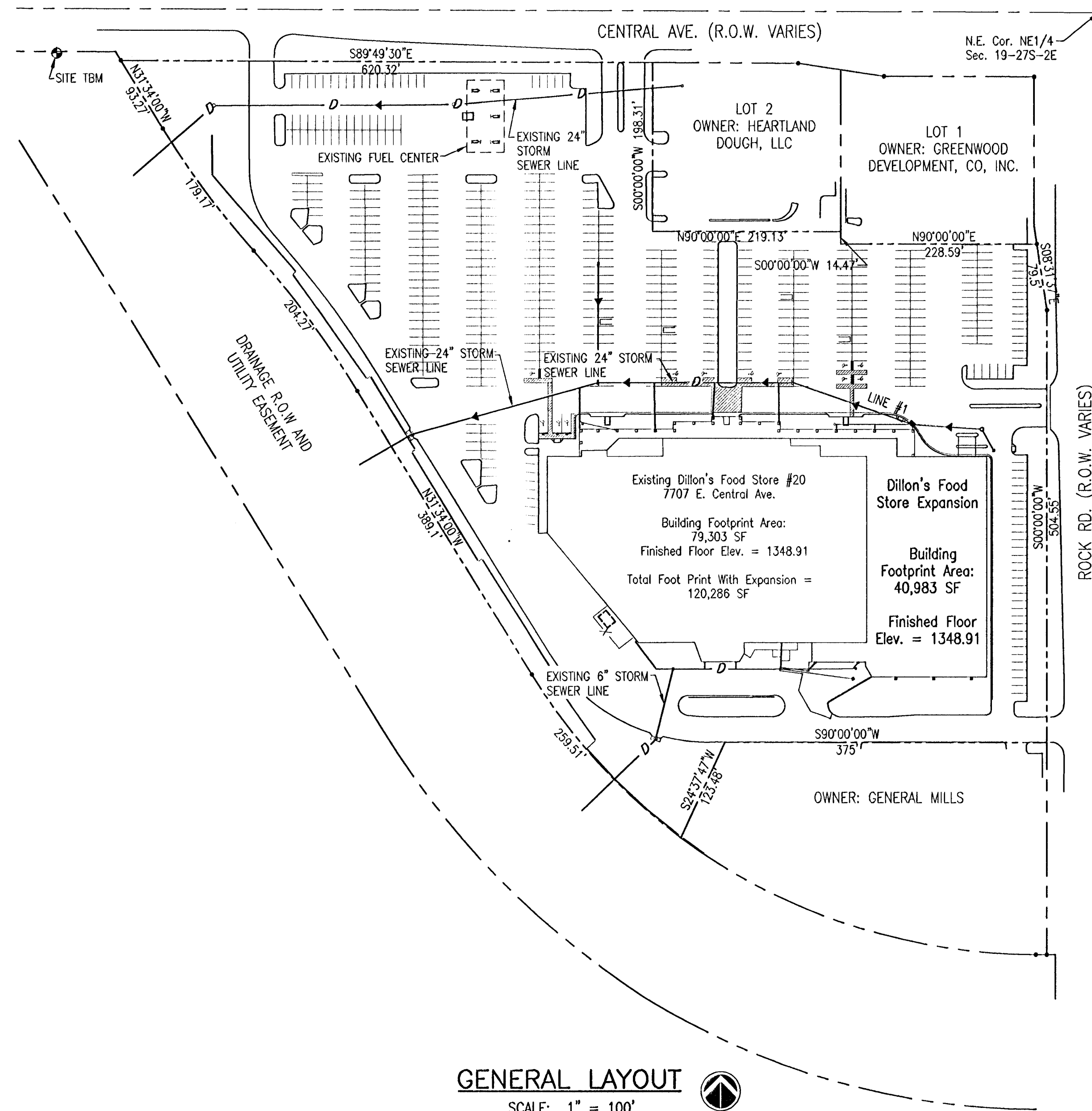
POWER: WESTAR 316-261-6512  
GAS: KANSAS GAS SERVICE 316-832-3101  
WATER & SEWER: CITY OF WICHITA 316-262-6000  
TELEPHONE: SOUTHWESTERN BELL TELE. CO. 800-870-8390  
CABLE: COX COMMUNICATIONS 316-262-0661

**BENCHMARK:**  
SITE TBM: CITY OF WICHITA STD. DISC IN S.E. CORNER OF S. HEADWALL OF RCBC W. BRANCH GYPSUM CREEK & CENTRAL AVE. E. OF BROADMOOR & W. OF ROCK RD.  
ELEVATION: = 1347.24 NGVD

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

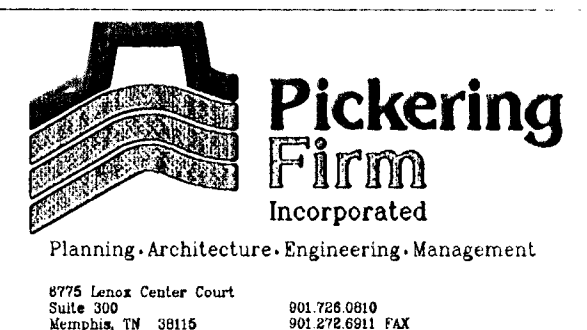
**LEGAL DESCRIPTION:**  
LOTS 3,4,& 5, ROCKWOOD CENTER SECOND ADDITION TO SEDGWICK COUNTY, KANSAS

**NOTE TO CONTRACTOR:**  
INSPECTION AND TESTING FOR THIS PROJECT IS TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR THE PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION NOR SHALL ANY WORK BE COMMENCED IN DEDICATED EASEMENTS PUBLIC RIGHT-OF-WAY WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

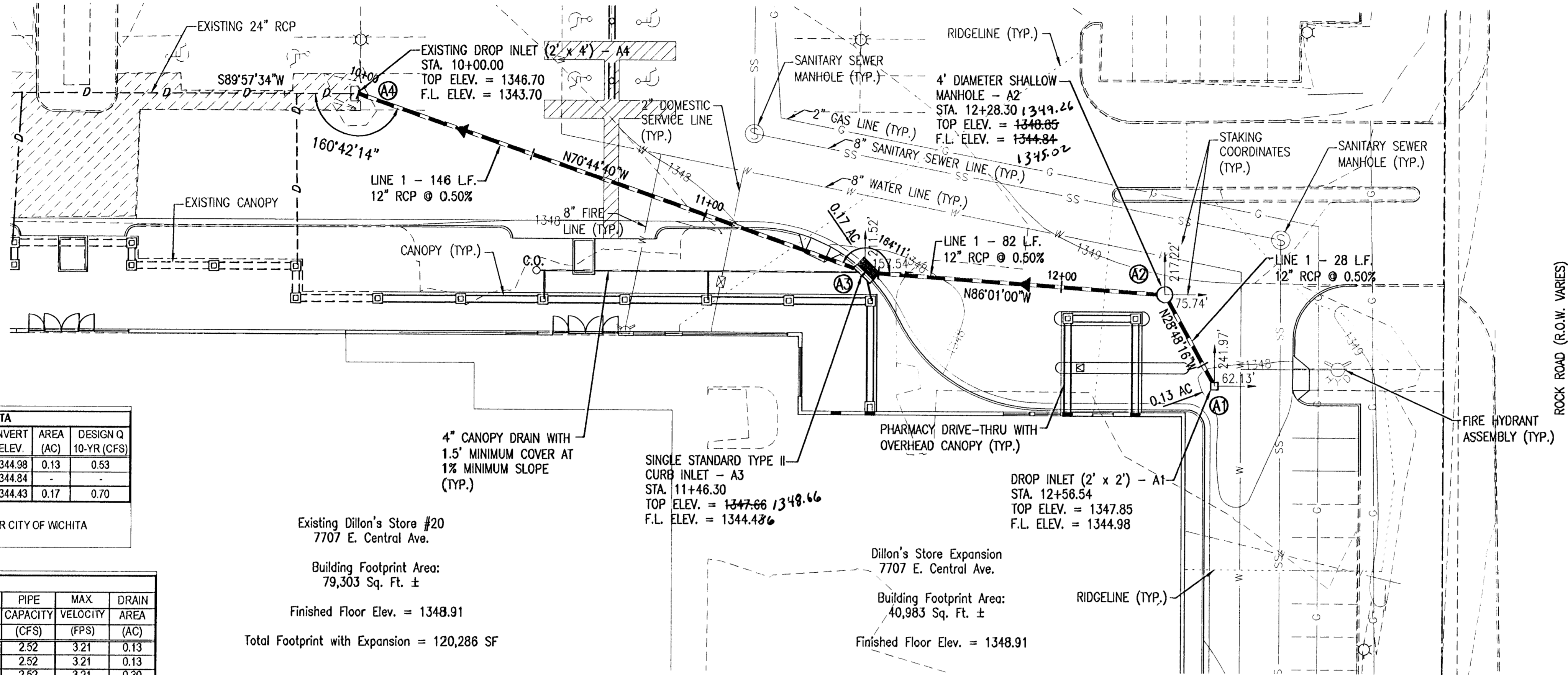
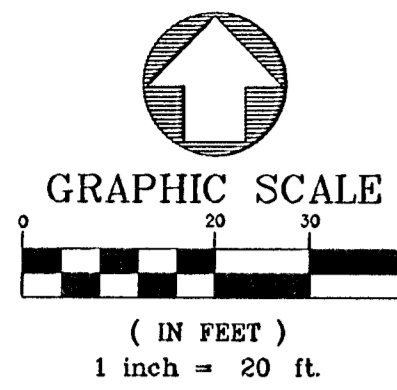


GENERAL LAYOUT  
SCALE: 1" = 100'

**AS-BUILT**  
*12/20/06*  
*DATE K.E. Miller*  
*Jim L. Armour*  
*Spred*



DILLON'S FOOD STORE #20 BUILDING EXPANSION			
PROJECT NAME			
COVER SHEET			
SHEET TITLE			
AIP	AIP	CLM	
DESIGN NO.	DRAWING NO.	CHECKED BY	
02-23-06	21047-01		1 OF 10
DATE	JOB NUMBER	SHEET	



**STORM DRAINAGE - STRUCTURE DATA**

STRUC. NO.	STRUC. TYPE	TOP ELEV.	INVERT ELEV.	AREA (AC)	DESIGN Q 10-YR (CFS)
A1	DROP INLET (2' x 4')	1347.85	1344.98	0.13	0.53
A2	4' DIAMETER SHALLOW MANHOLE	1348.85	1344.84	-	-
A3	STANDARD TYPE II CURB INLET	1347.66	1344.43	0.17	0.70

\* ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED PER CITY OF WICHITA STANDARD CONSTRUCTION SPECIFICATIONS

**STORM DRAINAGE - PIPE DATA**

FROM INV. ELEV.	TO INV. ELEV.	PIPE DIA. (IN.)	LENGTH (FT.)	SLOPE (%)	DESIGN Q (10 YR) (CFS)	PIPE CAPACITY (CFS)	MAX VELOCITY (FPS)	DRAIN AREA (AC)
A1 1344.98	A2 1344.84	12	28	0.50	0.53	2.52	3.21	0.13
A2 1344.84	A3 1344.43	12	82	0.50	0.53	2.52	3.21	0.13
A3 1344.43	A4 1343.70	12	146	0.50	1.23	2.52	3.21	0.30

\* ALL STORM DRAINAGE PIPES SHALL BE (CLASS III RCP) INSTALLED PER CITY OF WICHITA STANDARD CONSTRUCTION SPECIFICATIONS

Existing Dillon's Store #20  
7707 E. Central Ave.  
Building Footprint Area:  
79,303 Sq. Ft. ±  
Finished Floor Elev. = 1348.91  
Total Footprint with Expansion = 120,286 SF

Dillon's Store Expansion  
7707 E. Central Ave.  
Building Footprint Area:  
40,983 Sq. Ft. ±  
Finished Floor Elev. = 1348.91

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

**GRADING NOTE:**  
SITE PREPARATION SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED NOVEMBER 22, 2005, PREPARED BY TERRACON OR THE PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

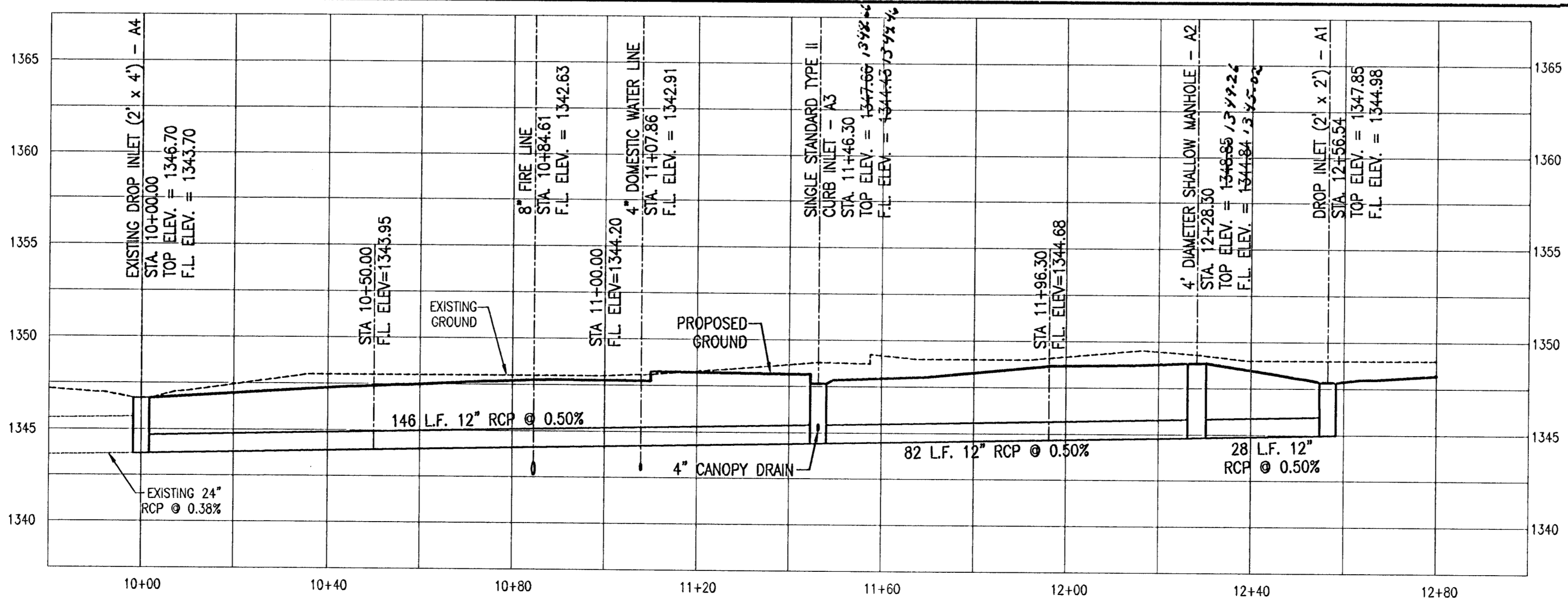
- GRADING AND DRAINAGE NOTES**
- IN ALL AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
  - CLEAR AND GRUB ALL AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, PAVEMENT, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF ALL MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE DESIGNER AND AFTER THE REQUIRED PERMITS HAVE BEEN OBTAINED FROM THE APPLICABLE AUTHORITIES.
  - ALL AREAS SHALL BE COMPACTED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON, DATED NOVEMBER 22, 2005.
  - PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
  - THE SUBGRADE SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS.
  - SITE CONTRACTOR SHALL PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS.
  - FOR FOOTINGS BEARING AT SHALLOW DEPTH IN NEW ENGINEERED FILL, THE MAXIMUM NET ALLOWABLE TOTAL LOAD BEARING PRESSURE SHALL BE LIMITED TO 2,000 PSF. FOR FOOTINGS THAT BEAR IN NATIVE STIFF OR VERY STIFF CLAY COULD BE PROPORTIONED FOR A MAXIMUM NET ALLOWABLE TOTAL LOAD BEARING PRESSURE OF 3,000 PSF.
  - ESTABLISH PERMANENT VEGETATION WITH SOD ON ALL DISTURBED AREAS.
  - ALL SPOT ELEVATIONS ALONG CURBLINE ARE TOP OF PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.

**BENCHMARK:**  
SITE TBM: City of Wichita Std. Disc In S.E. Corner of S. Headwall of RCBO W. Branch Gypsum Creek & Central Ave. E. of Broadmoor & W. of Rock Rd.  
ELEVATION: = 1347.24 NGVD

CONTOUR INTERVAL = 1 FOOT

**STAKING COORDINATE NOTE:**  
ALL COORDINATES SHOWN REFERENCE EACH PROPOSED STRUCTURE TO THE PERPENDICULAR DISTANCE FROM THE CENTER OF THE STRUCTURE TO THE RIGHT-OF-WAY LINE OF ROCK RD. TO THE EAST AND FROM THE CENTER OF THE STRUCTURE TO THE PROPERTY LINE TO THE NORTH DIVIDING LOTS 1 AND 4 OF ROCKWOOD CENTER SECOND ADDITION

**1 LINE 1 - STORM SEWER PLAN**  
SCALE: 1" = 20'



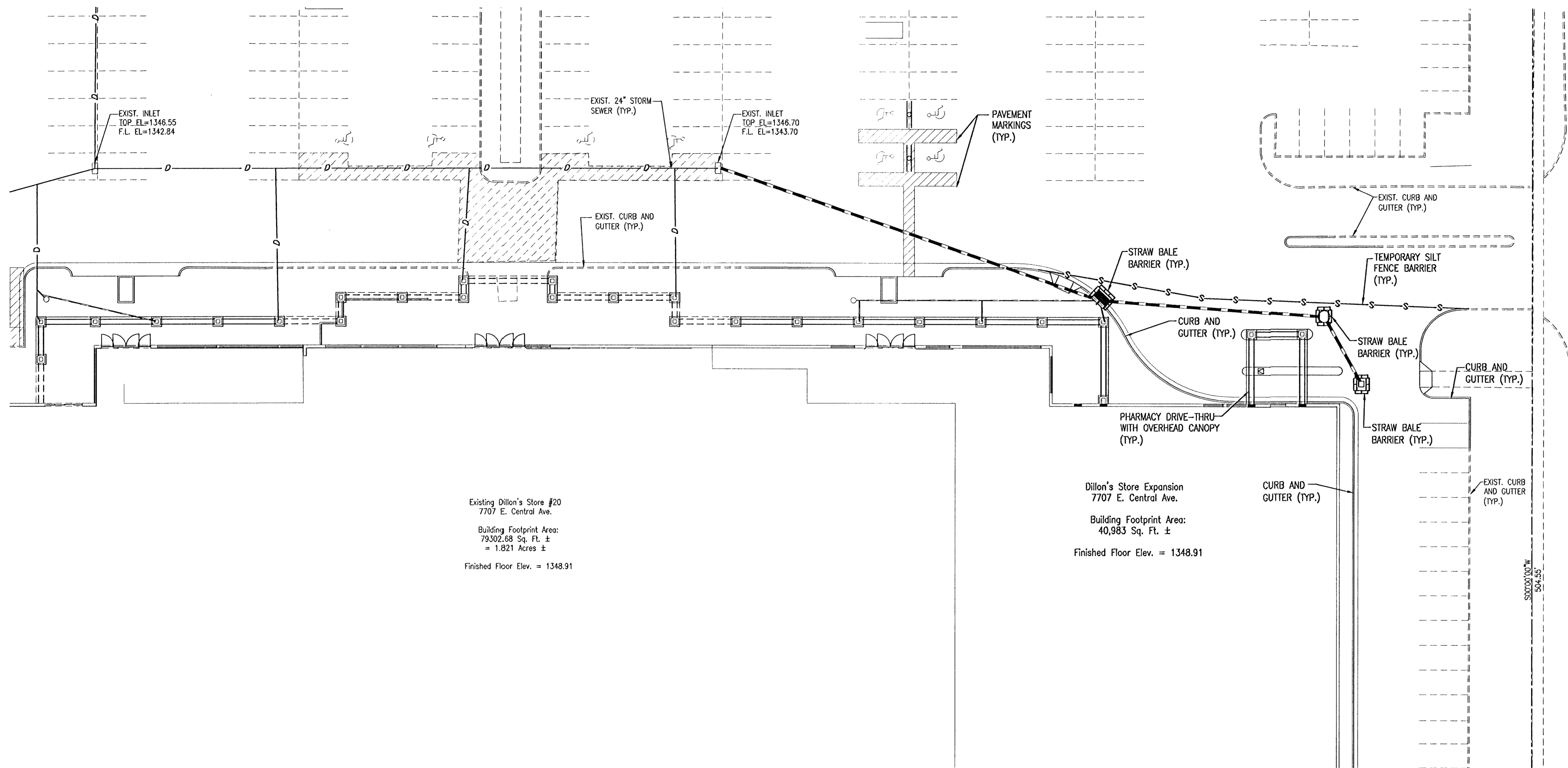
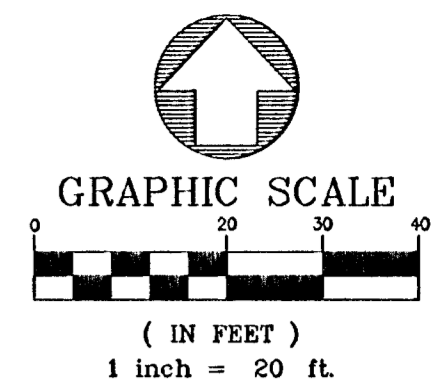
**2 LINE 1 - STORM SEWER PROFILE**  
SCALE: 1" = 20' HORIZONTAL, 1" = 5' VERTICAL



**Pickering Firm**  
Incorporated  
Planning - Architecture - Engineering - Management  
5775 Leake Center Court  
Suite 200  
Memphis, TN 38115  
901.258.0910  
901.478.8911 FAX

DILLON'S FOOD STORE #20 BUILDING EXPANSION  
PROJECT NO.  
PLAN & PROFILE OF PROPOSED DRAINAGE LINE  
SHEET NO.

ATP	ATP	CLM
02-23-06	21047-01	2 OF 10
DATE	JOB NUMBER	SHEET

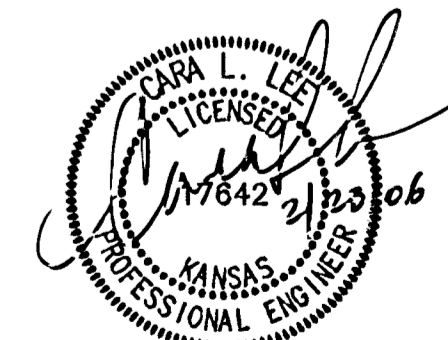


Existing Dillon's Store #20  
7707 E. Central Ave.  
Building Footprint Area:  
79302.68 Sq. Ft. ±  
= 1.821 Acres ±  
Finished Floor Elev. = 1348.91

Dillon's Store Expansion  
7707 E. Central Ave.  
Building Footprint Area:  
40,983 Sq. Ft. ±  
Finished Floor Elev. = 1348.91

ROCK ROAD (R.O.W. VARIES)

**CONSTRUCTION ENTRANCE NOTE:**  
CONTRACTOR TO PROVIDE A TEMPORARY STABILIZED CONSTRUCTION ENTRANCE TO MINIMIZE SEDIMENT DEPOSITING ON CITY STREETS. TEMPORARY STABILIZED CONSTRUCTION ENTRANCE TO CONFORM TO CITY OF WICHITA'S MINIMUM STANDARDS (SEE SHEET 7 OF 9). CONTRACTOR TO COORDINATE LOCATION OF TEMPORARY STABILIZED CONSTRUCTION ENTRANCE WITH CITY OF WICHITA, ENGINEER, AND OWNER.



DILLON'S FOOD STORE #20 BUILDING EXPANSION		
PROJECT NAME		
EROSION CONTROL PLAN		
SHEET TITLE		
ATP	ATP	CLM
02-23-06	21047-01	3 OF 10
DATE	JOB NUMBER	SHEET

