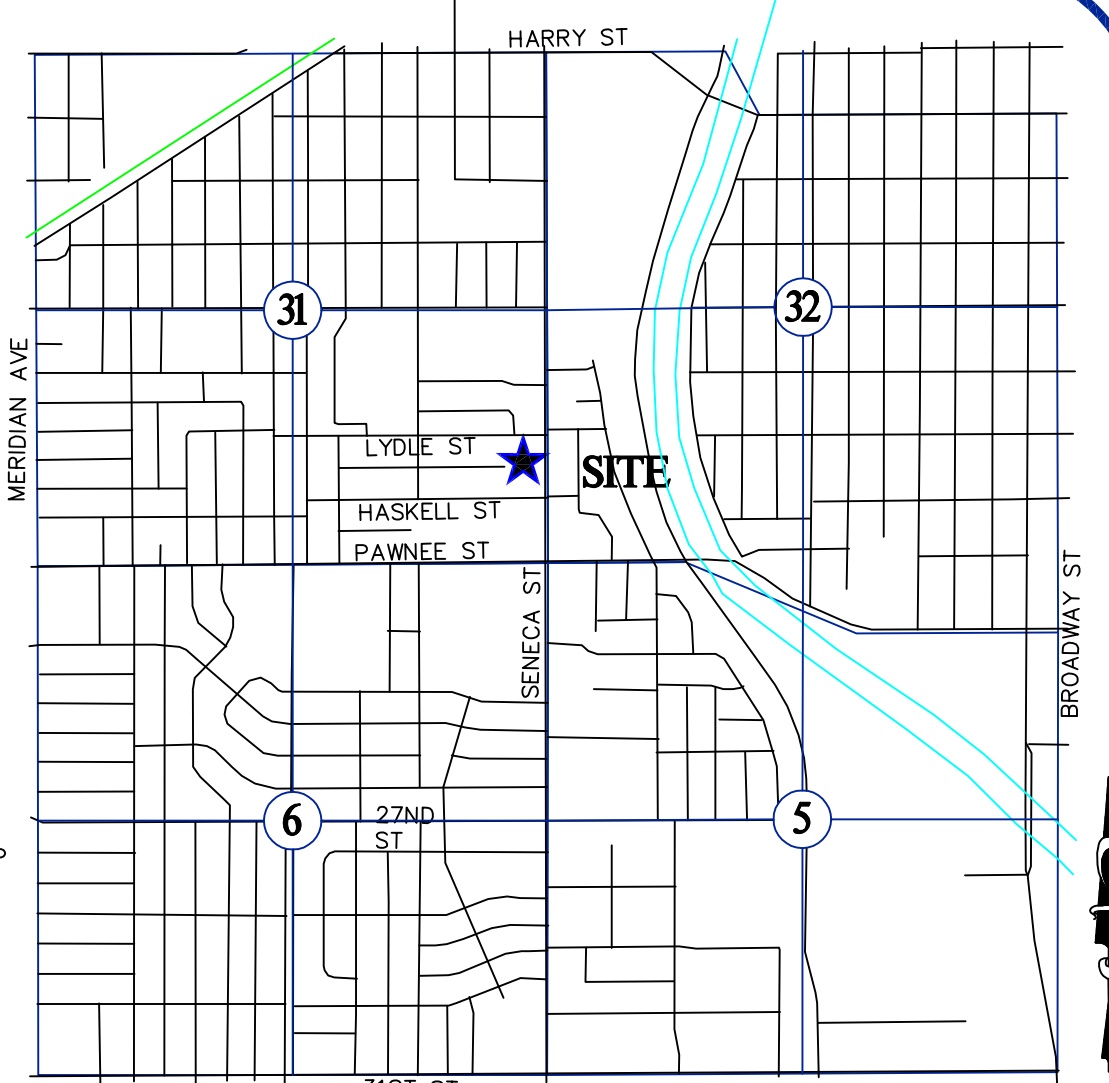
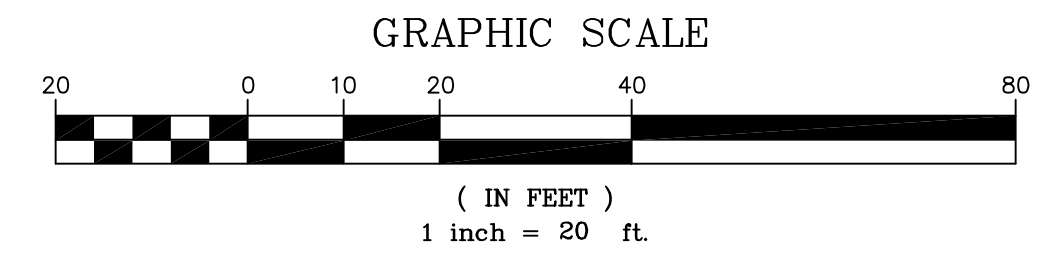
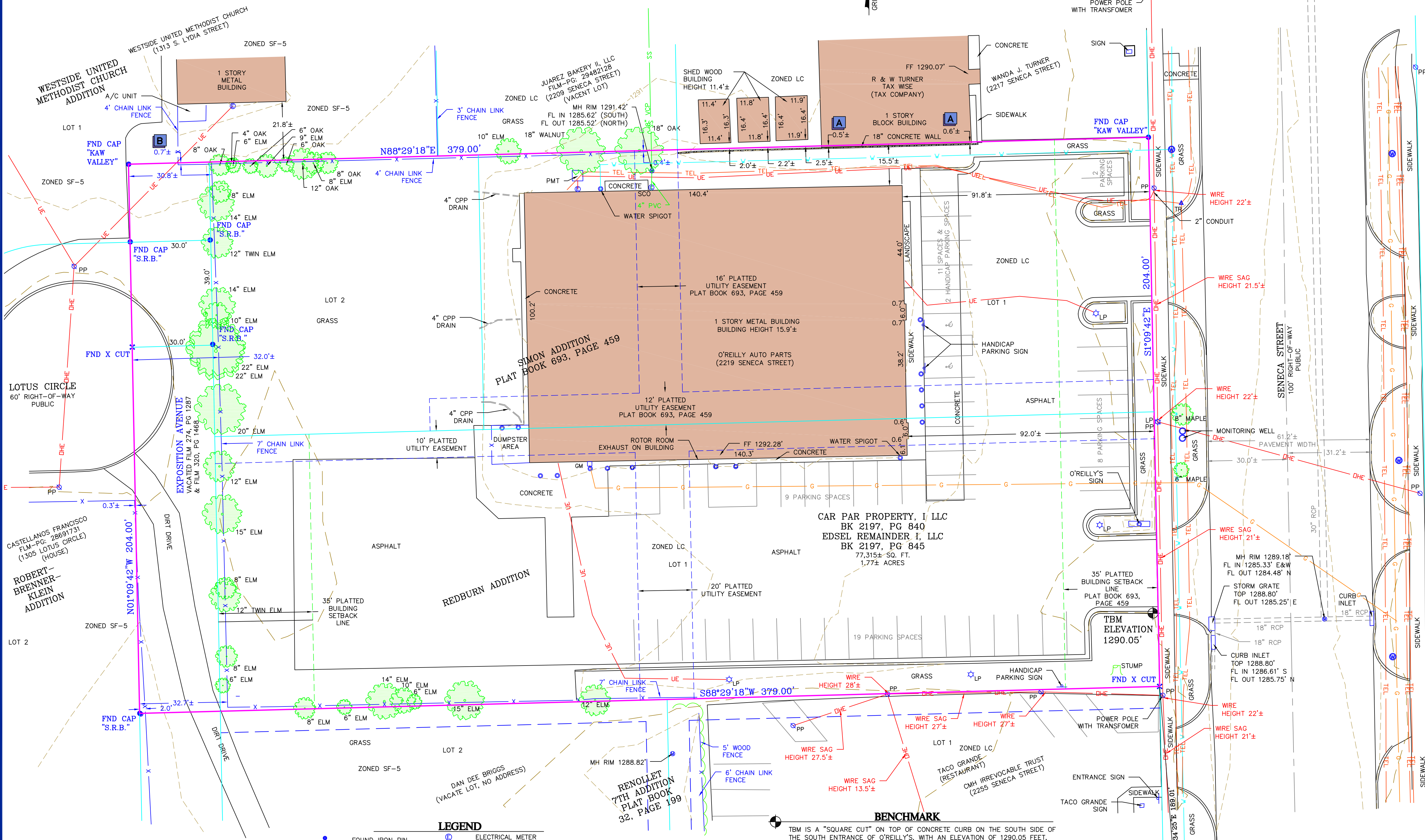


UTILITY NOTE
 THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. LOCATE NO. 18082006.

FLOOD NOTE
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 20173C0363G, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 22, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
 NOTE: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM THAT HAS BEEN PROVISIONALLY ACCREDITED. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. NOTE WAS TAKEN FOR THE FEMA FLOOD INSURANCE MAP.



LOCATION SKETCH
 SECTION 31, T 27 S, R 1 E
 SCALE: 1"=2000'



- NOTES**
- BEARINGS BASED ON GRID NORTH OF THE KANSAS COORDINATE SYSTEM OF 1983, SOUTH ZONE.
 - SUBJECT PROPERTY CONTAINS 76,128 SQ. FT. OR 1.748 ACRES MORE OR LESS. (CALCULATED FROM PERIMETER DESCRIPTION).
 - WATER LINE IS 12" MAIN RUNNING UNDER SENECA STREET AND IS APPROXIMATELY 40" DEEP. PER ON-SITE LOCATOR, WATER SERVICE LINE IS BELIEVED TO BE A 2" LINE.
 - THERE ARE NO ADDITIONAL CHANGES IN STREET RIGHT-OF-WAY, PER DAVE DUNCAN, ENGINEERING CONSULTANT, 316-268-4555.
 - SPEED LIMIT ON SENECA STREET IS 40 MPH.
 - SUBJECT PROPERTY IS INSIDE CITY LIMITS OF WICHITA, KANSAS.
 - PROPERTY HAS DIRECT ACCESS TO SENECA STREET. SENECA STREET IS MAINTAINED BY THE CITY OF SENECA.

STATEMENT OF ENCROACHMENTS

A BUILDING TO THE NORTH ENCLOSES INTO SUBJECT PROPERTY, AS SHOWN.

B FENCE ENCROACHES ONTO SUBJECT PROPERTY AT THE NORTHWEST CORNER, AS SHOWN.

DEED DESCRIPTION

PARCEL I:
 LOT 1, REDBURN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, TOGETHER WITH THAT PART OF THE EAST 30 FEET OF VACATED EXPOSITION AVENUE ADJOINING ON THE WEST VACATED INSTRUMENTS FILED ON FILM 274, PAGE 1287 AND ON FILM 320, PAGE 1468.

PARCEL II:
 LOTS 1 AND 2, BLOCK A, SIMON ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, TOGETHER WITH THAT PART OF THE EAST 30 FEET OF EXPOSITION AVENUE ADJOINING ON THE WEST VACATED INSTRUMENTS FILED ON FILM 274, PAGE 1287 AND ON FILM 320, PAGE 1468.

NOTE: DESCRIPTIONS HAVE BEEN TAKEN FROM DEEDS ACQUIRED FROM THE SEDGWICK COUNTY REGISTER OF DEEDS DOCUMENT SEARCH WEB SITE. THE LIMITED WARRANTY DEEDS WERE FOUND AS FILED IN BOOK 2197, PAGE 840 AND BOOK 2197, PAGE 845. TITLE DOCUMENTS HAVE NOT BEEN PROVIDED BY THE CLIENT. RECORD DESCRIPTION, EASEMENTS, RIGHTS-OF-WAY, ETC. ARE SUBJECT TO INFORMATION THAT A TITLE COMMITMENT MAY DISCLOSE.

SURVEYOR'S DECLARATION

I, THE UNDERSIGNED, DO HEREBY DECLARE THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON WAS MADE UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE THE INFORMATION IS AS SHOWN AND IN ACCORDANCE WITH THE CURRENT KANSAS MINIMUM STANDARDS FOR URBAN SURVEYS.
 LAST REVISION DATE APRIL 10, 2018

ANDERSON ENGINEERING, INC. C OF A #14
 BY: (RENEWAL DATE: DECEMBER 31, 2018)

JERROD L. HOGAN
 LICENSED SURVEYOR
 LS-1449
 KANSAS
 LAND SURVEYORS

ZONING DATA

SUBJECT PROPERTY IS ZONED LC (LIMITED COMMERCIAL DISTRICT)

BUILDING HEIGHT AND SETBACK REQUIREMENTS:
 MINIMUM FRONT SETBACK - TWENTY FEET (PLATTED SETBACK IS 35')
 MINIMUM REAR SETBACK - TEN FEET (PLATTED SETBACK IS 35'-REDBURN ADDITION)
 MINIMUM INTERIOR SIDE SETBACK - ZERO FEET, BUT IF ONE IS PROVIDED IT SHALL BE AT LEAST 5 FEET.
 MINIMUM STREET SIDE SETBACK - FIFTY FEET
 MAXIMUM HEIGHT - THIRTY-FIVE FEET.

HEIGHT AND SETBACK REQUIREMENTS SHOULD BE VERIFIED BY THE CITY PLANNING AND ZONING DEPARTMENT, OR INTERPRETED BY A QUALIFIED ZONING AGENT PRIOR TO THE DEVELOPMENT OF CONSTRUCTION PLANS.

LEGEND

| | | | |
|--------|-------------------|-----|-------------------------|
| FND IP | FOUND IRON PIN | ⊙ | ELECTRICAL METER |
| SET IP | SET IRON PIN | PMT | PAD MOUNTED TRANSFORMER |
| FND | FOUND "X" CUT | — | TREELINE |
| PP | POWER POLE W/ GUY | — | PROPERTY LINE |
| MH | MANHOLE | — | SANITARY SEWER |
| LP | LIGHT POLE | — | STORM SEWER |
| ☆ | SIGN | — | TELEPHONE LINE |
| ⊙ | WATER METER | — | GAS LINE |
| WV | WATER VALVE | — | WATER LINE |
| FH | FIRE HYDRANT | — | ELECTRIC LINE |
| TR | TELEPHONE RISER | — | UNDERGROUND ELECTRIC |
| ○ | BUMPER POST | — | FENCE LINE |
| ■ | GRATE INLET | — | RETAINING WALL |

ANDERSON ENGINEERING
 EMPLOYEE OWNED

ENGINEERS - SURVEYORS • LABORATORIES • DRILLING • GIS
 811 E. 3RD STREET • JOPLIN, MISSOURI 64801 • PHONE (417) 782-7399

DRAWING INFO.

| NO. | REVISIONS | DESCRIPTION | BY | DATE |
|-----|-----------|-------------|----|------|
| | | | | |

DRAWING INFO.

| | |
|-------------|-----------|
| FIELD BY: | RW |
| DRAWN BY: | SLM |
| CHECK BY: | JLH |
| DATE: | 4-9-18 |
| FIELD BOOK: | 18J020034 |
| JOB NUMBER: | 18J020034 |

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O'REILLY AUTO ENTERPRISES, LLC

O'Reilly AUTO PARTS
 PROFESSIONAL PART PEOPLE

AS-BUILT SURVEY

2219 SOUTH SENECA STREET
 WICHITA, SEDGWICK COUNTY, KANSAS

DRAWING NO. JOP-100-4813
 SHEET NUMBER 1 OF 1

SVI

EROSION CONTROL & MAINTENANCE PLAN NOTES

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREAS WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE. REFER TO SHEET C1.2 FOR ADDITIONAL EROSION CONTROL DETAILS.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO SHEET C1.2 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

CONSTRUCTION EGRESS NOTES

1. CONSTRUCTION EGRESS SHALL BE 25' MINIMUM WIDTH AND 30' MINIMUM LENGTH AND 6" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLAYER. REFER TO CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER CITY OR STATE REQUIREMENTS.

RIP-RAP NOTE

HAND PLACE RIP-RAP AND FILTER FABRIC IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF FIELD STONE OR ROUGH UNWEIGH QUARRY STONE AS NEARLY AS UNIFORM. IN SECTION AS PRACTICAL, THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 30-150 POUNDS EACH, AND AT LEAST 80 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 6" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.

PIPE NOTES

1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP), AND HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. NOTIFY ENGINEER IF EXISTING CONDITIONS REQUIRE REVISED FINISH FLOOR ELEVATION TO PROVIDE PROPER DRAINAGE.
- C ACCESSIBLE PARKING AREAS TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. DESIGNATED ACCESSIBLE ROUTE TO SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

SITE EXCAVATION REQUIREMENTS: REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

SPECIAL NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLEING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

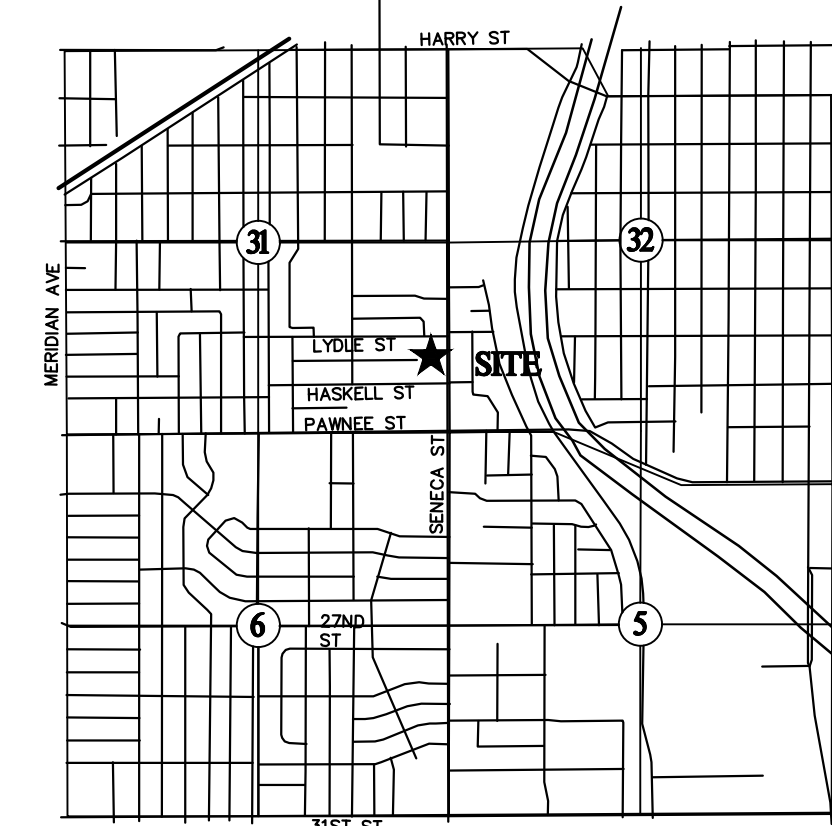
STAGE OF CONSTRUCTION NOTES

1. INSTALLATION OF EROSION CONTROL FENCE.
2. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
3. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
4. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
5. ROUGH GRADING.
6. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
7. FINAL GRADING.
8. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
9. REMOVAL OF EROSION CONTROL FENCE.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 2017030363G, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 22, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

NOTE: THIS AREA IS SHOWN AS BEING PROTECTED FROM THE 1-PERCENT-ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM THAT HAS BEEN PROVISIONALLY ACCREDITED. OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. NOTE WAS TAKEN FOR THE FEMA FLOOD INSURANCE MAP.



LOCATION SKETCH
SECTION 31, T 27 S, R 1 E
SCALE: NOT TO SCALE

NOTE: If built per plans this hydrant would have ended in the center of sidewalk. See details on sheet US2. Hydrant ended up at sta. 0+16, not 0+09

Not Built As Per Plans; Location: From Datum: Center of Lydia st. and center of S. Seneca st. 258 ft south and 34.5 ft west to tap, 258 ft south and 35.5 ft west to valve, 258 ft south and 51.5 ft to hydrant.

2 NOT USED
C1.1 SCALE: NOT TO SCALE

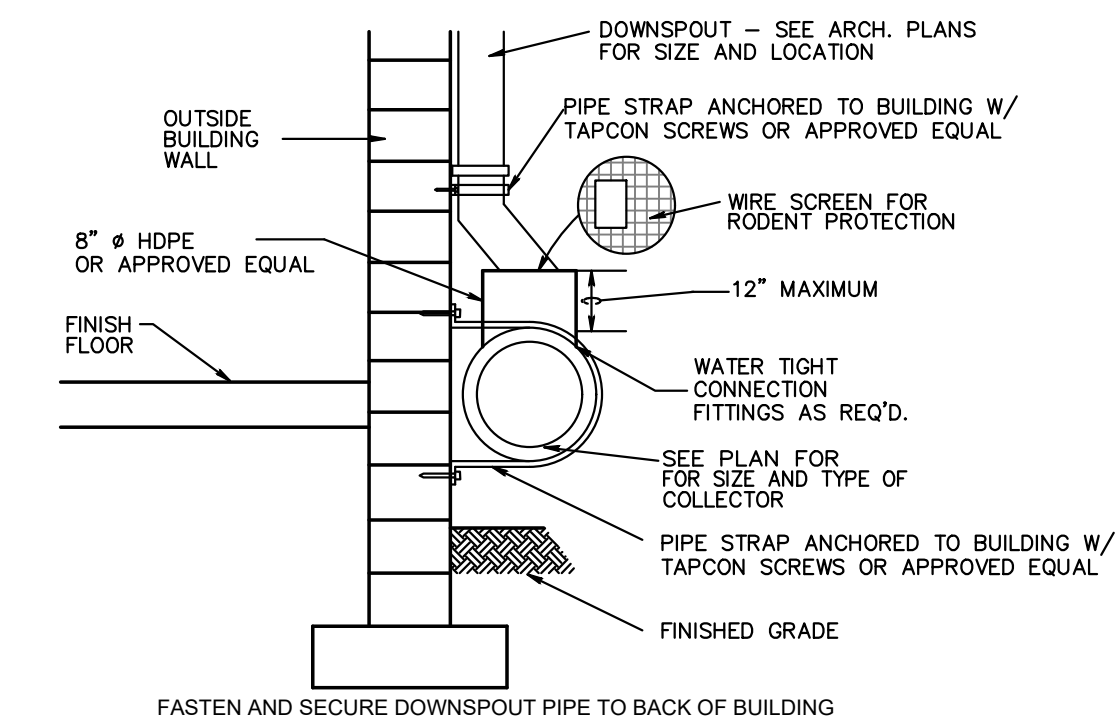
KEY NOTES

- C1 LIMITS OF TEMPORARY EROSION CONTROL FENCE. CONTRACTOR TO REFERENCE AND FOLLOW CITY OF WICHITA STANDARD EROSION CONTROL DETAILS FOR SPECIFIC INSTALLATION PER APPLICATION. SEE SHEET C1.2.
- C2 INSTALL DOWNSPOUT COLLECTOR 85 LF OF 8" PIPE @ MIN 0.5% SLOPE. REFER TO PIPE NOTES. INV EAST = 1292.2 DAYLIGHT WEST = 1291.7 REFER TO DETAIL 3C1.1
- C3 INSTALL 44 S.F. OF RIP-RAP AS SHOWN. REFER TO RIP-RAP NOTES

SPECIAL NOTE: CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT PAVEMENT CONNECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

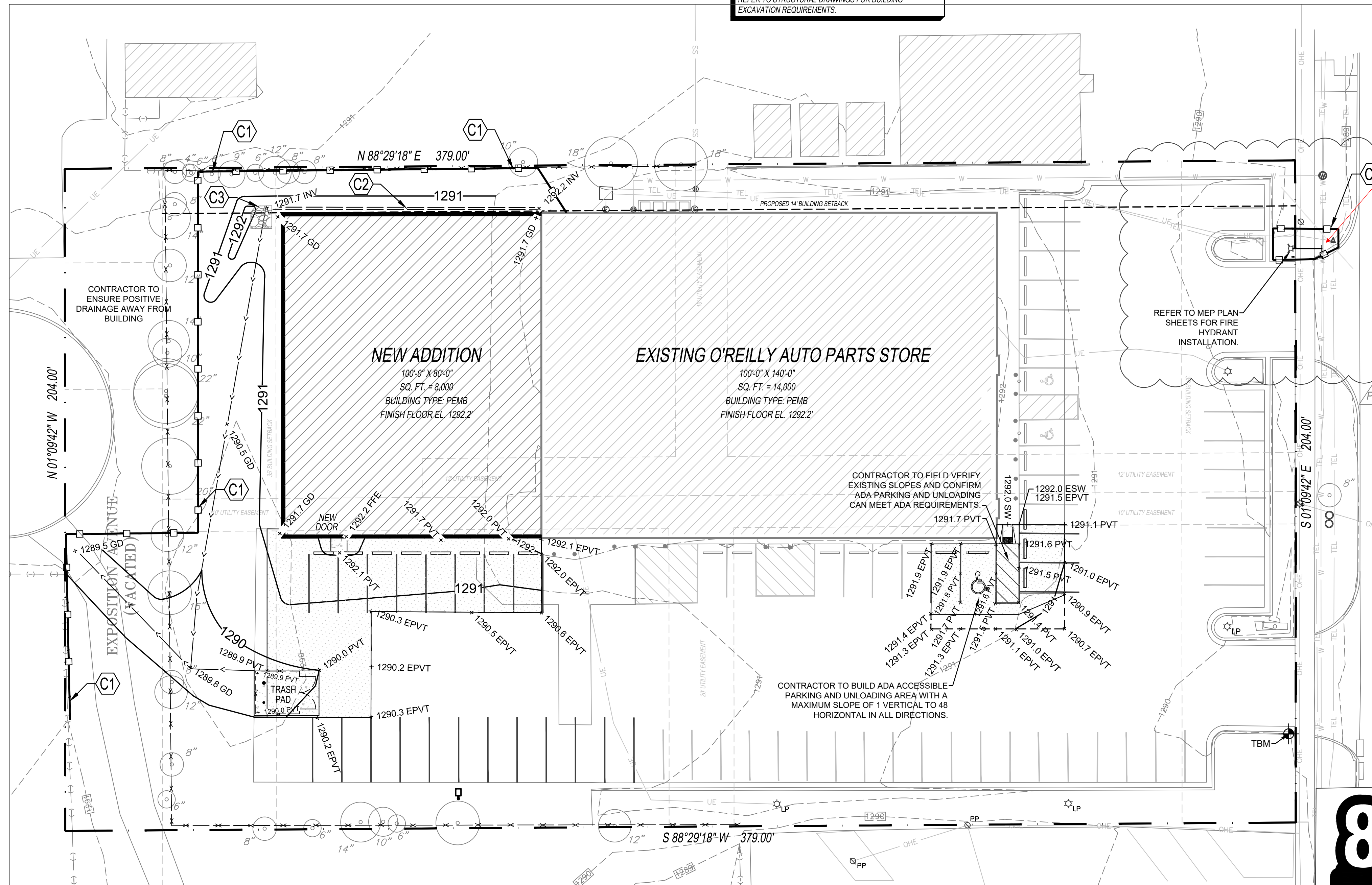
SPECIAL NOTE: FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

3 DOWNSPOUT COLLECTOR
C1.1 SCALE: NOT TO SCALE

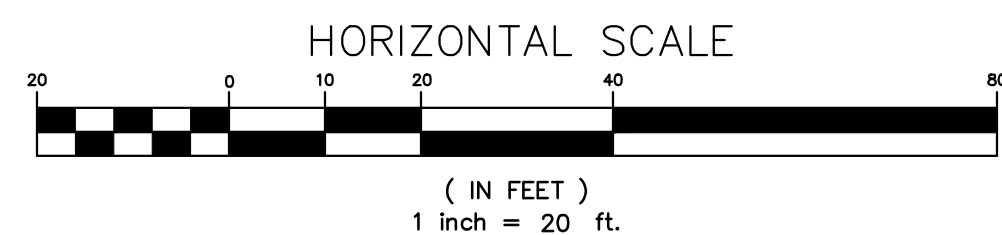


FASTEN AND SECURE DOWNSPOUT PIPE TO BACK OF BUILDING

SPECIAL NOTE: PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

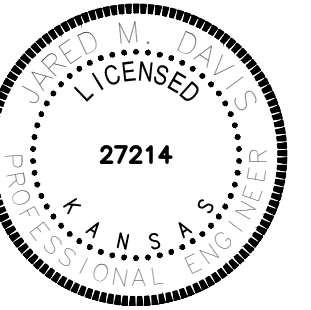


1 SITE GRADING PLAN
C1.1 SCALE: 1" = 20'-0"



Know what's below
Call before you dig.

| SYMBOLS LEGEND | | REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL. | |
|----------------|---------------------------------|--|--------------|
| --- | EXISTING GRADE LINES | NEW SPOT ELEVATIONS LIST | ABBREVIATION |
| --- | PROPOSED NEW GRADE LINES | GRADE | GR |
| [Hatched Box] | NEW BUILDING CONSTRUCTION | SIDEWALK | SW |
| [Solid Box] | NEW CONCRETE PAVING BLOCK | TOP OF WALL | TW |
| [Dashed Box] | TEMPORARY EROSION CONTROL FENCE | TOP OF CURB | TC |
| [Arrow] | SURFACE FLOW ARROW | TOP OF PAVEMENT | PVT |
| | | NEW GRADE | GD |
| | | CONCRETE | COWC |
| | | EXISTING TOP OF CURB | ETC |
| | | EXISTING GRADE | EGD |
| | | EXISTING PAVEMENT | EPVT |
| | | EXISTING SIDEWALK | ESW |
| | | FLOW LINE | FL |
| | | TOP OF BERM | TOP |
| | | TEMPORARY BENCH MARK | |
| | | TBM IS A SQUARE CUT ON TOP OF CONCRETE CURB ON THE SOUTH SIDE OF THE SOUTH ENTRANCE OF O'REILLY'S. ELEVATION = 1290.05 | |
| | | REFER TO SURVEY FOR EXACT TBM LOCATION. | |



THESE BEARING THIS SEAL ARE AUTHENTICATED. RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS OR INSTRUMENTS ARE DISCLAIMED.

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

PROJECT: (ADDITION)
O'REILLY AUTO PARTS STORE
2219 S. SENECA
WICHITA, KANSAS
SITE GRADING PLAN

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
3213 S. WEST BYPASS • SPRINGFIELD, MISSOURI 65807 • PHONE: (417) 866-2741
PROJ # 18SP10101 DRAWING # WB-111-186

DRAWN BY: **PJE** CHECKED BY: **JMD**
DATE: **06/29/18**
REVISION: **P4 PR #4 04/20/2021**

PROJECT NUMBER: **W11-0224**

SHEET NUMBER: **C1.1**

C1.1