

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
 

Kansas One-Call	687-2470
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The Contractor must notify the following in case of an emergency:

AT&T	1-800-246-8464
Black Hills Energy	1-800-694-8989
City of Wichita Water & Sewer	1-316-219-8921
City of Wichita Stormwater	1-316-268-4090
City of Wichita Traffic	1-316-268-4034
Cox Communications	1-888-249-3530
Kansas Gas Service	1-888-482-4950
Everg	1-800-544-4857
- Maintain a minimum of 10-foot horizontal separation between all water lines (mains, services, and fire hydrants) and all sanitary sewer lines (mains, services, and manholes). All separation distances are to be measured from edge-to-edge, at the closest point.
- Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all gravity sanitary sewer lines (mains, services, and manholes) at crossings. All separation distances are to be measured from edge-to-edge, at the closest point.
- Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all pressurized sanitary sewer lines (force mains and services) at crossings. Waterlines must always be placed above pressurized sanitary sewer lines where they cross. All separation distances are to be measured edge-to-edge, at the closest point.
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the inspecting engineer and Dawnita Reinhardt at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.

# WATER DISTRIBUTION SYSTEM

to serve

## LOT 2, BLOCK 1, DELANO HOTEL ADDITION Sycamore Street and McClean Boulevard Wichita, KS

Gary Janzen, P.E. City Engineer

Project Number

2021-014152PPW 54030980

Fire Hydrant location - south 304' from the center of Sycamore St and McClean Boulevard and 34' west of the center line of the south bound lane of McClean Boulevard. The tap is 5' east of Fire Hydrant.

Material list  
Mueller Fire Hydrant with Storz  
Pro-Trace wire (blue)  
Clow MJ 2638 valve  
6" Gland pack  
6" Ductile pipe  
6" tapping valve and valve box  
Test station

### Benchmarks

Site Benchmark - 201  
Chiseled "+" on top of curb southeast of the library, 13.0' north to the centerline of the asphalt driveway for the library, 43.0' west to the centerline of Sycamore Street, 25.9' south/southeast to the center of box W12J47128.  
Elevation = 1302.160 (NAVD 88)

Site Benchmark - 202  
Chiseled square on top of curb, 14.8' west to the centerline of Sycamore Street, ±200' north to Pacific Street, 18.4' north to west face of light pole T5169202, 36.0' north to the south end of storm water inlet cover.  
Elevation = 1298.460 (NAVD 88)

Site Benchmark - 203  
Chiseled square on Top of AT&T vault, north side, ±25' north of Pacific Street, ±25' west of Oak Street, 7.3' North to Chain-Link Fence, 34.6' east to fiber optic marker (AT&T), 137.6' west to the southeast corner of white tin building.  
Elevation = 1302.090 (NAVD 88)


Site Benchmark - 204  
Chiseled square on top of curb, located southwest of the library, 41.8' North/Northwest of the top nut of fire hydrant, 86.4' West/Northwest to the Southeast Corner of the brick building, 21.0' west to the center of the south area inlet.  
Elevation = 1299.760 (NAVD 88)

### Sheet Index

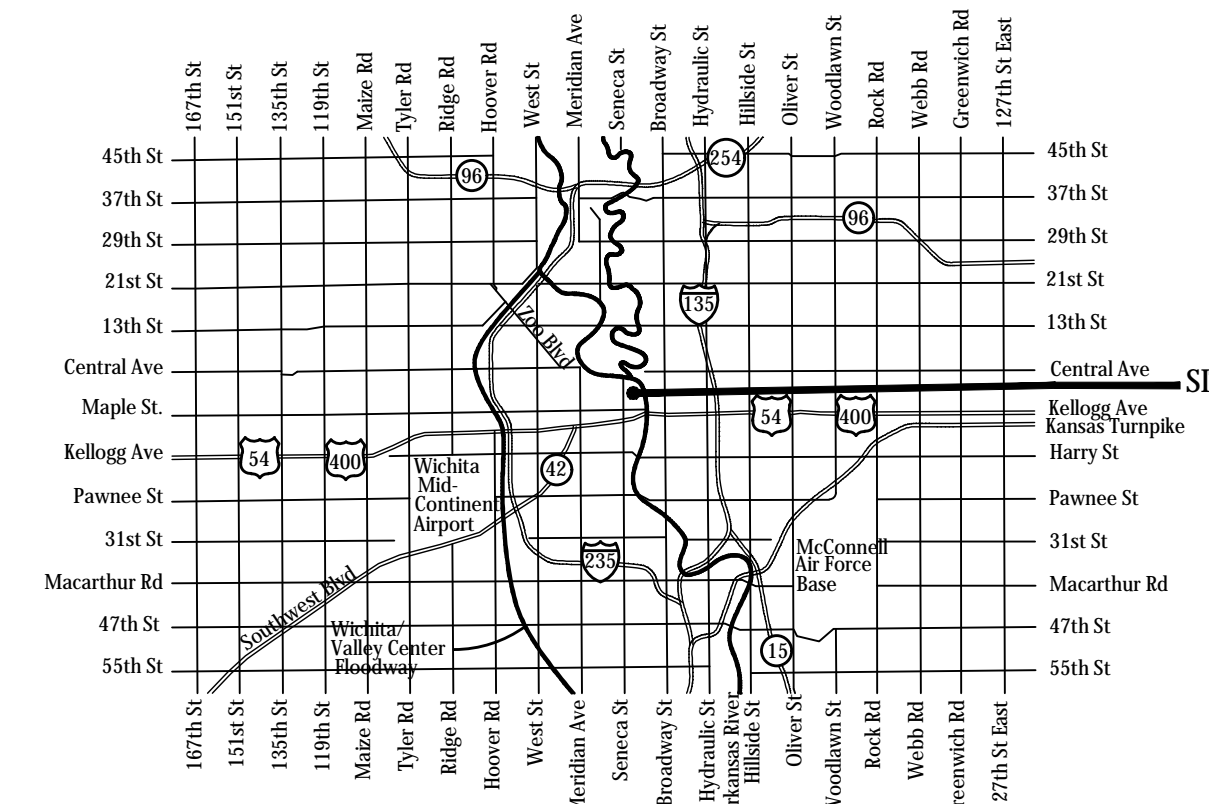
Title Sheet	1
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Std. Water Assembly Detail	3
Miscellaneous Water Details	4
Erosion Control Plan	5
Back of Curb Protection	6
Silt Fence Ditch Protection	7
Straw Bale Ditch Check	8
Street Improvement Projects	9
Subdivision Development Process	10
Copy of Plat	11

### AS BUILTS

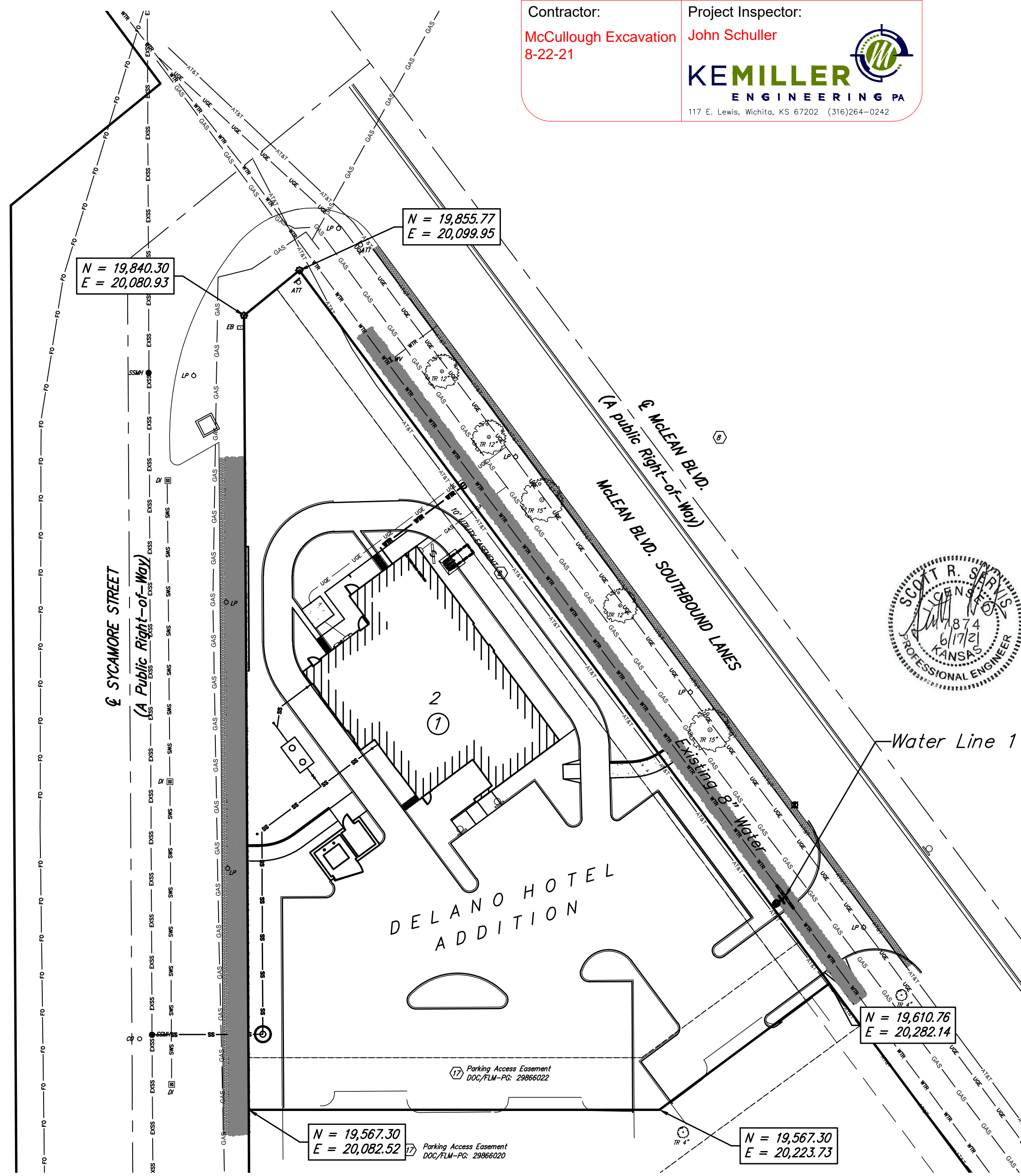
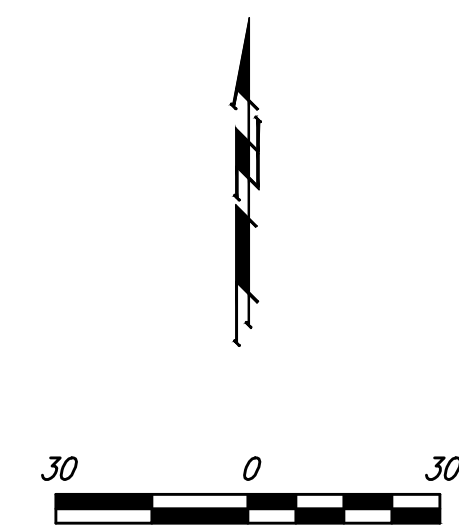
Contractor:	Project Inspector:
McCullough Excavation	John Schuller
8-22-21	



117 E. Lewis, Wichita, KS 67202 (316)264-0242



VICINITY MAP



APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION  
& BY WICHITA FIRE DEPARTMENT

Engineering approved by Shawn Mellies 6/17/2021  
Utilities approved by Greg Lolley 6/17/2021  
Fire Dept. approved by Jose Ocadiz 6/17/2021

NOTE TO CONTRACTORS

Public Property:  
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provisions (on file and available in the City Engineer's Office) or on the City's Website.

Private Property:  
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

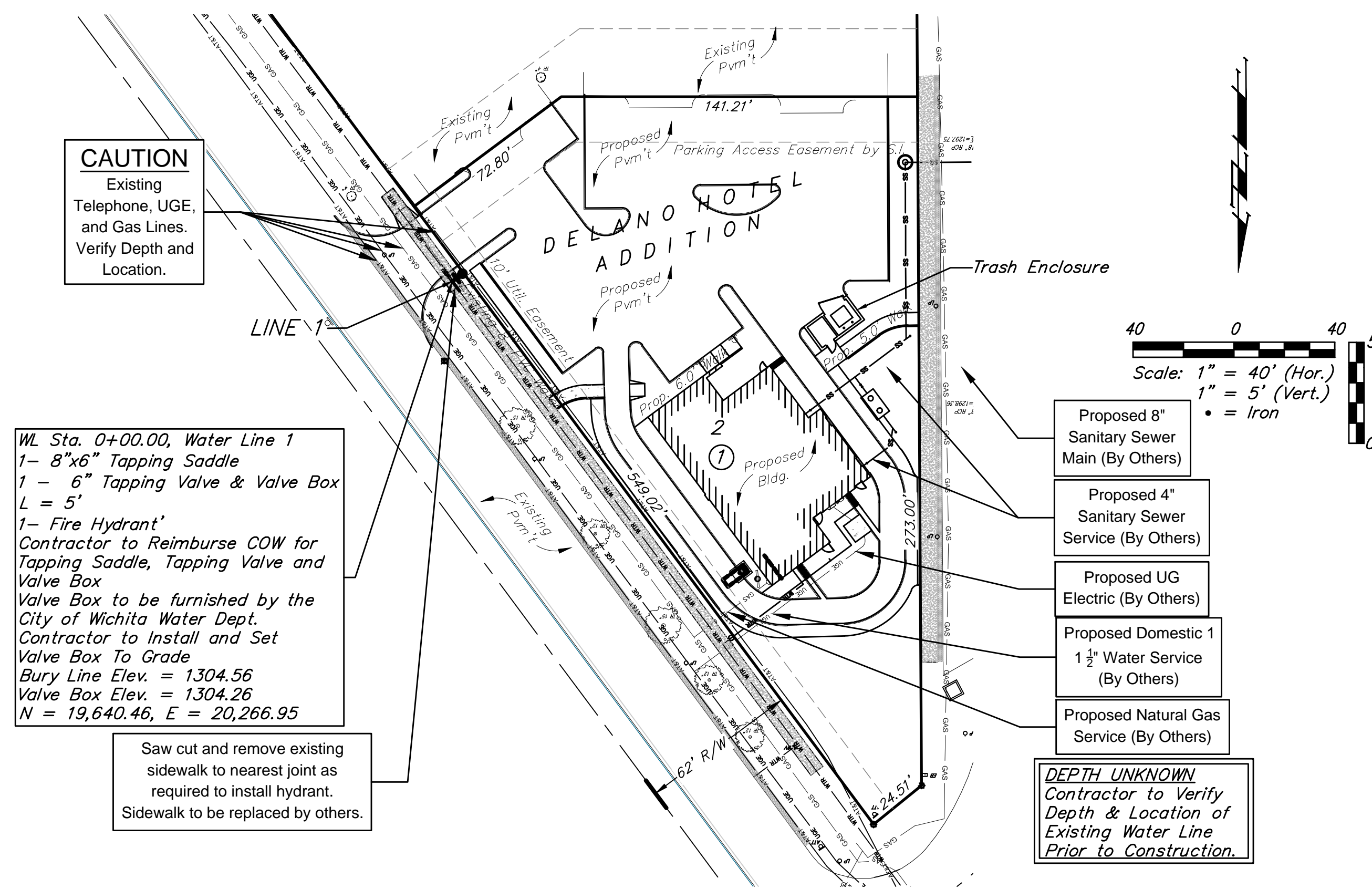
An approved copy of these plans signed by City staff are required on-site.

June 14, 2021



**BAUGHMAN COMPANY**  
315 Ellis St. Wichita, KS 67211 316-262-7271  
Baughman.com

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### Benchmarks

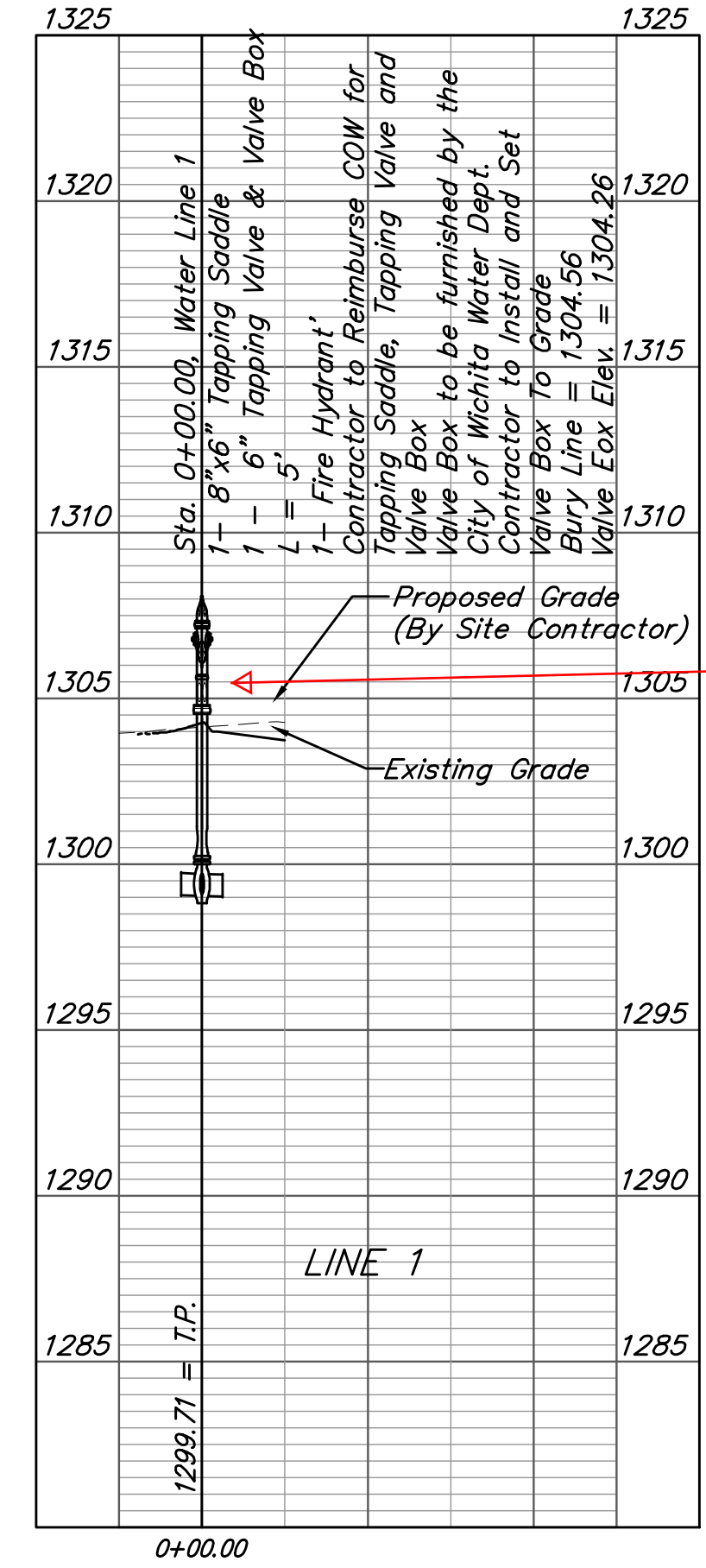
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FIRE HYDRANTS REQUIRED					
LINE	STATION	BURY LINE ELEVATION	TOP OF PIPE ELEVATION	FIRE HYDRANT BURY REQUIRED*	VALVE STEM EXT. REQUIRED (ft)*
1	0+00.00	1304.56	1299.71	5.5	1.0



Mueller fire hydrant with Storz connection and test station

**BAUGHMAN COMPANY**

315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
 BaughmanCo.com

Mokas Wichita

**Water Line 1**

Water Distribution System Improvements

PROJECT NUMBER:  
21-02-E828

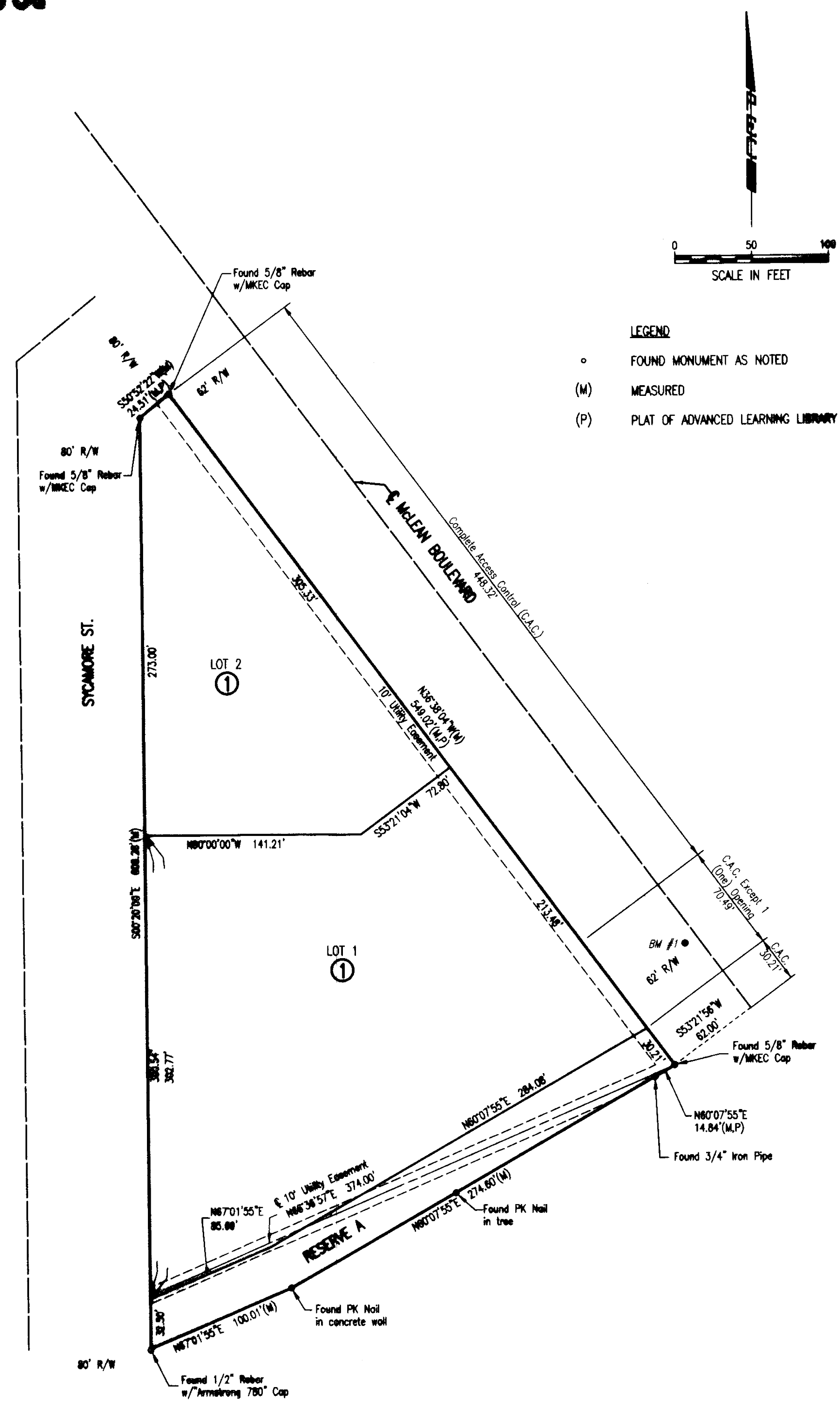
DESIGN: SRS DRAWN: SRS

DATE: June 14, 2021

SHEET 2 OF 11

File: E:\Projects\Mokas\Engineering\Phase 1 (only if Multiple Phases)\PPVMOKAS.PPW.dwg

PC 200-8



**LEGEND**

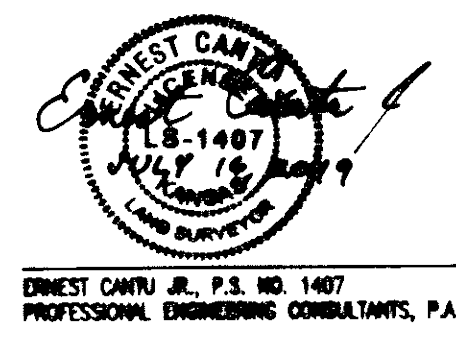
- o FOUND MONUMENT AS NOTED
- (M) MEASURED
- (P) PLAT OF ADVANCED LEARNING LIBRARY ADDITION

STATE OF KANSAS }  
 COUNTY OF SEDGWICK } SS

ON THIS 16<sup>TH</sup> DAY OF JULY, 2019, WE, PROFESSIONAL ENGINEERING CONSULTANTS, P.A., A PROFESSIONAL ASSOCIATION ONLY AUTHORIZED TO PRACTICE LAND SURVEYING IN AFORESAID STATE AND COUNTY, BY NICK ESTERLINE, UNDER THE DIRECT SUPERVISION OF THE LICENSED SURVEYOR, HAVE SURVEYED AND PLATED DELANO HOTEL ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS, INTO LOTS, A BLOCK, AND A RESERVE, AND THAT THE ACCOMPANYING PLAT IS A TRUE AND CORRECT EXHIBIT OF THE PROPERTY SURVEYED TO THE BEST INFORMATION AND BELIEF OF THE PROFESSIONAL ASSOCIATION, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 2, ADVANCED LEARNING LIBRARY ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

ALL PUBLIC BUILDINGS AND DESIGNATED STREETS LYING WITHIN THE ABOVE DESCRIBED TRACT OF LAND ARE HEREBY WIDENED AND REPLATED BY VIRTUE OF K.S.A. 12-512b, AS AMENDED.



UTILITY EXISTENCES AS SHOWN FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES ARE HEREBY APPROVED. NO SIGNAL LIGHT POLES, PRIVATE DRAINAGE SYSTEMS, WASTEWATER PIPES, WASTEWATER TRENCH EXHAUSTERS OR OTHER STRUCTURES SHALL BE LOCATED WITHIN PUBLIC UTILITY EXHAUSTERS UNLESS A USE OF EASEMENT PERMIT IS OBTAINED FROM THE CITY OF WICHITA PUBLIC WORKS & UTILITIES DEPARTMENT.

ALL ADVERSE RIGHT OF ACCESS TO AND FROM MCLEAN BLVD. ARE HEREBY GRANTED TO THE APPLICABLE GOVERNING BODY. PROVIDED HOWEVER THAT LOT 1 BLOCK 1, SHALL HAVE ONE ACCESS OPENING ON TO MCLEAN BLVD.

A DRAINAGE PLAN HAS BEEN DEVELOPED FOR THIS PLAT.

RESERVE A IS HEREBY PLATED FOR OPEN SPACE, DRAINAGE, LANDSCAPING, BERMS, ENTRY MONUMENTS, SIGNAGE, PEDESTRIAN WALKS, PUBLIC ACCESS, AND UTILITIES CONFINED TO EXHAUSTERS. NO BUILDING SHALL BE CONSTRUCTED IN ANY PORTION OF RESERVE A. RESERVE A SHALL BE OWNED BY THE OWNER OF LOT 1, BLOCK 1 AND MAINTAINED BY THE CITY OF WICHITA AS SHOWN IN THE DEVELOPERS AGREEMENT.

**FOR REFERENCE ONLY  
 NOT TO SCALE**

**BENCH MARKS**

BM #1 Elevation: 1303.91 MVD08  
 Chiseled square with short in center, on top of northeast curb of southwest-bound McLean Blvd. at southeast corner of Lot 1, where old railroad right of way used to cross McLean Blvd. northeast of and in-line with a PVC gas line marker post and a PVC telephone marker post.

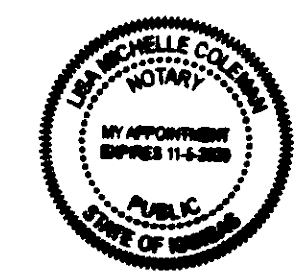
# DELANO HOTEL ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS FINAL PLAT

OWNER: DELANO HOTEL 002B, LLC  
 NICK ESTERLINE, MANAGING MEMBER

STATE OF KANSAS }  
 COUNTY OF JOHNSON } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22<sup>ND</sup> DAY OF JULY, 2019, BY NICK ESTERLINE, MANAGING MEMBER OF DELANO HOTEL 002B, LLC.

Lisa Coleman, NOTARY PUBLIC  
 MY APPOINTMENT EXPIRES Nov. 5, 2020



THIS PLAT OF DELANO HOTEL ADDITION HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS, APPROVED THE 26<sup>TH</sup> DAY OF August, 2019.

Cindy Miller, CHAIR  
 Dale Miller, SECRETARY



OWNER: EPC REAL ESTATE GROUP, LLC  
 MIKE MCKEEN, PRESIDENT

STATE OF KANSAS }  
 COUNTY OF JOHNSON } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14<sup>TH</sup> DAY OF JULY, 2019, BY MIKE MCKEEN, PRESIDENT OF EPC REAL ESTATE GROUP, LLC.

Aimee Johnson, NOTARY PUBLIC  
 MY APPOINTMENT EXPIRES 1/27/2022

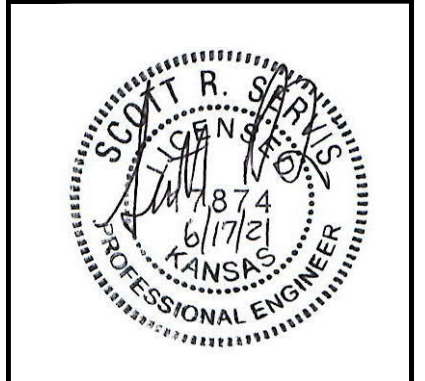


REVIEWED IN ACCORDANCE WITH K.S.A. 58-2005 ON THIS 1st DAY OF August, 2019.

Tricia L. Robello, P.S. #1246  
 DEPUTY COUNTY SURVEYOR  
 SEDGWICK COUNTY KANSAS

THIS PLAT IS APPROVED AND ALL DEDICATIONS SHOWN HEREON ACCEPTED BY THE CITY COUNCIL OF THE CITY OF WICHITA, KANSAS, THIS 27<sup>TH</sup> DAY OF August, 2019.

Jeff S. Arguwell, MAYOR  
 Karen Sublett, CITY CLERK



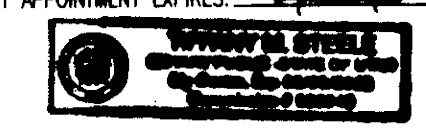
WE, WOODBURY GROUP INC., HOLDER OF A MORTGAGE ON THE ABOVE DESCRIBED PROPERTY DO HEREBY CONSENT TO THE PLATING OF DELANO HOTEL ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

W. Richards Woodbury, PRESIDENT OF WOODBURY GROUP, INC.  
 O. Randall Woodbury, VICE PRESIDENT OF WOODBURY GROUP, INC.

STATE OF UTAH }  
 COUNTY OF SALT LAKE } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 26<sup>TH</sup> DAY OF JULY, 2019, BY W. RICHARDS WOODBURY, PRESIDENT OF WOODBURY GROUP, INC. AND O. RANDALL WOODBURY, VICE PRESIDENT OF WOODBURY GROUP, INC.

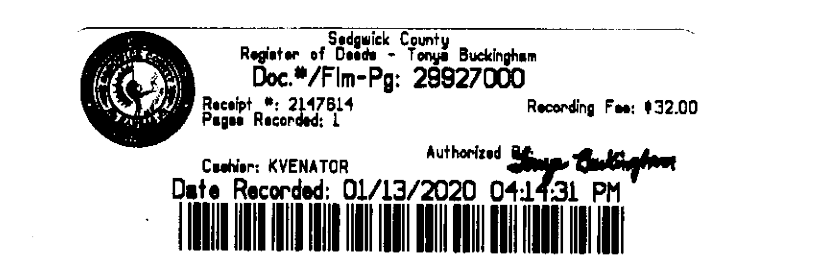
Tracy M. Steele, NOTARY PUBLIC  
 MY APPOINTMENT EXPIRES 3/9/22



ENTERED ON TRANSFER RECORD THIS 10<sup>TH</sup> DAY OF January, 2020  
 Kelly B. Arnold, COUNTY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT 4:11:11 P.M. ON THE 19<sup>TH</sup> DAY OF January, 2019.

Stephany Buckingham, REGISTER OF DEEDS  
 Kenly Zering, DEPUTY



**PEC** PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
 303 SOUTH TOPEKA WICHITA, KS 67202  
 316-262-2691 www.pac1.com

PC 200-8

**BAUGHMAN COMPANY**

315 Ellis St.  
 Wichita, KS 67211  
 316-262-7271  
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Mokas Wichita
Plat
Water Distribution System Improvements
PROJECT NUMBER: 21-02-E828
DESIGN: SRS DRAWN: SRS
DATE: June 14, 2021
SHEET OF 11 11

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