

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
  
Kansas One-Call 687-2470  
  
The Contractor must notify the following in case of an emergency:  
  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water & Sewer 1-316-219-8921  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westor Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valves one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match final grades by the contractor.
- The Contractor shall notify the inspecting engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Mike Armour at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

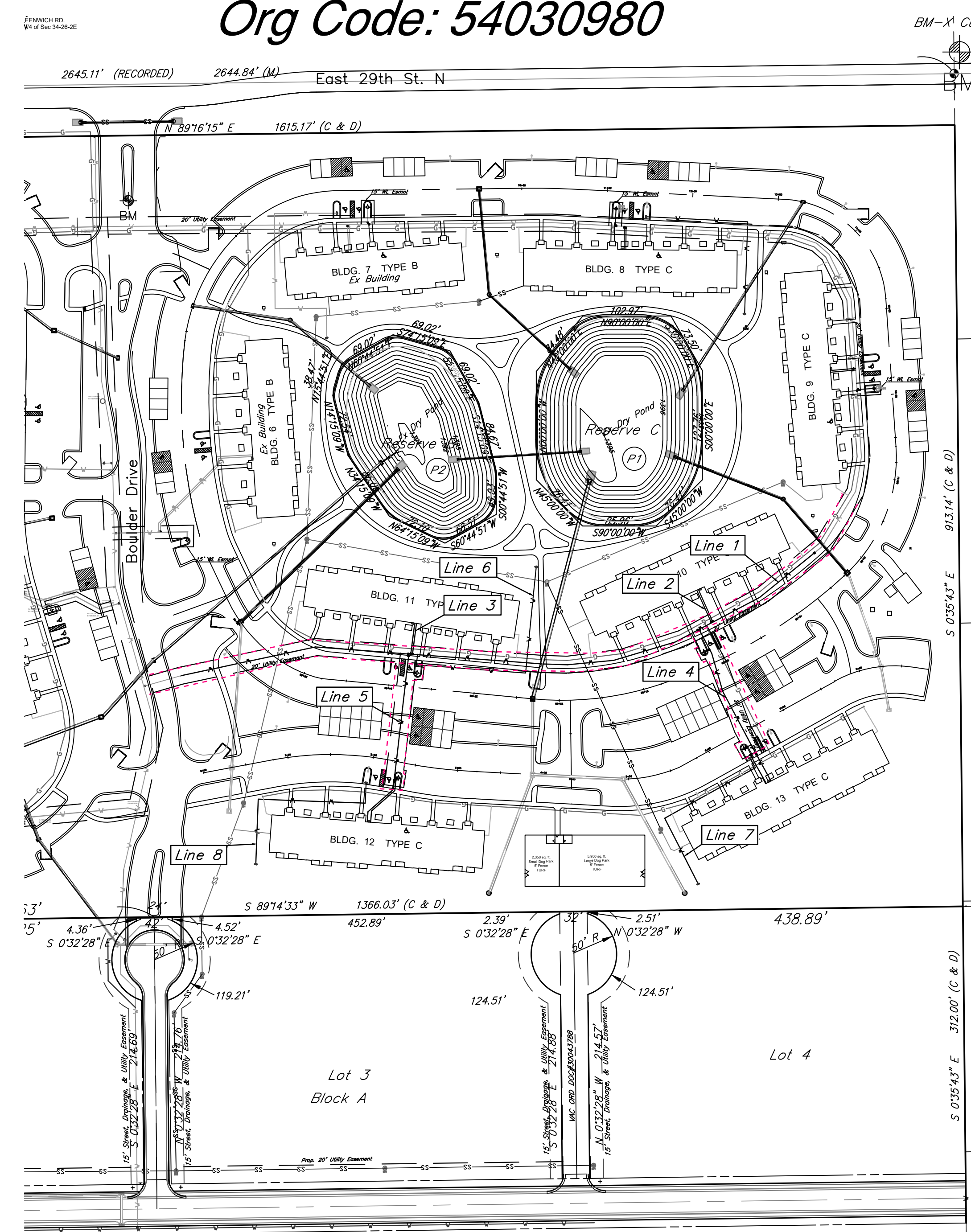
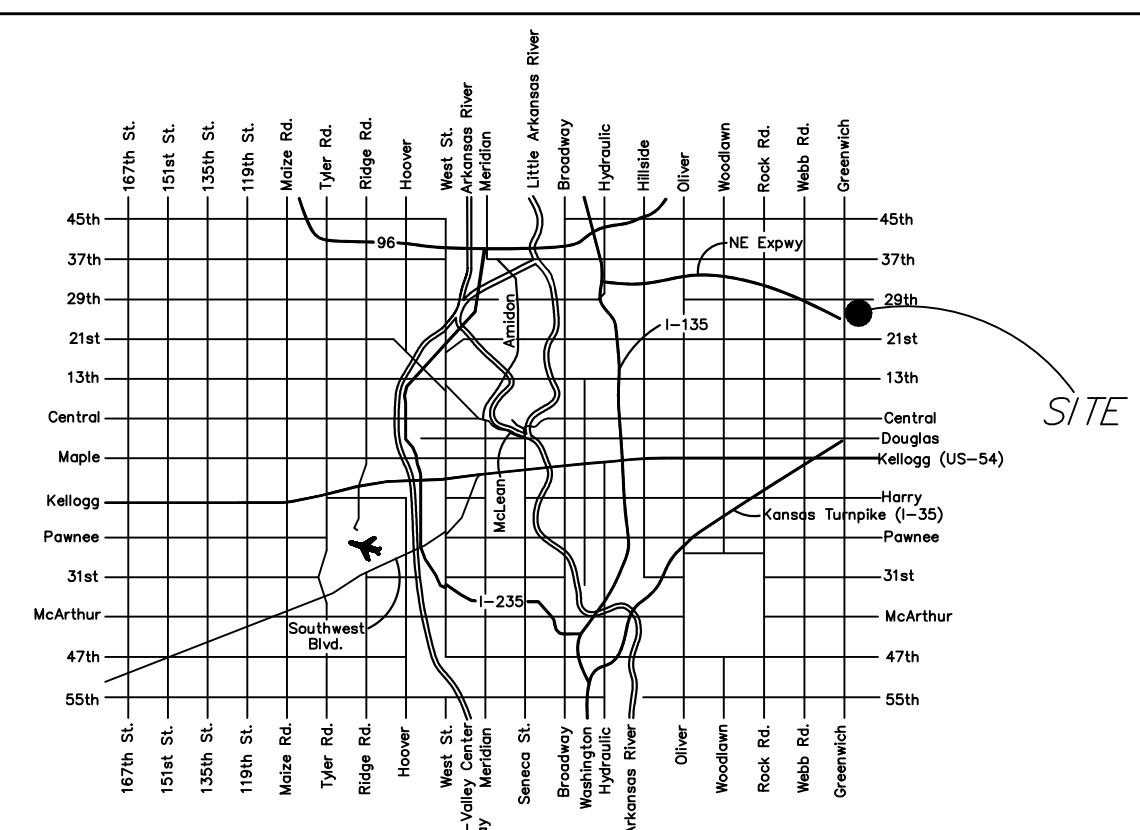
- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- All applicable fees (tap, equity, in lieu of & main benefit) must be paid before any connections can be made on this project. Quotes can be obtained on fees by calling 316-268-4555.
- City maintenance of water mains ends at right-of-way or easement line or within two feet of vault.
- Opening and closing of water valves shall be done slowly to prevent damage to the water distribution system from water hammer. All valves closed by the contractor must be reopened as new construction permits. The project inspector must ascertain that any valve closed by the Contractor is reopened. The contractor will be permitted to operate water valves only when the project inspector assigned to the project is present.
- The Contractor shall lay a Tracer Wire and Set Test Stations along all water pipe installed in accordance with City Specifications and Tracer Wire Detail on detail sheet WL-101, cost is subsidiary to pipe installation.
- The contractor shall provide materials for temporary blowoff of waterlines. Connections to the existing waterline(s) shall be made with clean, swabbed pipe and flushed upon completion of tie-ins.
- Requests for short term water interruptions shall be made to the City Water Distribution Division and will be subject to their approval. The Contractor shall give written notice to any property owner, business, and/or tenants that will have water service interrupted at least 5 days in advance. Such notifications should indicate the time and date that the water will be turned off and when the service will be restored. No business, property owner, and/or tenants shall be without water service for more than 8 hours. Proposed tie in locations which will affect water service to property owners shall be performed during non-peak hours.
- The Contractor must schedule the connections to the existing main with the City such that there is a minimum disruption of service. Connections shall be made during periods of low water usage. The Contractor shall submit his proposed schedule for completing work for City approval at least 10 days prior to beginning construction.
- Deflections at pipe joint or couplings shall not exceed the pipe manufactures recommended maximum. Where deflections are greater than the maximum allowed, the contractor shall utilize fittings.
- Any existing joint exposed during excavation shall be replaced if within four feet of proposed joint.
- Valves 12 inch and larger are to be operated by the City Water Distribution Division, 48 hours of advance notice is required with the water Dispatch at 316-291-8921.
- All wet taps shall be installed by the City of Wichita. The Contractor will reimburse the City for tapping fees prior to tap being made. Unless noted on plans.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- Wichita Fire Department inspections may be scheduled by calling 316-650-0740
- Maintain a minimum of 10-foot horizontal separation between all water lines (mains, services, and fire hydrants) and all sanitary sewer lines (mains, services, and manholes). All separation distances are to be measured from edge-to-edge at the closest point.
- Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all gravity sanitary lines (mains, services, and manholes) at crossings. All separation distances are to be measured from edge-to-edge, at the closest point.
- Maintain a minimum of 2-foot vertical separation between all water lines (mains and services) and all pressurized sanitary sewer lines (force mains and services) at crossings. Waterlines must always be placed above pressurized sanitary sewer lines where they cross. All separation distances are to be measured edge-to-edge, at the closest point.

**AS BUILTS**

Contractor: McCullough Excavation  
Project Inspector: Eric Miner  
**KEMILLER ENGINEERING PA**  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

**Materials List**  
Mueller Valves  
Mueller Fire Hydrants (STORZ Connection)  
Northern Pipe Products C-900 Pipe  
Clow Valves  
Star Fittings  
Pro Trace Wire

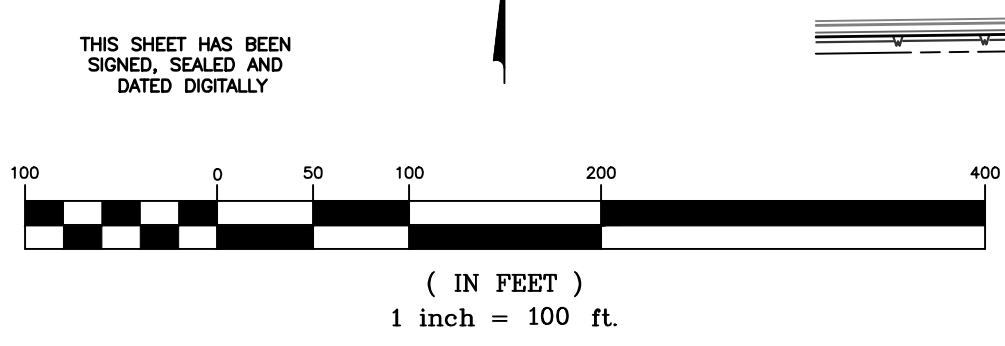
# WATER DISTRIBUTION SYSTEM to serve STONEY POINTE APARTMENTS Phase II-B CITY OF WICHITA, KANSAS Gary Janzen, P.E., City Engineer 2021-025072 PPW Org Code: 54030980



## Benchmark

**Benchmark #1:**  
Cross Cut on side side of Median, approx. 120 Ft South of 29th St. and Boulder Drive intersection  
Elevation = 1,399.42 NAVD88

**Benchmark #2:**  
X" Cut on West end of an RCP on the North side of 29th Street at the west drive for the electric sub-station, approximately 6.5' East and 25.2' North of the Northeast Corner of the Northwest Quarter, Sec. 3, T27S, R2E.  
Elevation = 1406.33 NAVD 88



## LOCATION MAP (For Visual Use Only)

### Index of Sheets:

1.0	Cover Sheet
2.0	Overview Map
3.0	Line 1
3.1	Line 1
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3.5	Line 5
3.6	Line 6
3.7	Line 7
3.8	Line 8
4.0	Standard Water Details
4.1	Standard Water Service Details
4.2	Misc. Water Details
4.3	Yard FDC Detail
5.0	Erosion Control Plan
5.1	Back of Curb Protection . . .
5.2	Silt Fence Ditch Check . . .
5.3	Straw Bale Ditch Check . . .
5.4	Subdivision Development Process
5.5	Street Improvement Process
6.0	Copy of Plat

APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION  
& BY WICHITA FIRE DEPARTMENT

Engineering approved by Benjamin Ferguson on this day the 14th of September, 2021  
Utilities approved by Greg Lolley on this day the 14th of September, 2021  
Fire Dept. approved by Jose Ocaiz on this day the 14th of September, 2021

**NOTE TO CONTRACTORS**

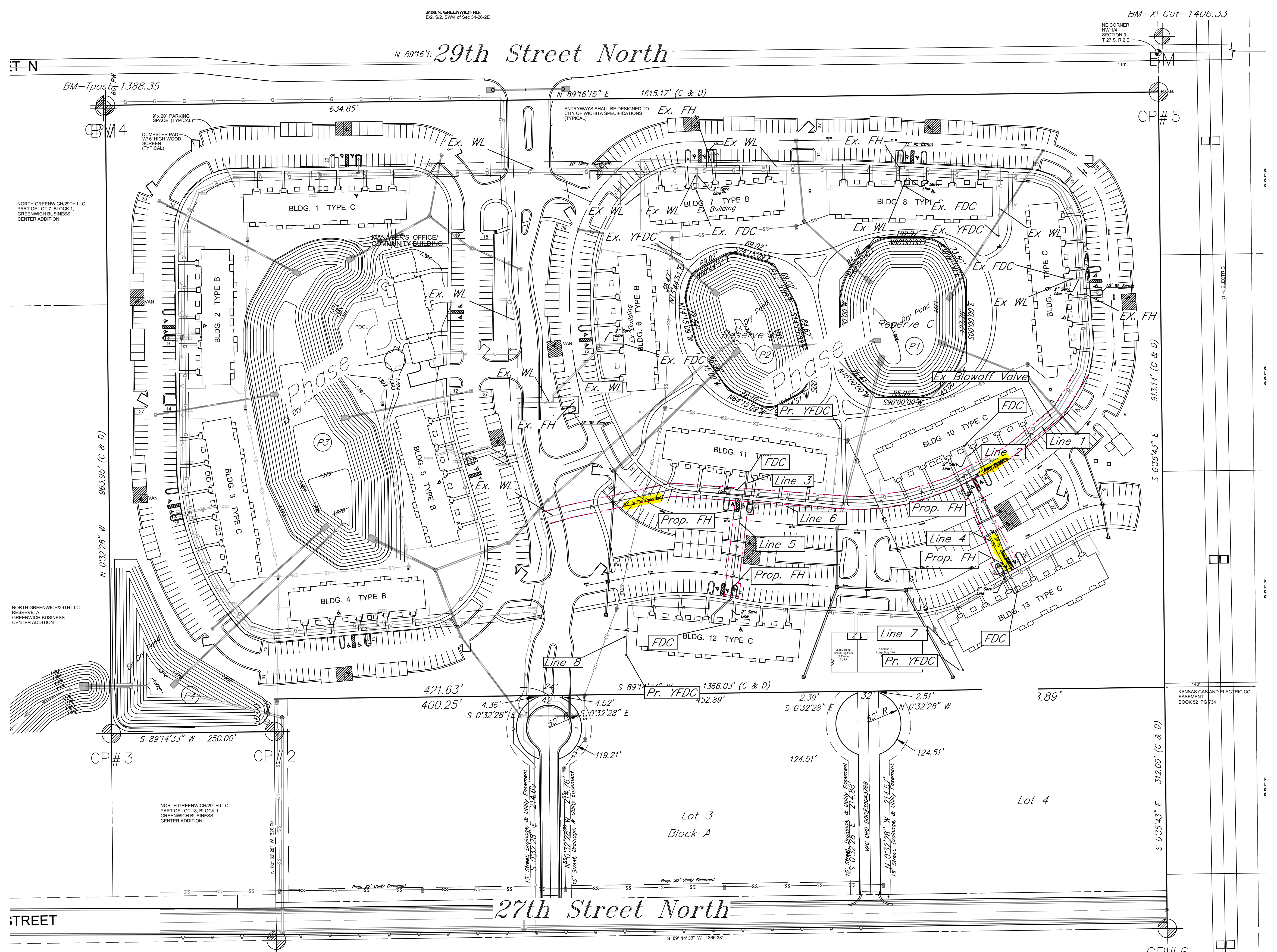
**Public Property:**  
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provision (on file and available in the City Engineer's Office) or on the City's Website.

**Private Property:**  
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

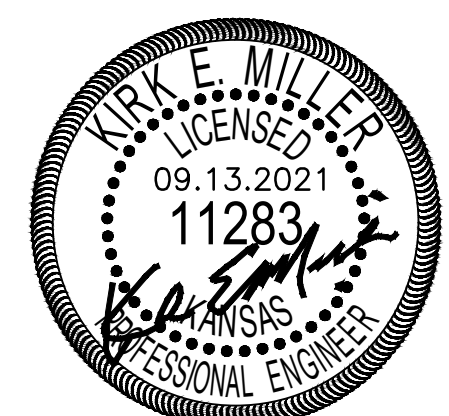
An approved copy of these plans signed by City staff are required on-site.

**KEMILLER ENGINEERING PA**  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

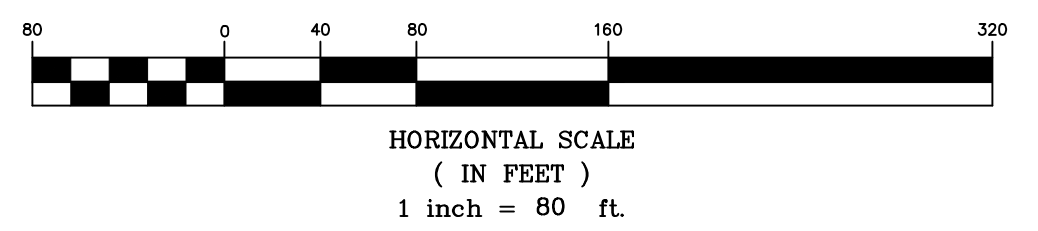
27th Street  
June, 2021



Point #	Northing	Easting	Desc.
1	1703590.09	1687251.62	5/8" Re-Bar
2	1703910.07	1687248.60	5/8" Re-Bar
3	1703906.77	1686998.62	5/8" Re-Bar
4	1704870.49	1686989.51	5/8" Re-Bar
5	1704891.05	1688604.55	5/8" Re-Bar
6	1703608.16	1688617.88	5/8" Re-Bar



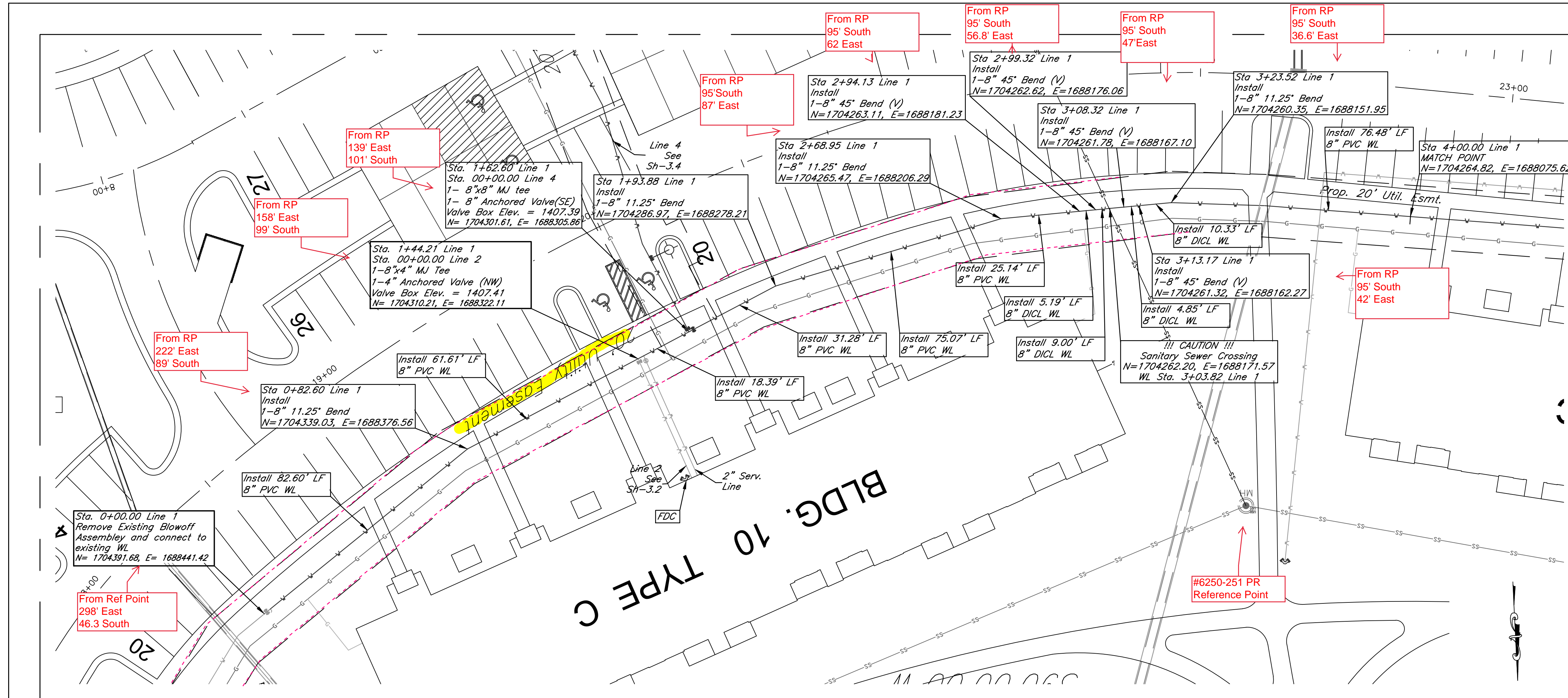
THIS SHEET HAS BEEN  
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DATED DIGITALLY



Stoney Pointe Apartments - Phase II B  
Overview - Water Lines  
Wichita, Kansas

	PROJECT NUMBER		
	KEM NO. 21056	FILE	DATE 6/2021
DESIGN KM	DRAWN PG	REVISED	SHEET 2.0

September 13, 2021



Note: All 8" PVC Waterline shall be AWWA C-900, Pressure Class 150

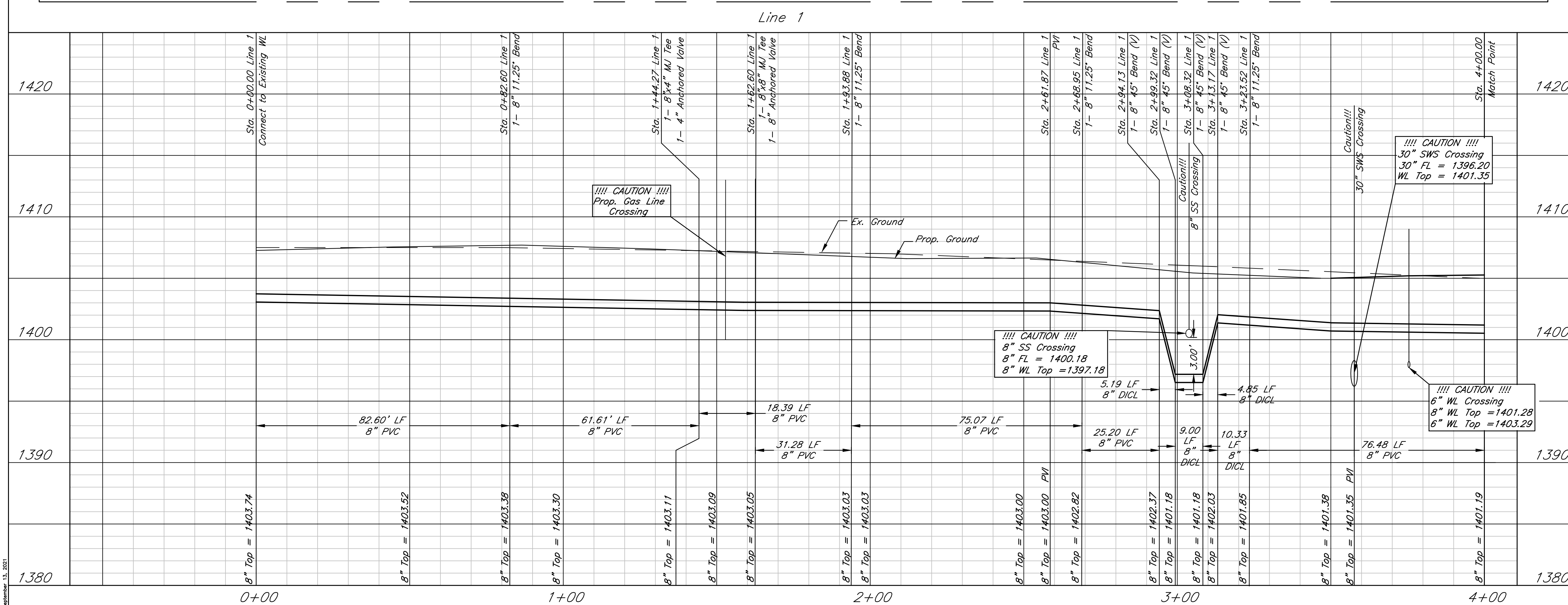
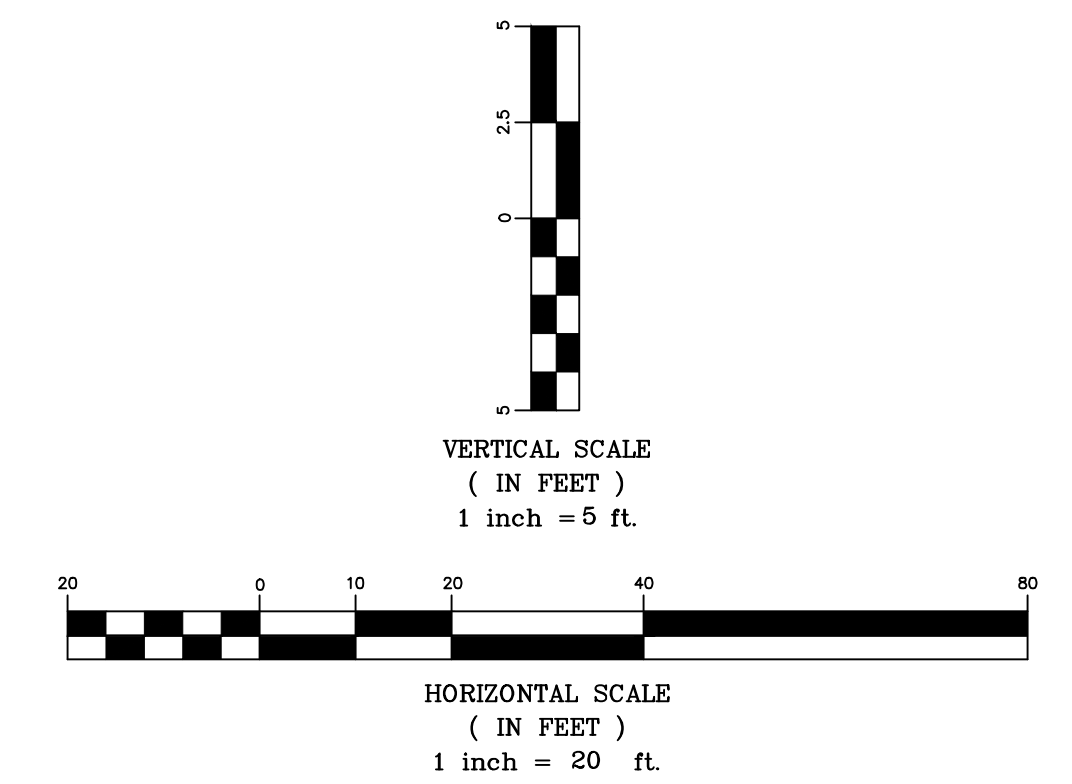
**AS BUILTS**

**KEMILLER**  
ENGINEERING PA  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

Sanitary Sewer Manhole Reference Point 6250-2514 PR



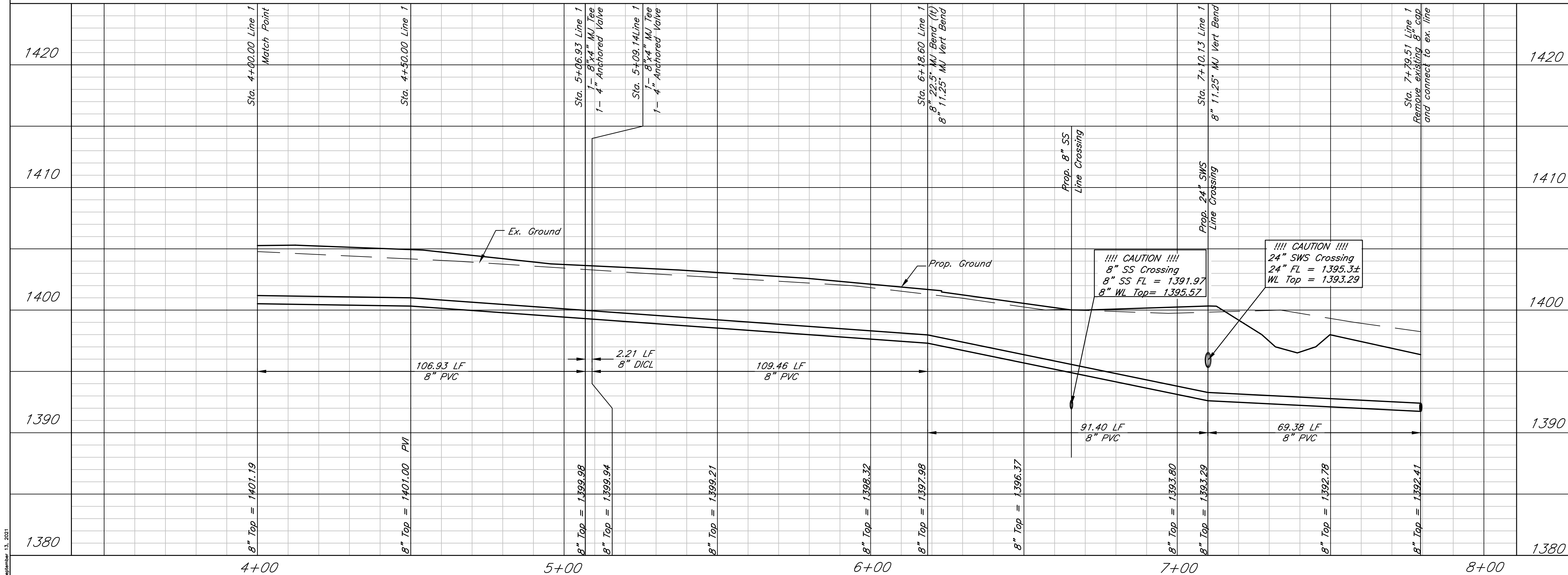
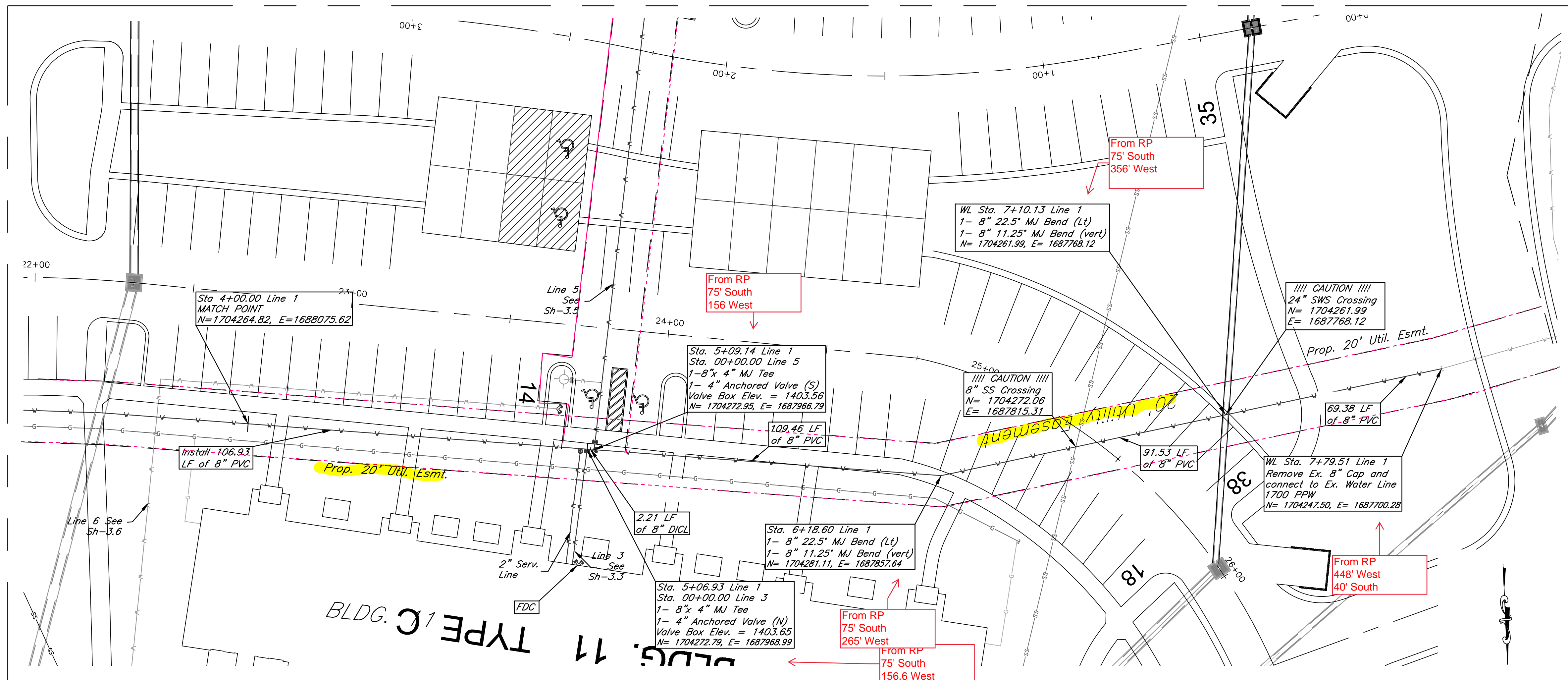
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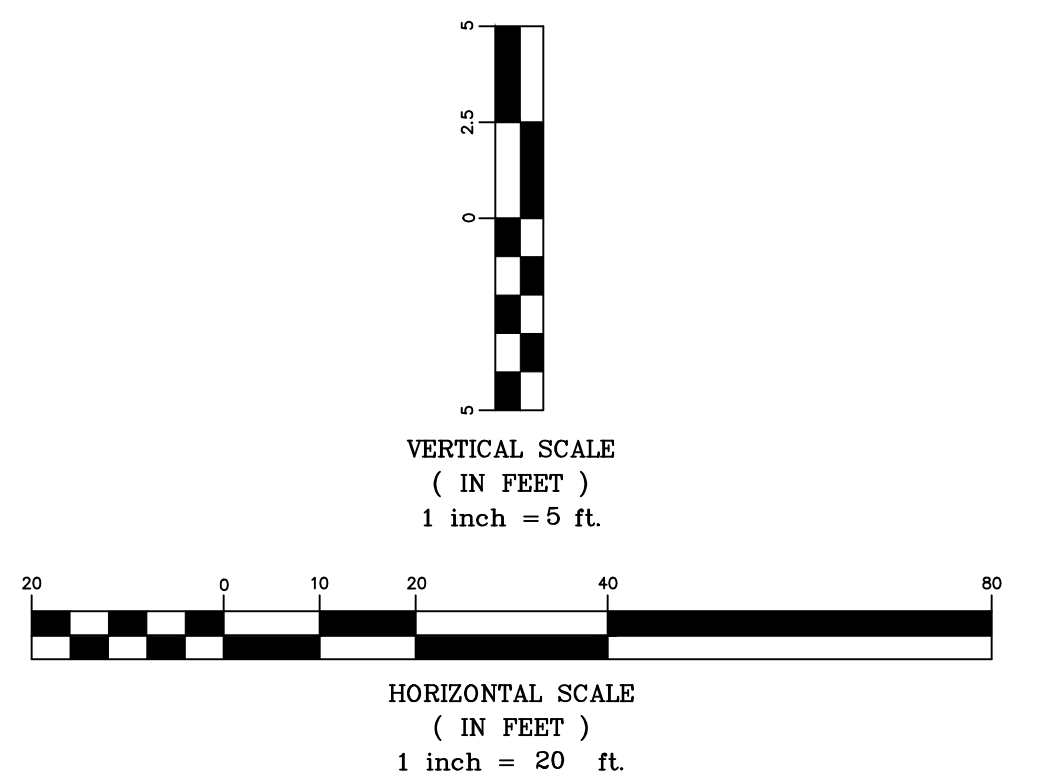
Stoney Point Apartments - Phase II B  
Plan and Profile - Line 1  
Wichita, Kansas

<b>KEMILLER</b> ENGINEERING PA 117 E. Lewis, Wichita, KS 67202 (316)264-0242	PROJECT NUMBER			SHEET <b>3.0</b>
	KEM NO. 21056	FILE	DATE 6/2021	
DESIGN KM	DRAWN PG	REVISED		

Note: All 8" PVC Waterline shall be AWWA C-900, Pressure Class 150



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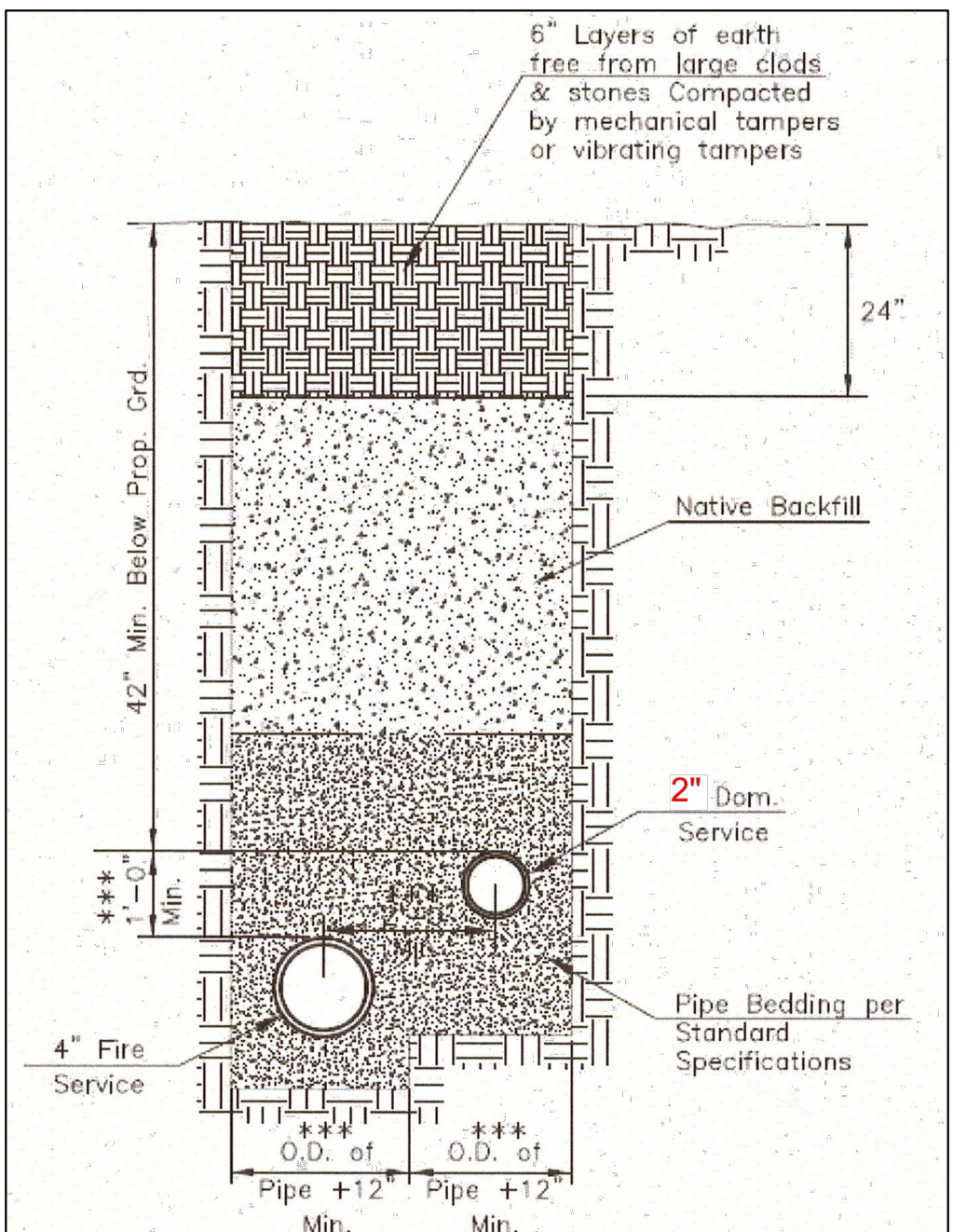
Stoney Pointe Apartments - Phase II B  
Plan and Profile - Line 1  
Wichita, Kansas

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DESIGN KM	DRAWN PG	REVISED		

September 13, 2021



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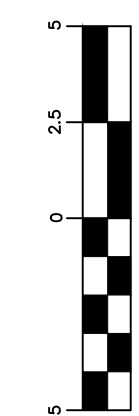


COMBINED TRENCH SECTION

\*\*\* Trench size and stair step dimensions shall be based on thrust block requirements against virgin soil or, at the contractor's discretion, restrained joint pipe may be used and the minimum dimensions followed.



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VERTICAL SCALE ( IN FEET ) 1 inch = 5 ft.



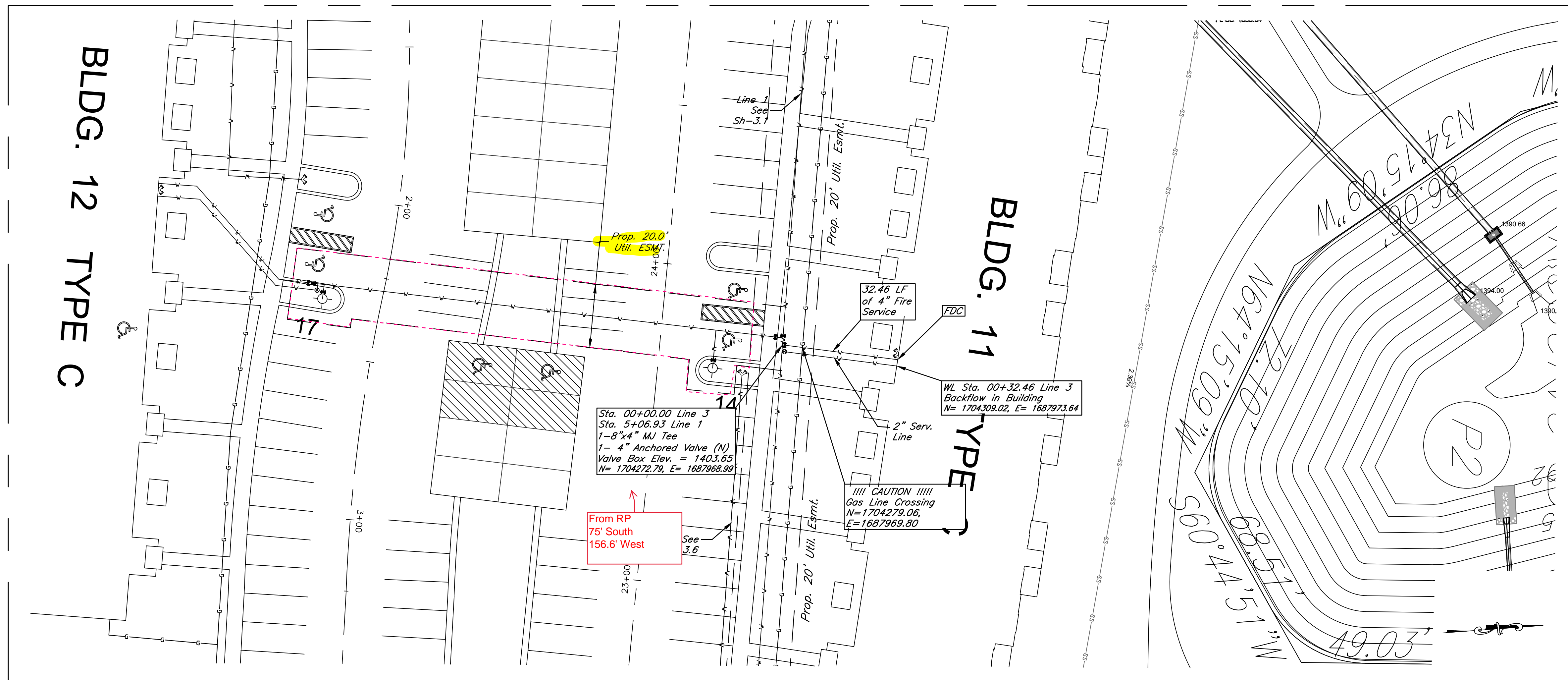
HORIZONTAL SCALE ( IN FEET ) 1 inch = 20 ft.

Stoney Pointe Apartments - Phase II B  
Plan and Profile - Line 3  
Wichita, Kansas

PROJECT NUMBER



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DESIGN KM	DRAWN PG	REVISED	3.3

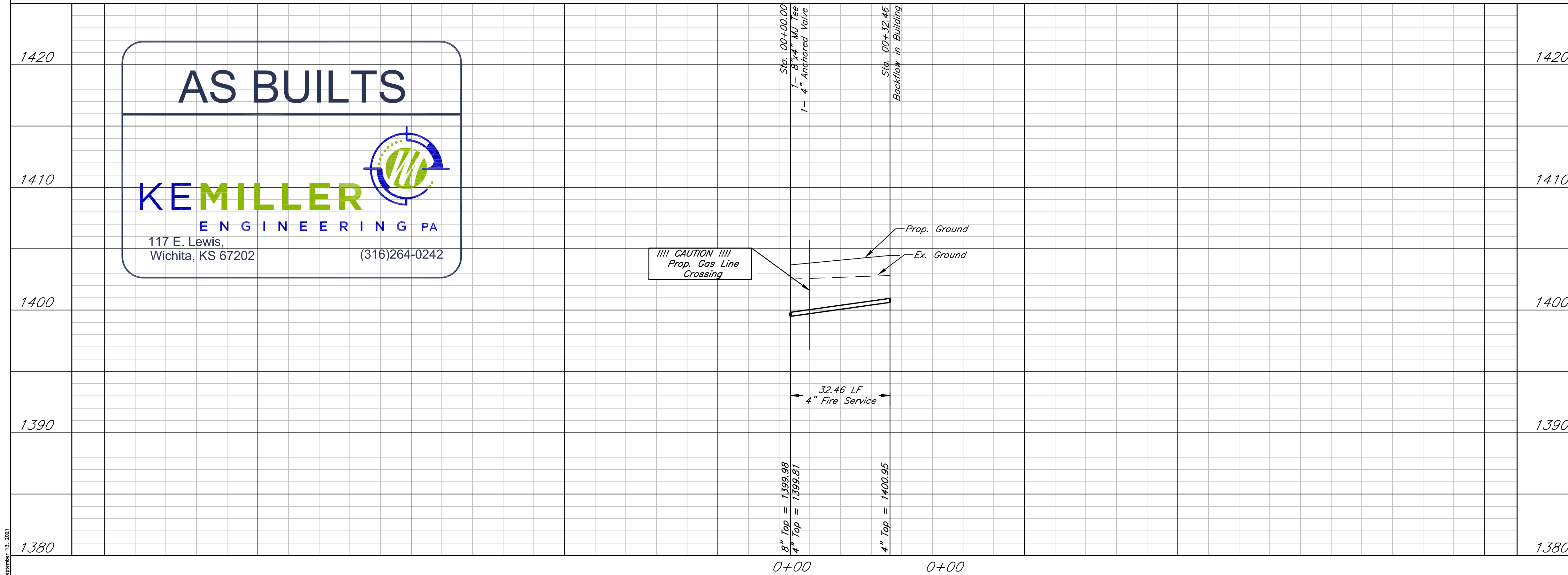
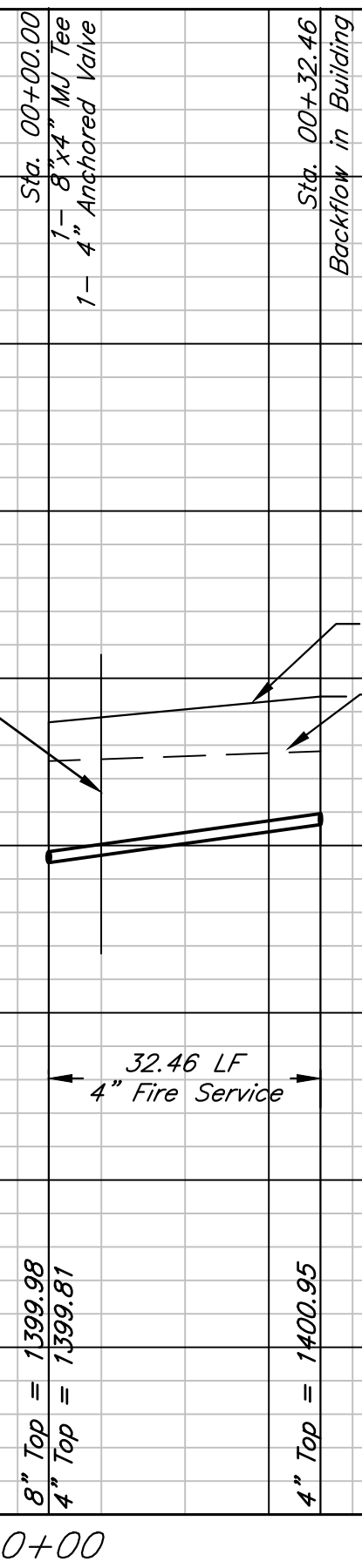


Line 3

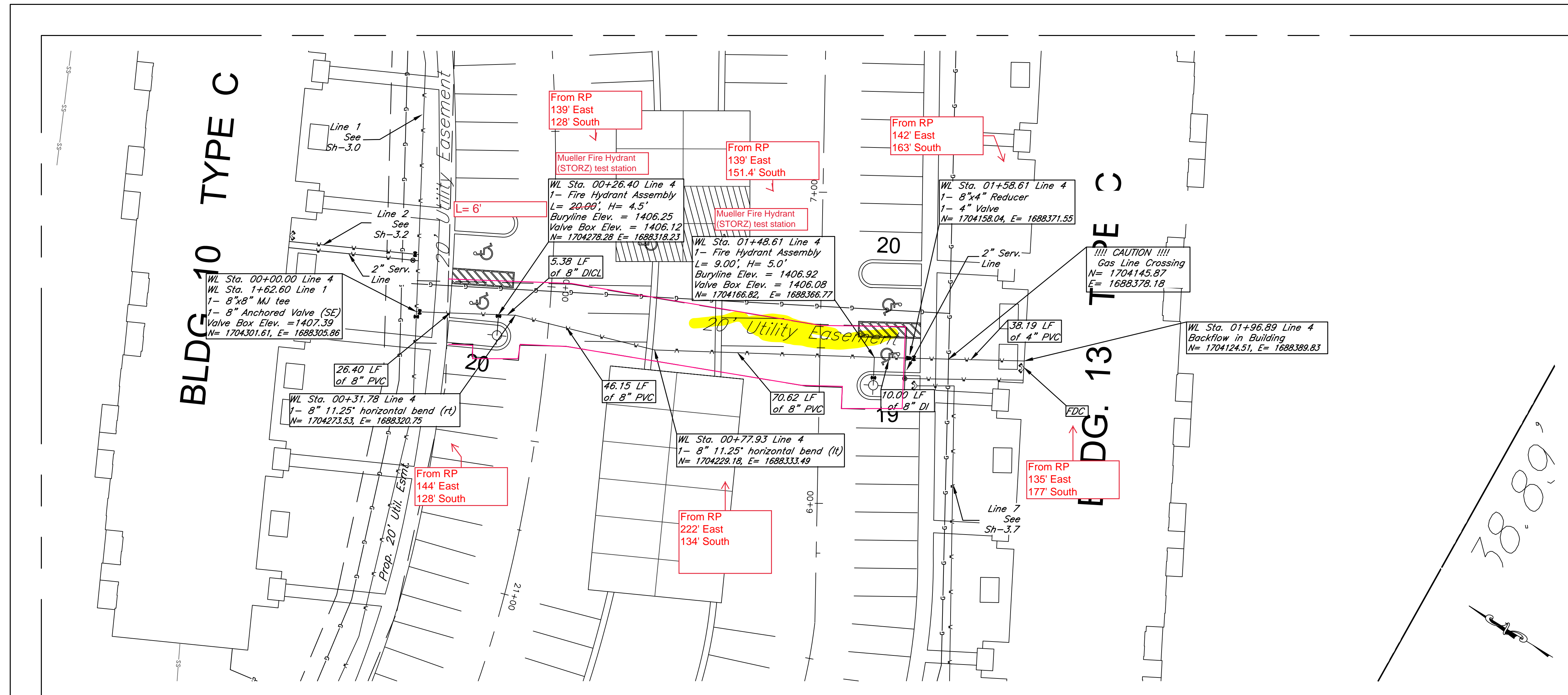
**AS BUILTS**

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117 E. Lewis,  
Wichita, KS 67202 (316)264-0242

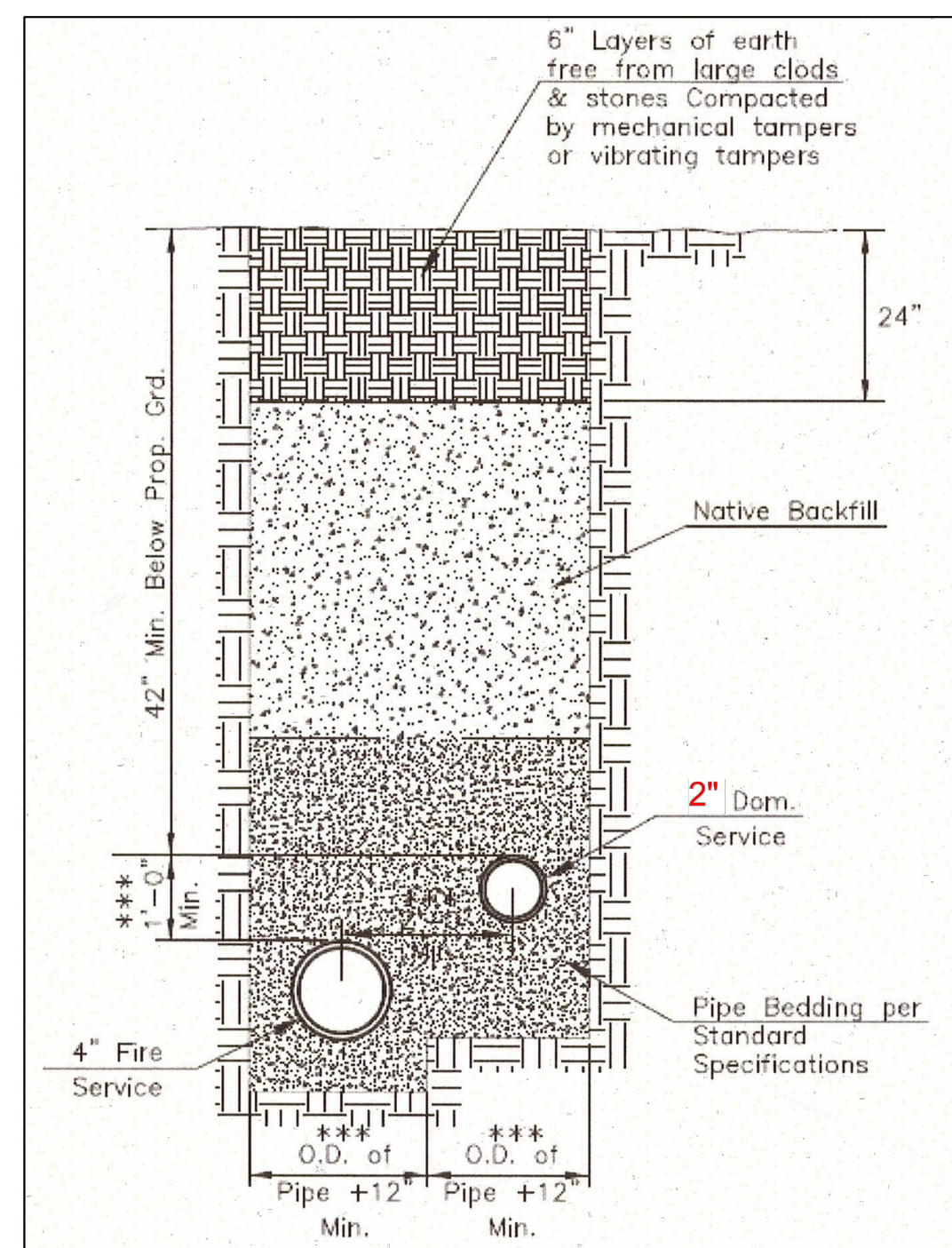
!!!! CAUTION !!!!  
Prop. Gas Line Crossing



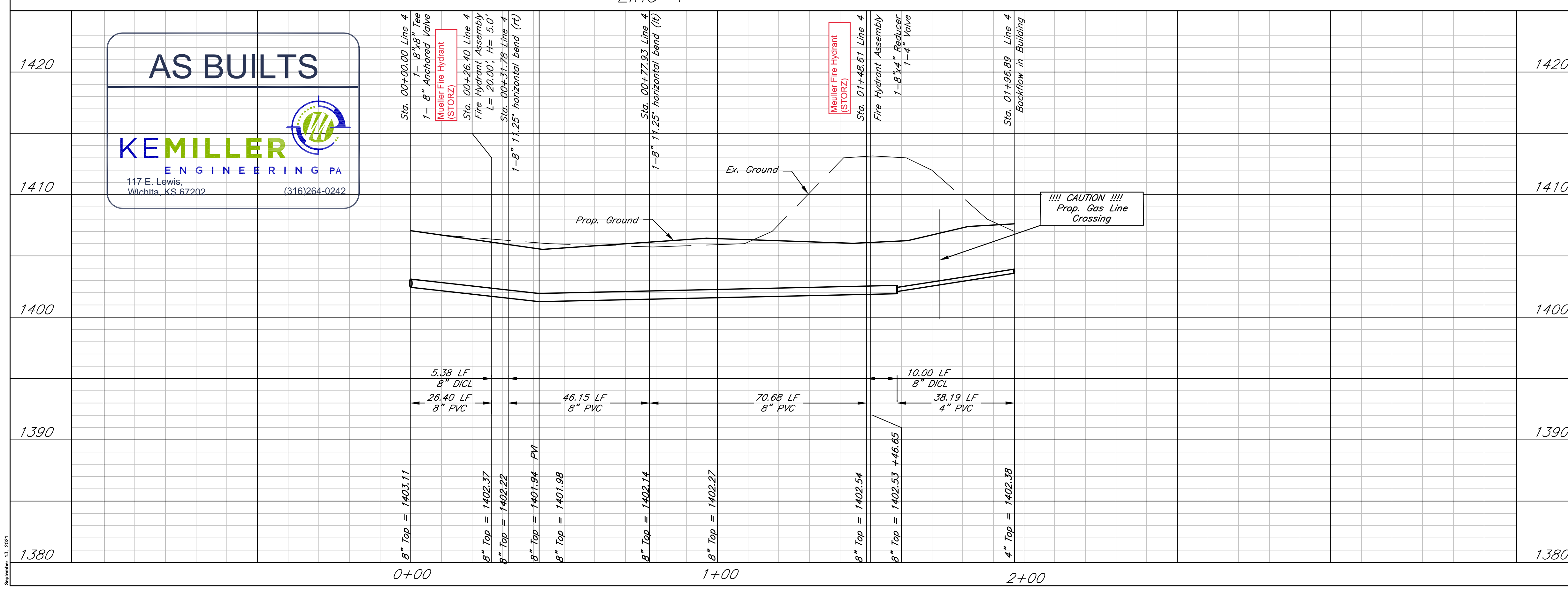
September 13, 2021



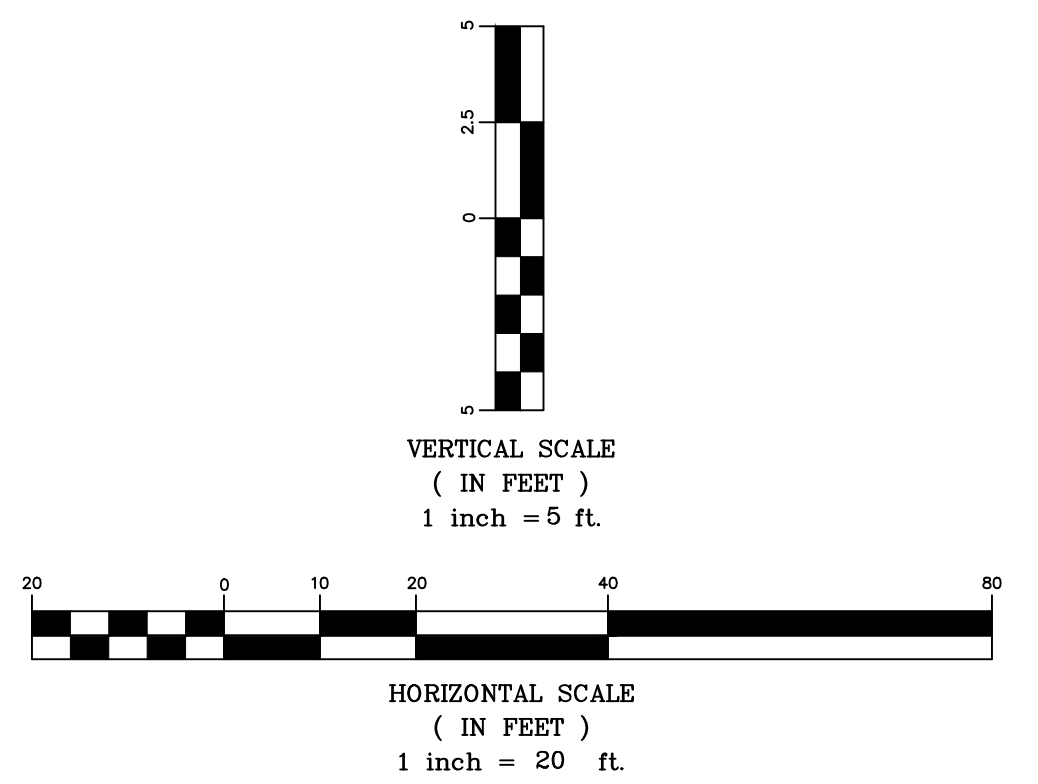
Note: All 8" PVC Waterline shall be AWWA C-900, Pressure Class 150



COMBINED TRENCH SECTION  
 \*\*\* Trench size and stair step dimensions shall be based on thrust block requirements against virgin soil or, at the contractor's discretion, restrained joint pipe may be used and the minimum dimensions followed.



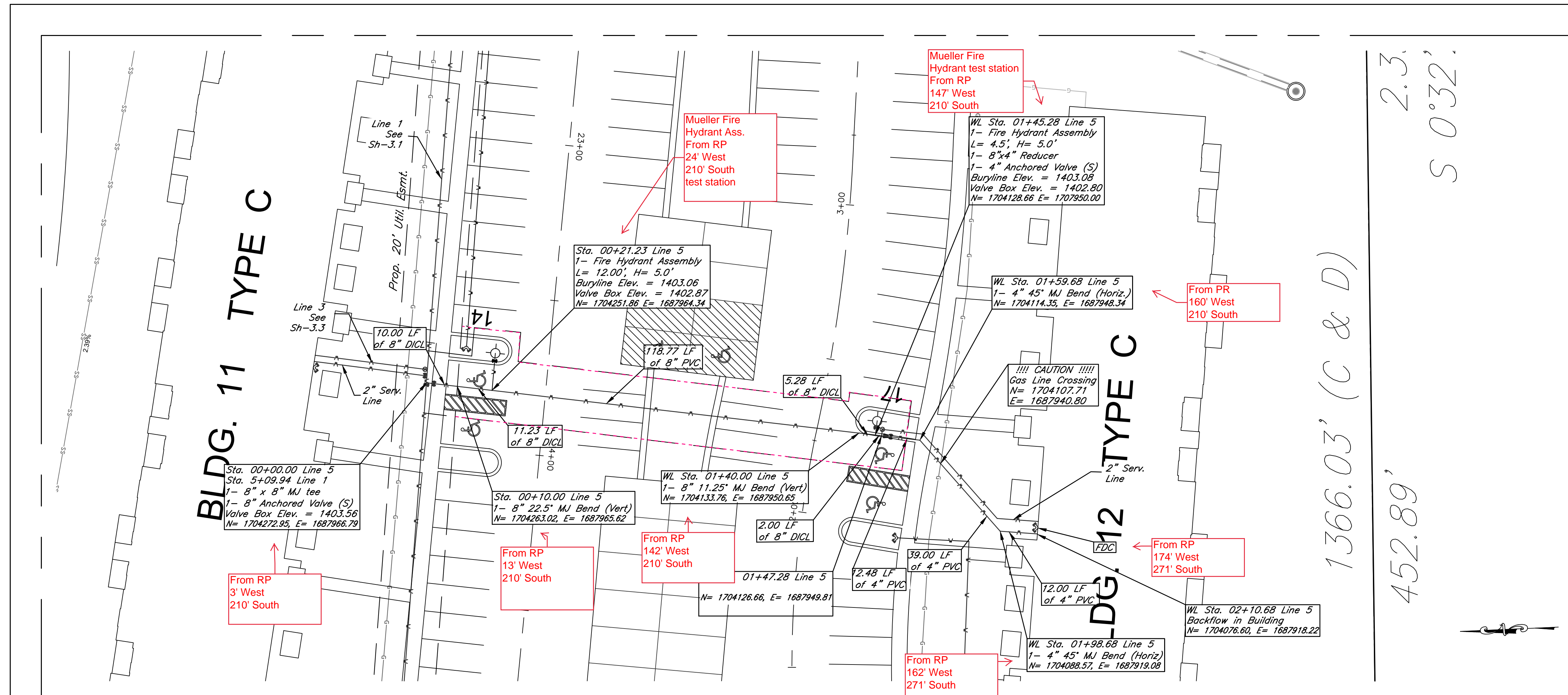
THIS SHEET HAS BEEN SIGNED, SEALED AND DATED DIGITALLY



Stoney Point Apartments - Phase II B  
 Plan and Profile - Line 4  
 Wichita, Kansas

	PROJECT NUMBER			
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DESIGN KM	DRAWN PG	REVISED		

September 13, 2021

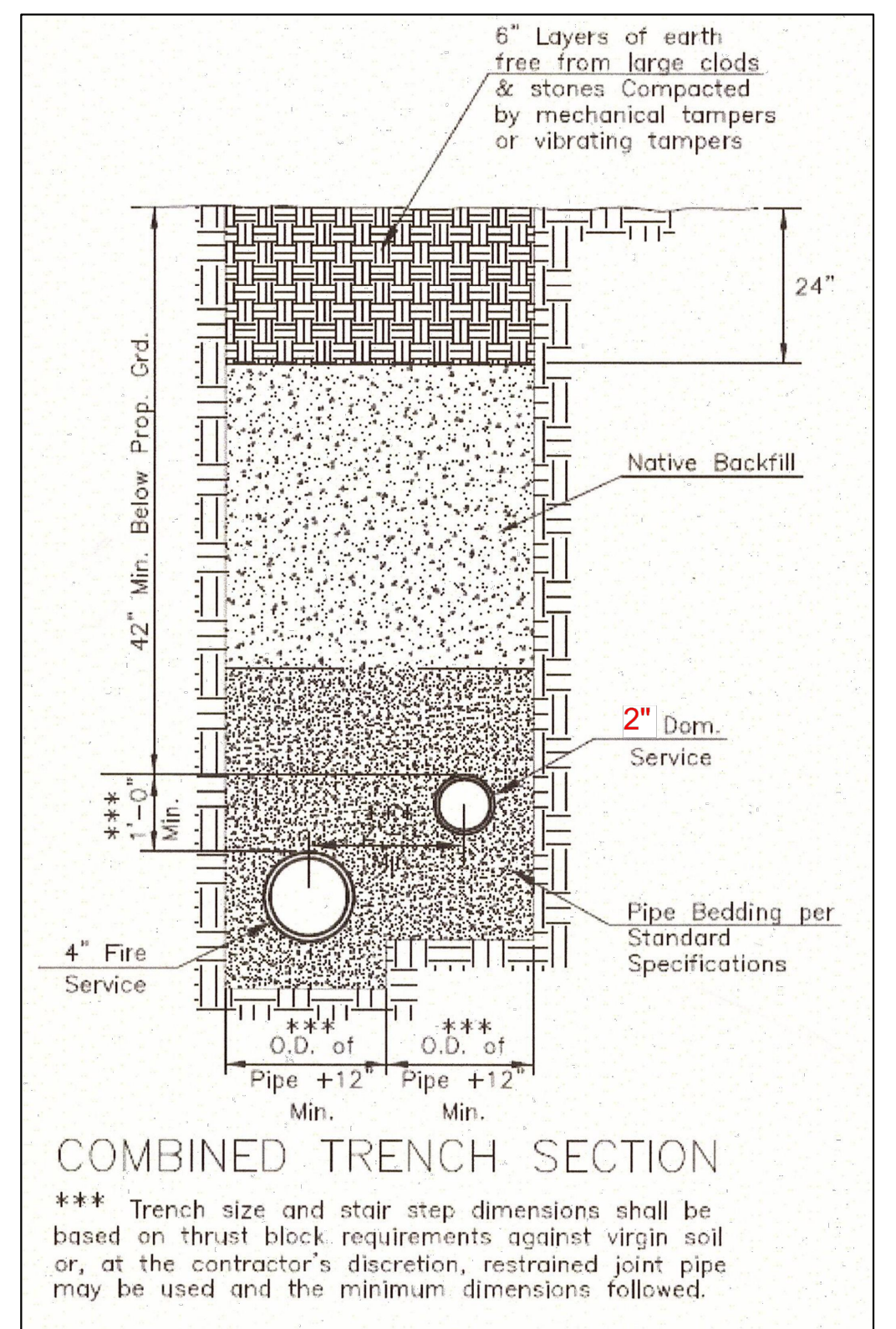


2.3.  
S 0°32'

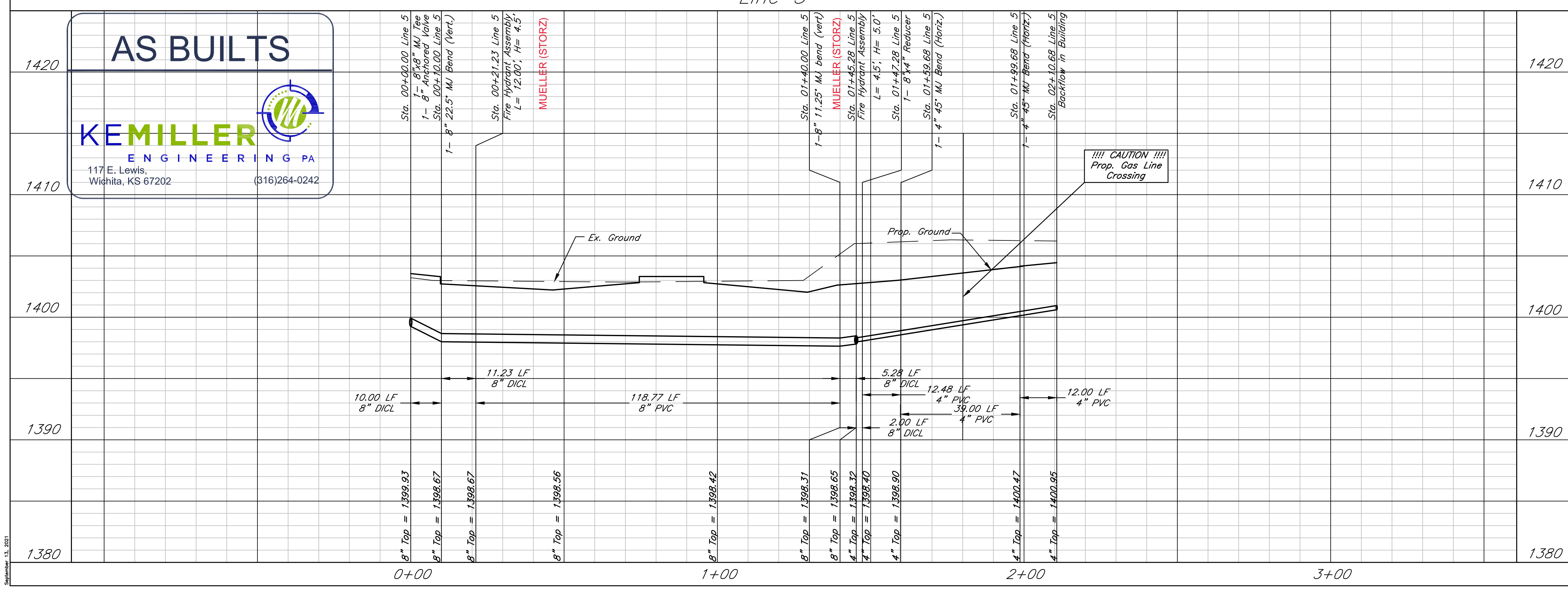
1366.03' (C & D)

452.89'

Note: All 8" PVC Waterline shall be AWWA C-900, Pressure Class 150



COMBINED TRENCH SECTION  
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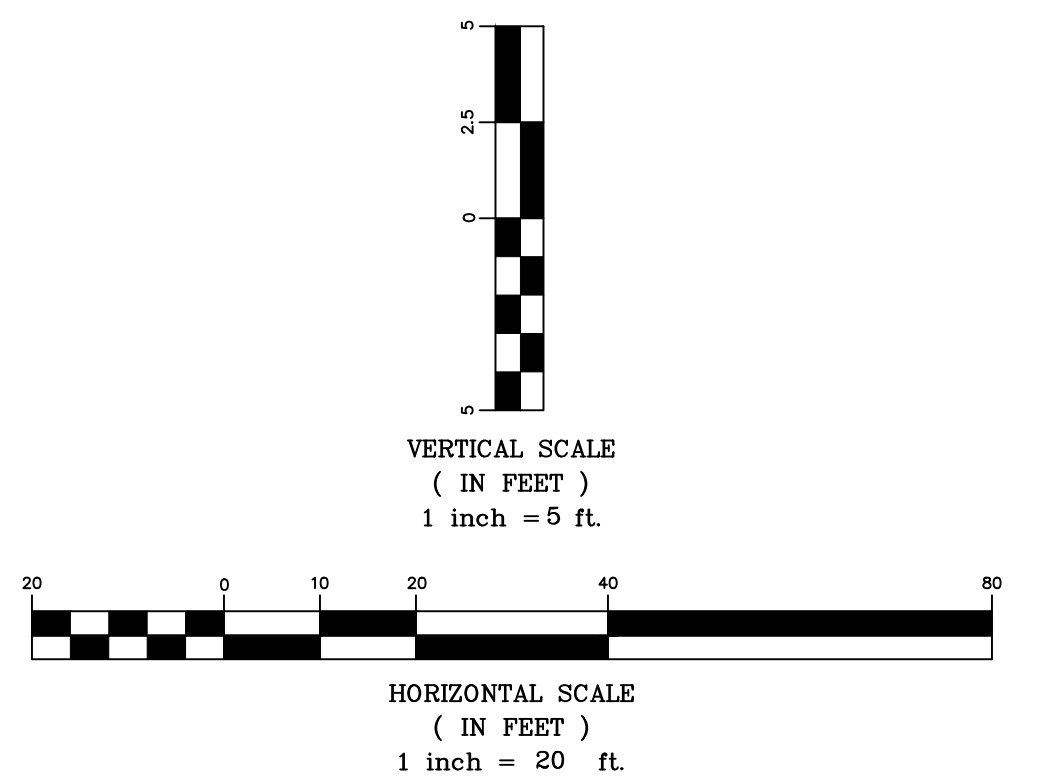


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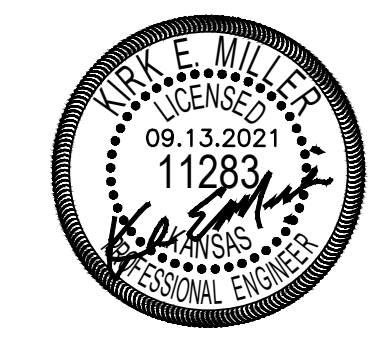
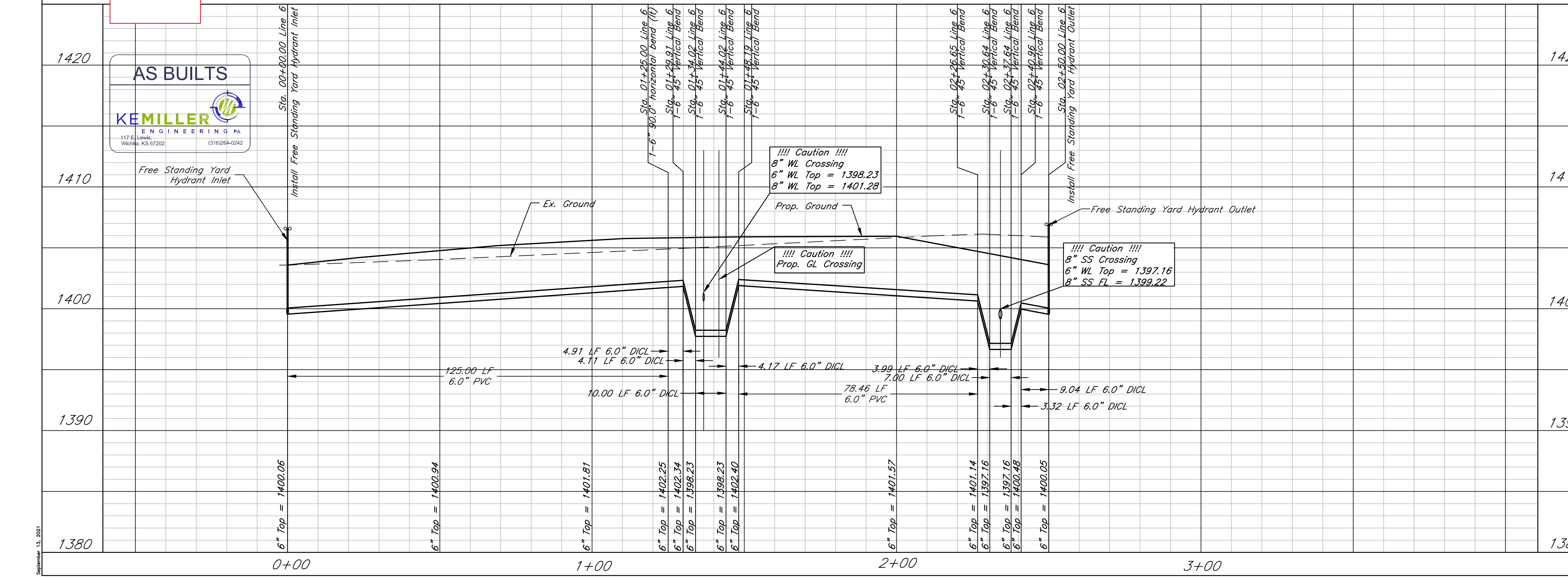
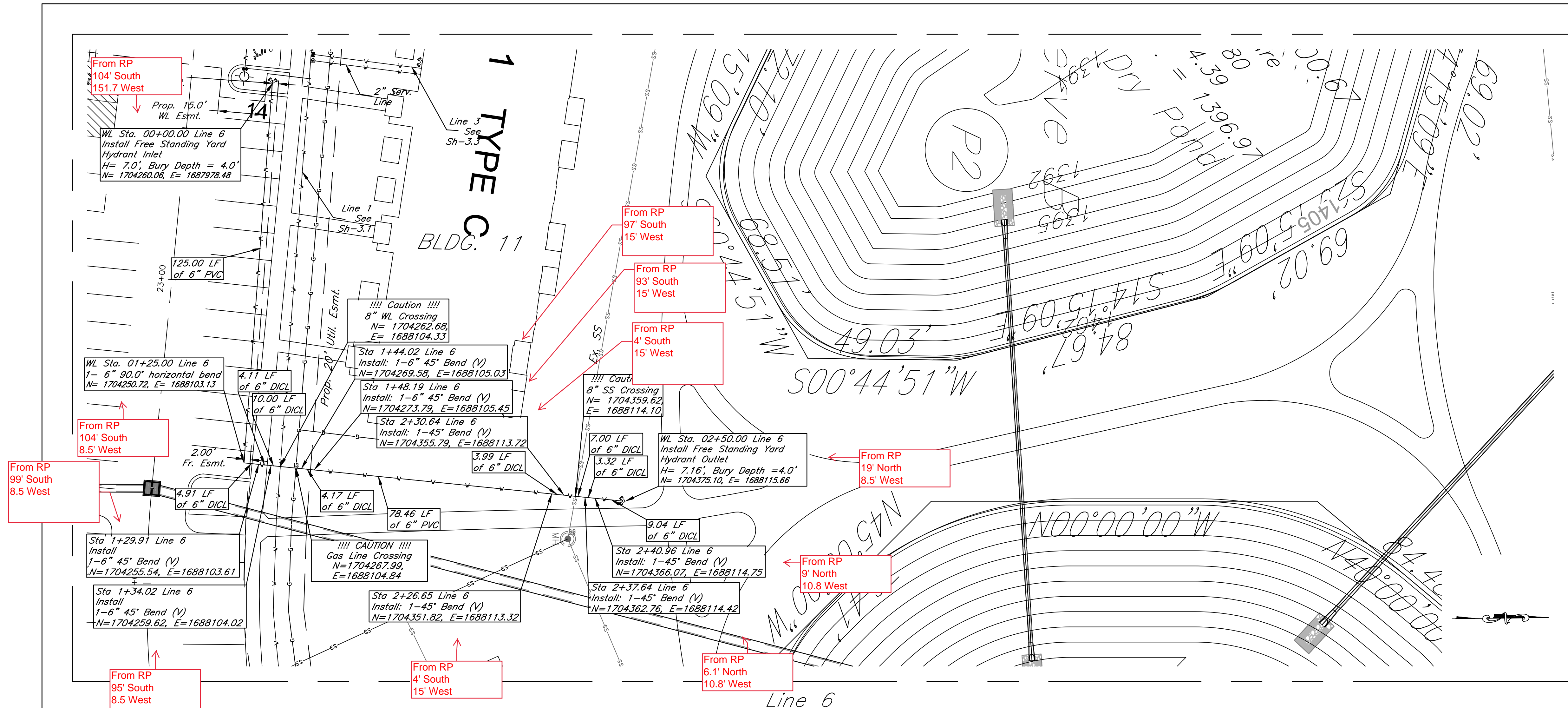


Stoney Point Apartments - Phase II B  
Plan and Profile - Lines 5  
Wichita, Kansas

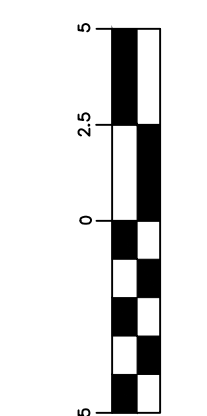
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	KEM NO. 21056 DESIGN KM	FILE DRAWN PG	DATE 6/2021 REVISED	

September 13, 2021

Note: See 4.3 for Free Standing Hydrant Details



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VERTICAL SCALE ( IN FEET )  
1 inch = 5 ft.



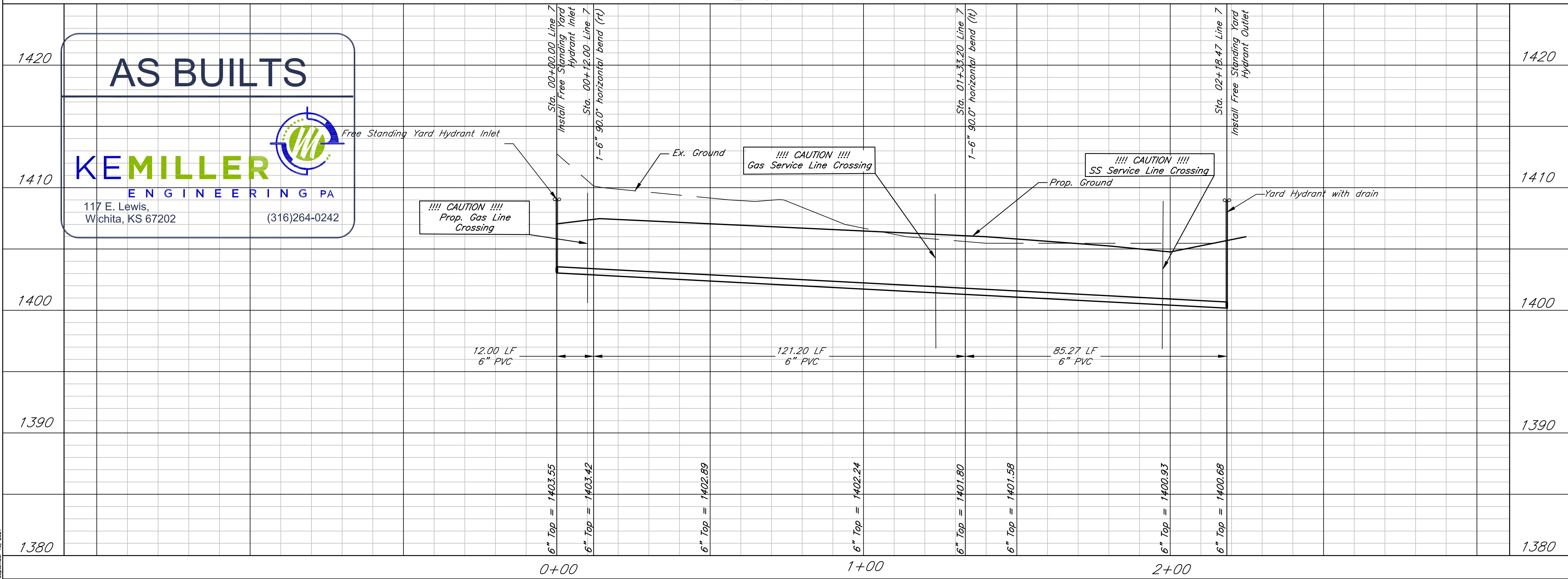
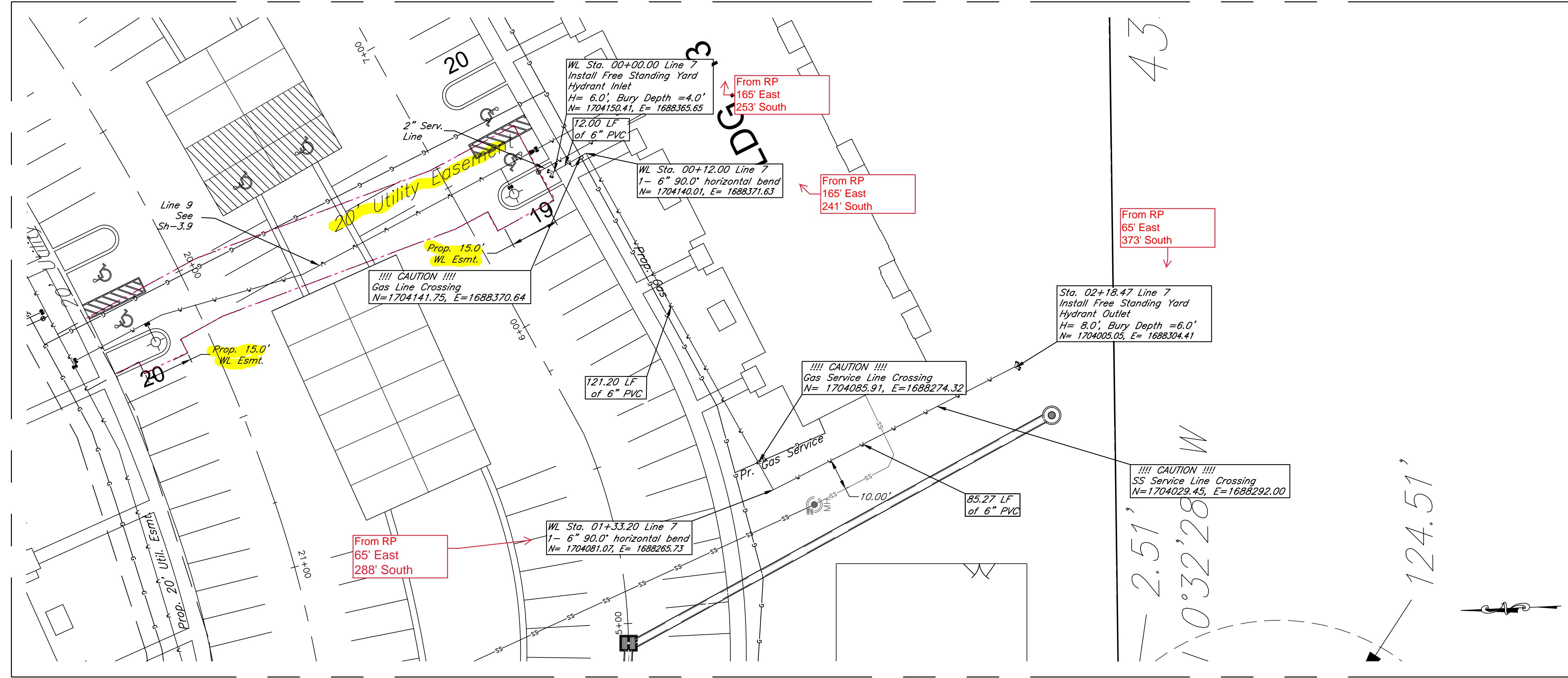
HORIZONTAL SCALE ( IN FEET )  
1 inch = 20 ft.

Stoney Point Apartments - Phase II  
Plan and Profile - Line 6  
Wichita, Kansas

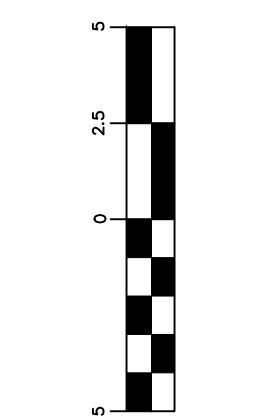
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DESIGN KM	DRAWN PG	REVISED	3.6	

September 13, 2021

Note: See 4.3 for Free Standing Hydrant Details



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VERTICAL SCALE ( IN FEET )  
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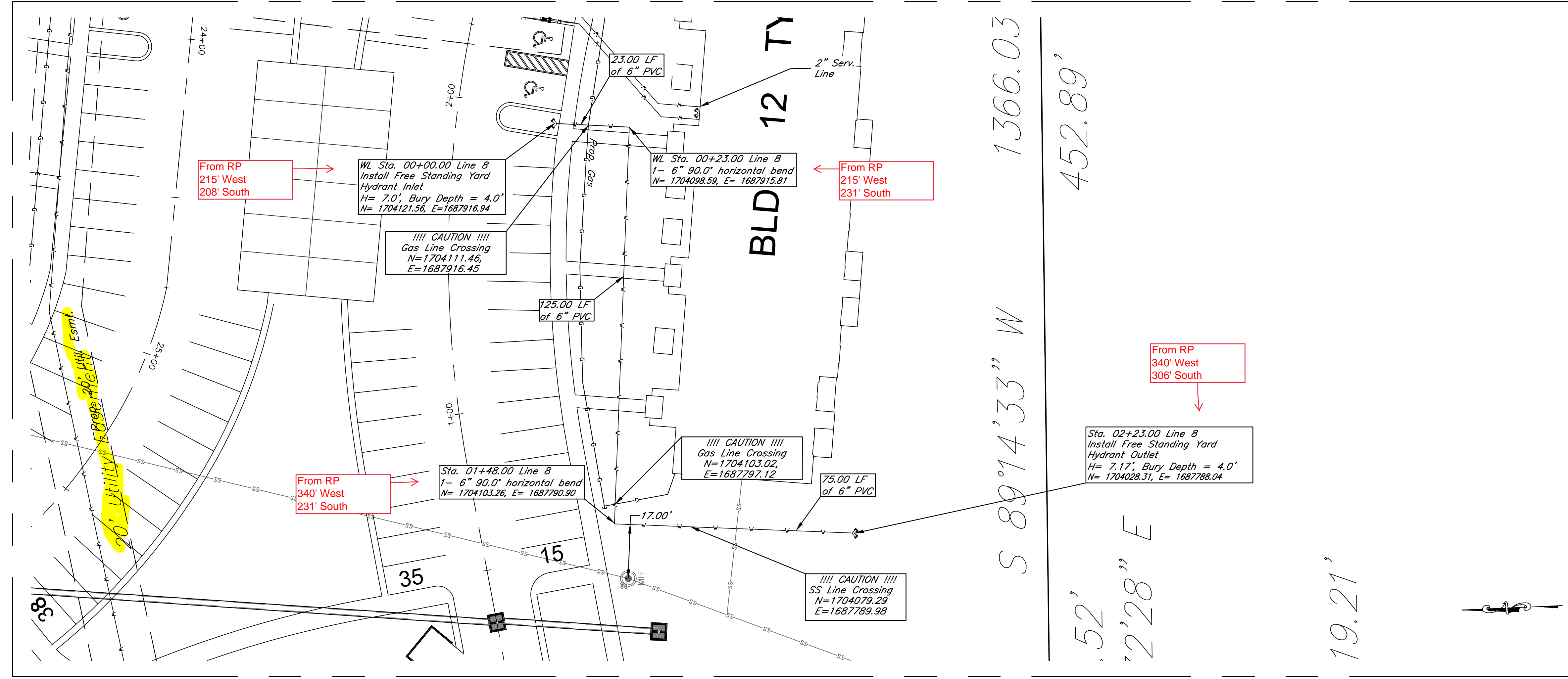
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1 inch = 20 ft.

Stoney Point Apartments - Phase II B  
Plan and Profile - Line 7  
Wichita, Kansas

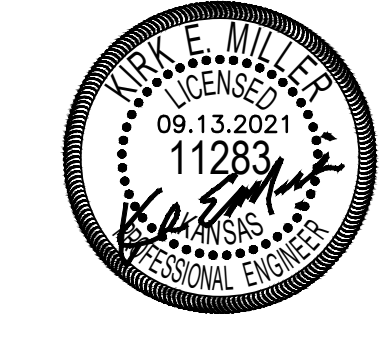
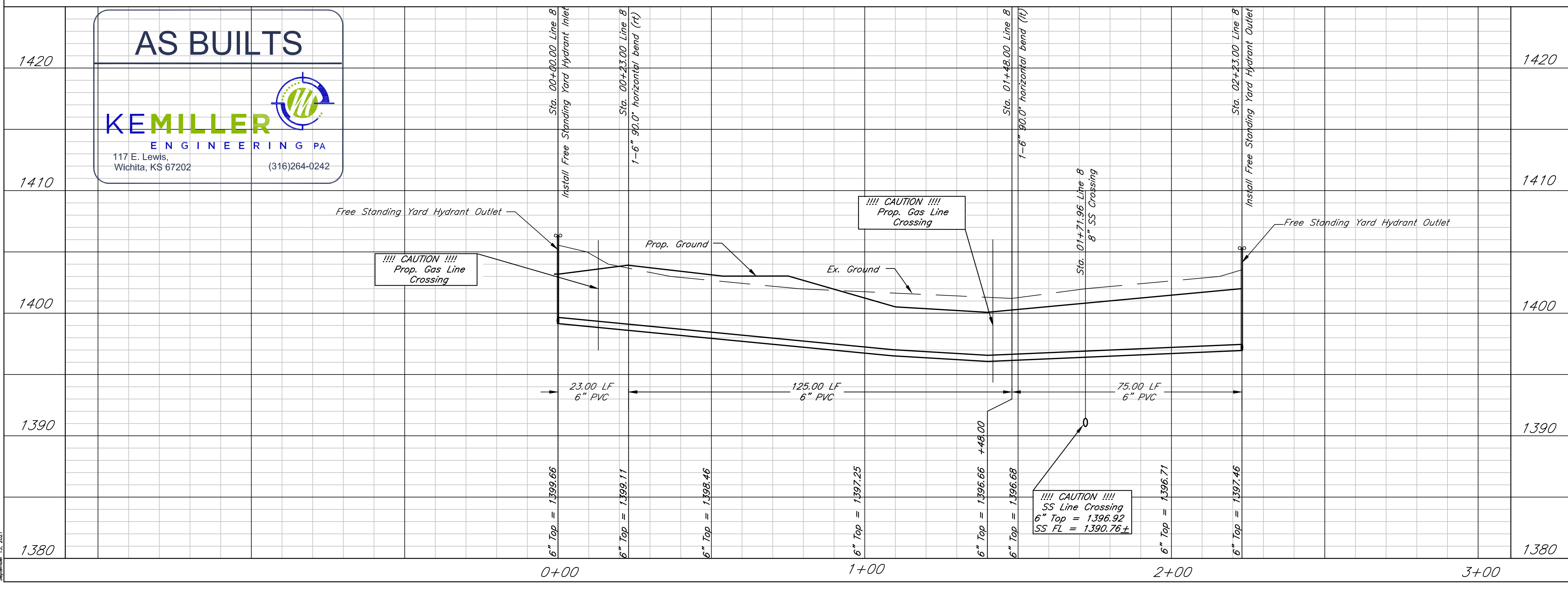
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	KEM NO. 21056	FILE	DATE 6/2021	
DESIGN KM	DRAWN PG	REVISED		

June 15, 2021

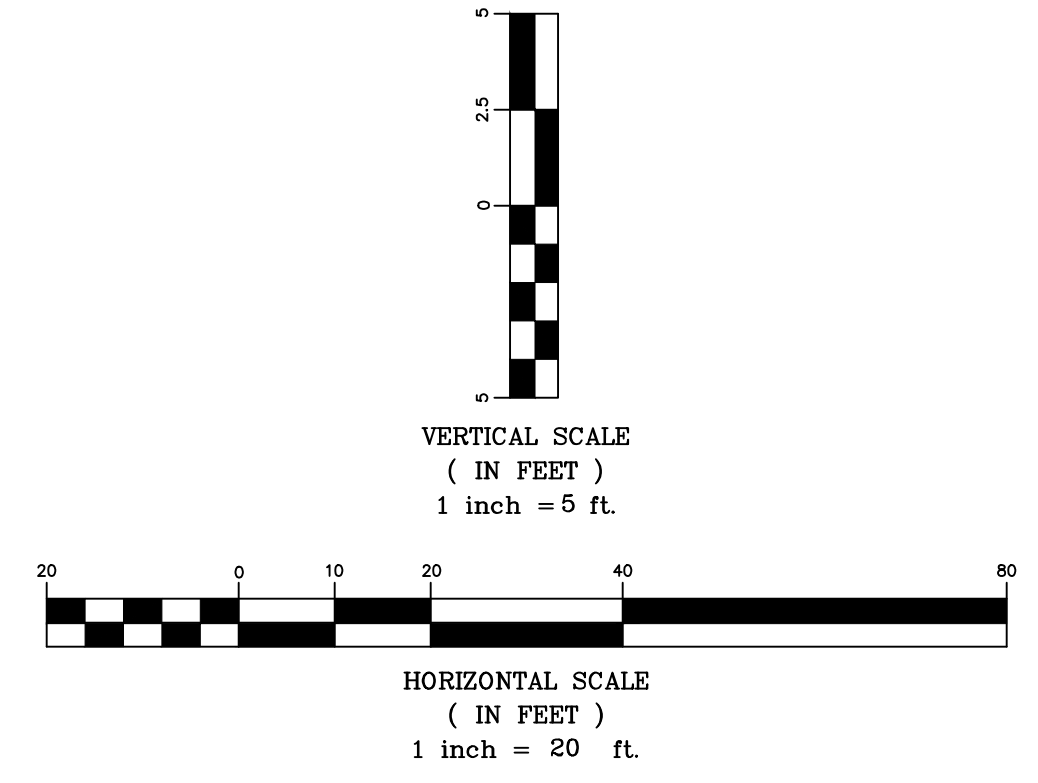
Note: See 4.3 for Free Standing Hydrant Details



Line 8



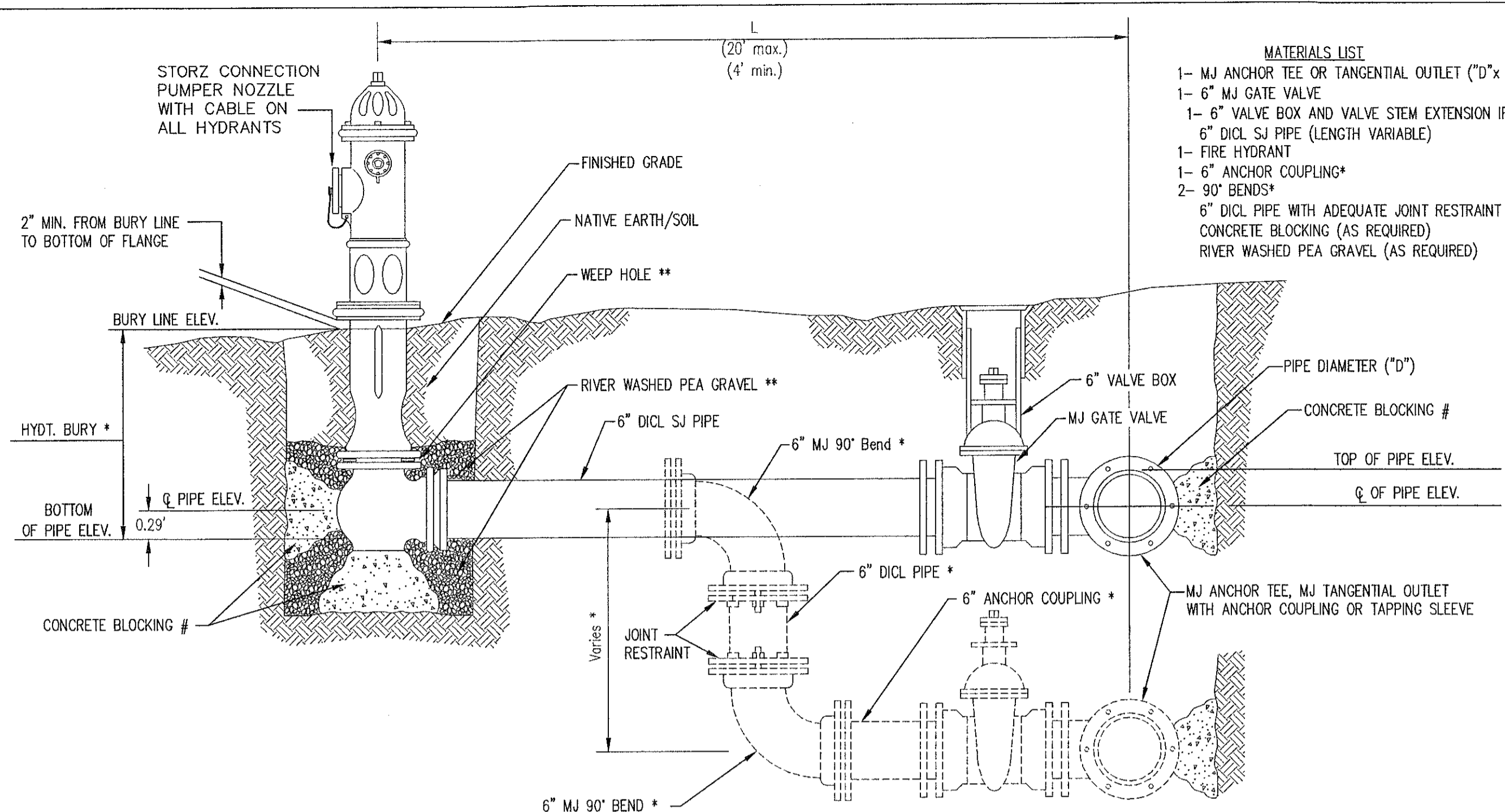
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Stoney Point Apartments - Phase II  
Plan and Profile - Line 8  
Wichita, Kansas

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	KEM NO. 21056	FILE	DATE 6/2021	
DESIGN KM	DRAWN PG	REVISED		

September 13, 2021



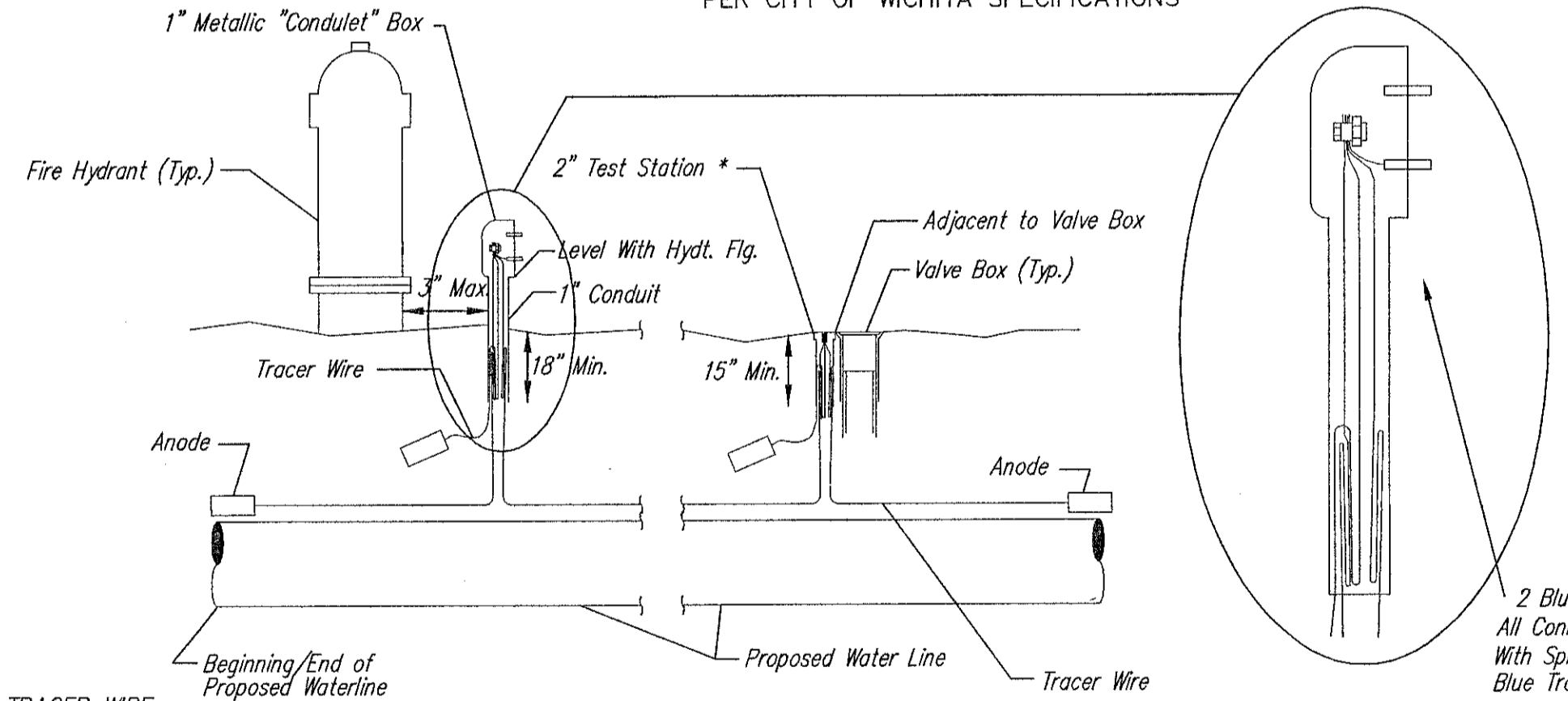
- MATERIALS LIST**
- 1- MJ ANCHOR TEE OR TANGENTIAL OUTLET ("D" x 6")
  - 1- 6" MJ GATE VALVE
  - 1- 6" VALVE BOX AND VALVE STEM EXTENSION IF REQUIRED \*
  - 6" DI CL SJ PIPE (LENGTH VARIABLE)
  - 1- FIRE HYDRANT
  - 1- 6" ANCHOR COUPLING\*
  - 2- 90° BENDS\*
  - 6" DI CL PIPE WITH ADEQUATE JOINT RESTRAINT \*
  - CONCRETE BLOCKING (AS REQUIRED)
  - RIVER WASHED PEA GRAVEL (AS REQUIRED)

\* IF THE REQUIRED HYDRANT BURY IS IN EXCESS OF 5', BUT LESS THAN 7', CONTRACTOR SHALL USE STANDARD 5' HYDRANT BURY AND HYDRANT BARREL EXTENSIONS AS NECESSARY. IF THE REQUIRED HYDRANT BURY IS GREATER THAN 7', CONTRACTOR SHALL USE 5' HYDRANT BURY, 2-MJ 90° BENDS, 6" ANCHOR COUPLING AND 6" DI CL PIPE AS NECESSARY FOR VERTICAL ADJUSTMENT. THE CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING AT HYDRANT AND MEGALUGS, OR SIMILAR RESTRAINT BETWEEN 90° BENDS TO SECURE ALL FITTINGS DURING TESTING AND OPERATION. THE CONTRACTOR SHALL PROVIDE A VALVE STEM EXTENSION PER DETAIL THIS SHEET.

\*\* CAUTION: WEEP HOLES TO BE KEPT CLEAR DURING CONSTRUCTION AND BACKFILL. CONCRETE FOR THRUST BLOCKING SHALL NOT OBSTRUCT WEEP HOLES. PLACE 1 CUBIC FOOT OF RIVER WASHED PEA GRAVEL AROUND EACH WEEP HOLE.

# CONCRETE THRUST BLOCKING SHALL BE KEPT CLEAR OF BOLTS, NUTS, AND MJ ACCESSORIES.

**FIRE HYDRANT ASSEMBLY**  
PER CITY OF WICHITA SPECIFICATIONS



**TRACER WIRE**  
Conductive type pipe locator/tracer wire shall be installed to locate all waterline pipe regardless of pipe material. The wire shall extend the entire length of the proposed pipe. The wire shall be taped to the waterline and pulled with the pipe. A waterproof connector shall be used at splice locations. Test stations shall be installed adjacent to all fire hydrants along the waterline and at blowoffs or valves near the ends of waterlines. Any exception to the location shall be approved by the engineer. At each test station, the tracer wire shall be connected to a 3 lb. Zinc or magnesium anode. Anodes shall also be attached to the tracer wire at both the beginning and the end of the proposed waterline. A typical layout of the tracer wire and test station is provided in the above figure.

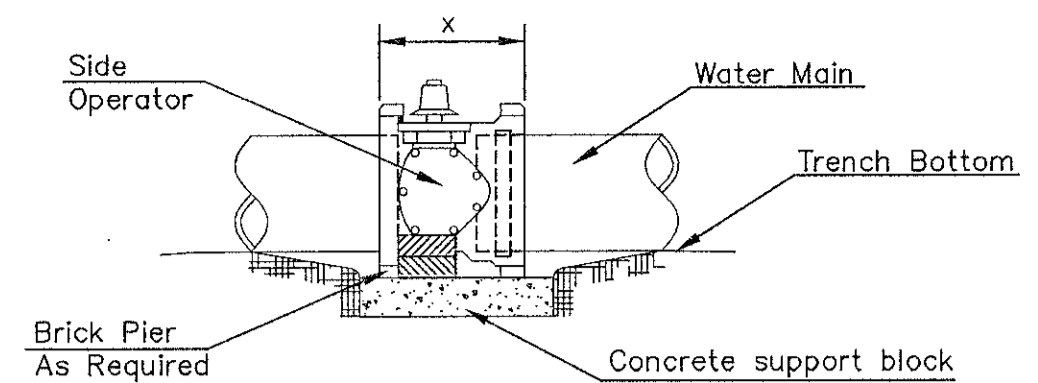
**WIRE**  
The tracer wire shall be Blue No. 12 AWG CCS with 3045 mil HDPE insulation. The insulation shall be heat, oil, and gasoline resistant as manufactured by Temple Electric or approved equal. To allow for grade adjustment, a minimum of 12" of excess wire shall be coiled at the bottom of the test station for all wires. The insulation sheathing shall be removed such that 1" bare copper wire at all points of connection. Contractor shall attach wire being installed with proposed water main to any tracer wire installed with adjacent waterline projects.

**TEST STATIONS**  
A complete list of approved Tracer Wire can be found on City of Wichita's website at [www.wichita.gov](http://www.wichita.gov). The test station for fire hydrant applications shall be a 1 inch galvanized "condulet" style test station as manufactured by AGRA Industries with a removable solid cover having two leads extending from the face or approved equal. The test station for valve applications shall be 2 inch flush style test station T2PS3B as manufactured by HANDLEY Industries or approved equal. The "conduit" style test station shall be attached to a 1 inch rigid galvanized conduit with a minimum length of 36" and plastic end bushing. The flush style shall have the word "WATER" stamped or molded into the lid. All test stations shall be manufactured using molded blue tops or sufficiently coated with blue enamel paint. The tracer wire and the anode wire shall be installed to allow 10 inches of wire within the test station. In concrete environments such as sidewalks or in the downtown area the contractor shall use the flush style test station. The location of all test stations shall be approved by the engineer, recorded, and shown in the as-built drawings.

**ANODES**  
The anodes shall be 3 lb. bare zinc or magnesium. The anodes shall be buried at the same elevation as the waterline at each test station. The anodes shall be connected to 12 AWG ccs which shall be extended to the test station.

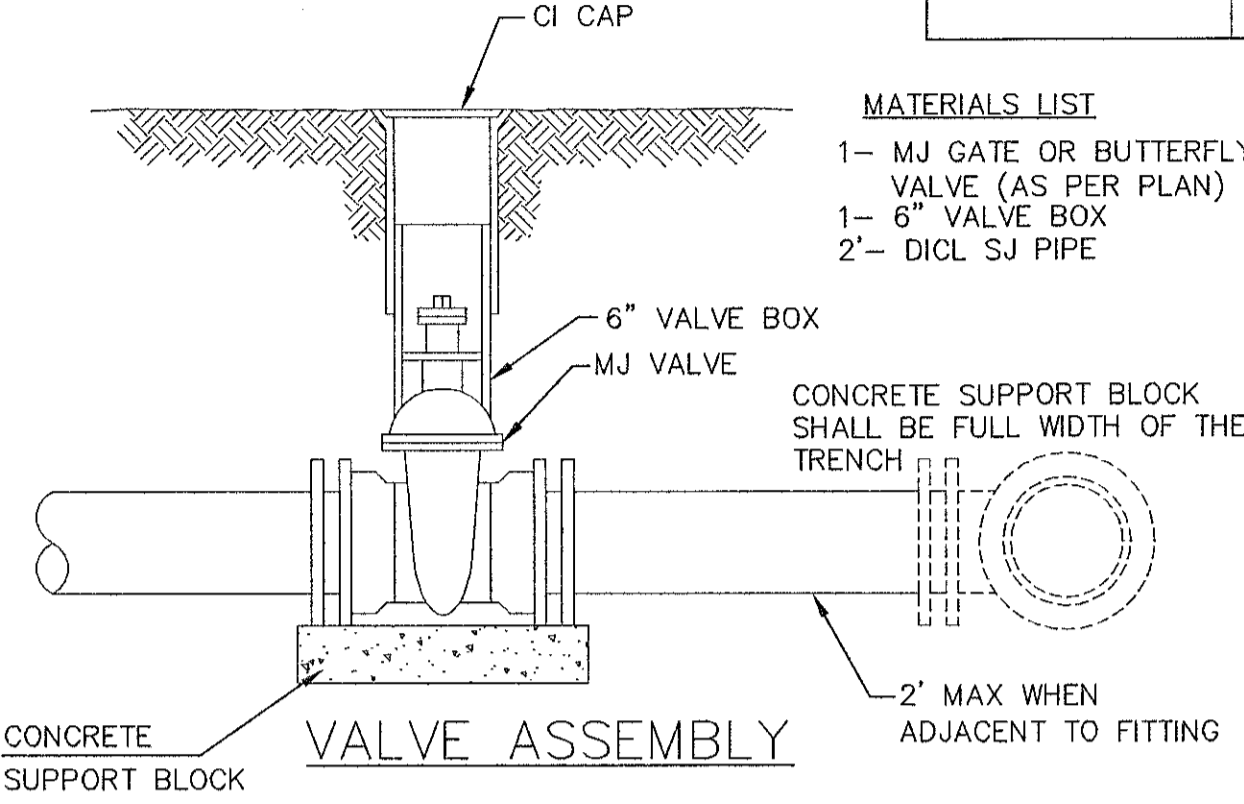
**TRACER WIRE DETAIL**  
COST IS SUBSIDIARY TO PIPE INSTALLATION

FIRE HYDRANTS REQUIRED				
STATION	BURY LINE ELEVATION	TOP OF PIPE ELEVATION	FIRE HYDRANT BURY REQUIRED*	VALVE STEM EXT. REQUIRED (ft)*
00+26.40 Line 4	1406.25	1402.37	5.0'	
01+48.68 Line 4	1406.92	1402.54	5.0'	
00+21.23 Line 5	1403.06	1398.67	4.5'	
01+45.28 Line 5	1403.08	1398.65	5.0'	

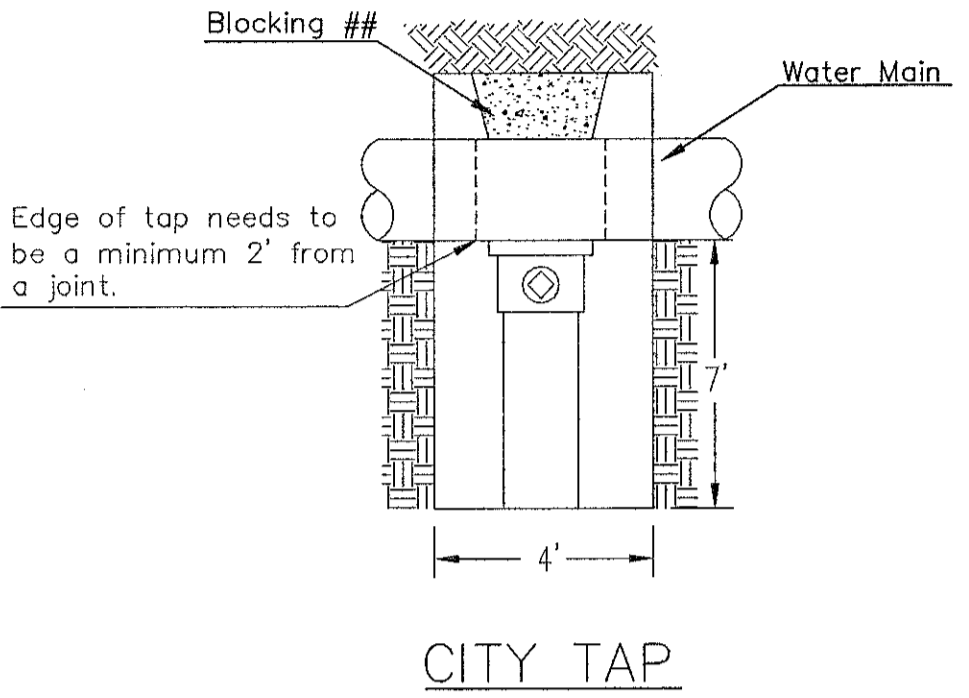


- NOTES**
- This detail covers Butterfly Valve installation, inclusive, regardless of type of pipe or joint used. 24" and larger lines to be detailed on plans.
  - 6" Valve Box and Cover required per City of Wichita Std. Specifications.
  - Conc. Support Block to be full width of trench.

**CONCRETE SUPPORT BLOCKING FOR BUTTERFLY VALVE INSTALLATION**



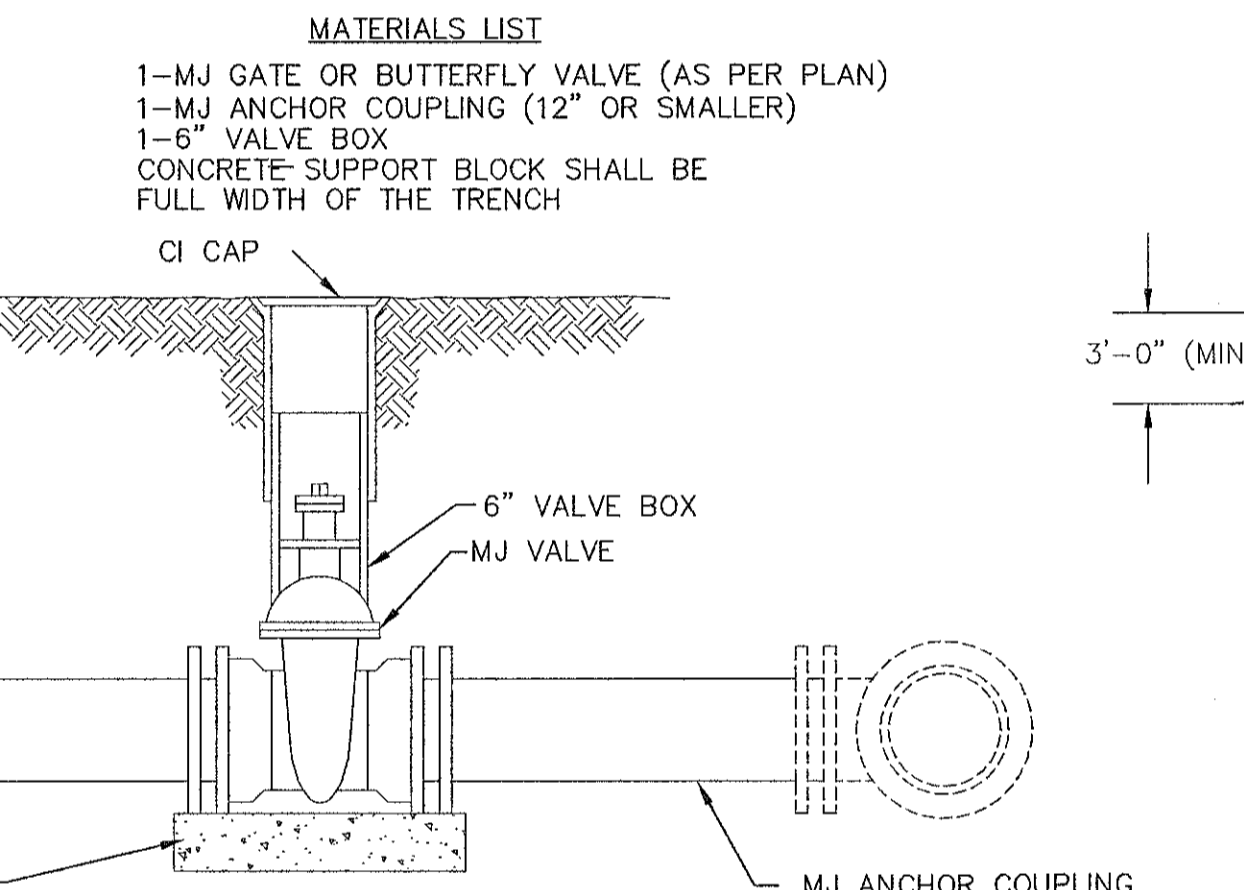
- MATERIALS LIST**
- 1- MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1- 6" VALVE BOX
  - 2"- DI CL SJ PIPE



Edge of tap needs to be a minimum 2' from a joint.

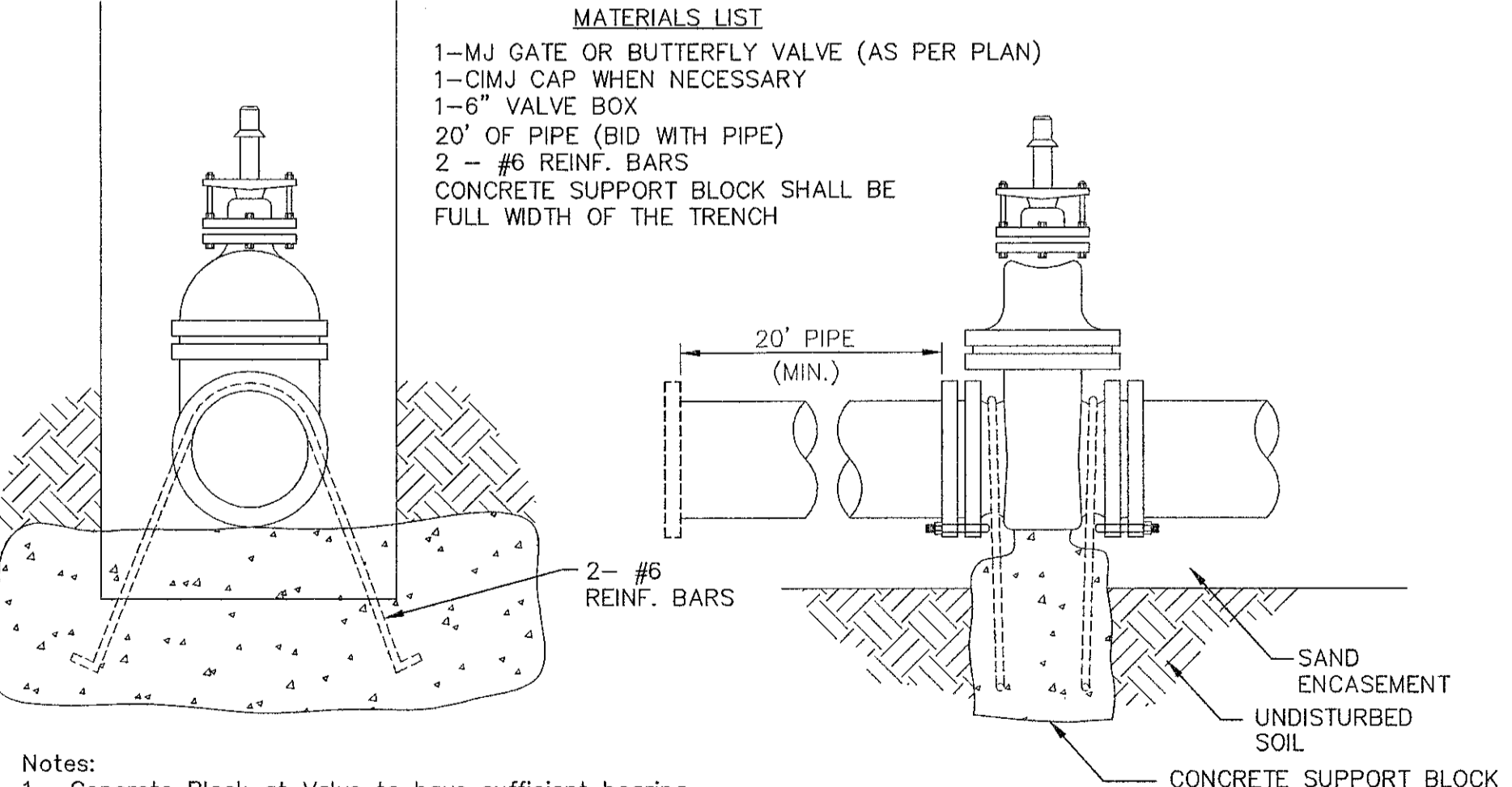
**CITY TAP**

## When the City of Wichita makes tap, blocking is to be done by Contractor



- MATERIALS LIST**
- 1- MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1- MJ ANCHOR COUPLING (12" OR SMALLER)
  - 1- 6" VALVE BOX
  - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH

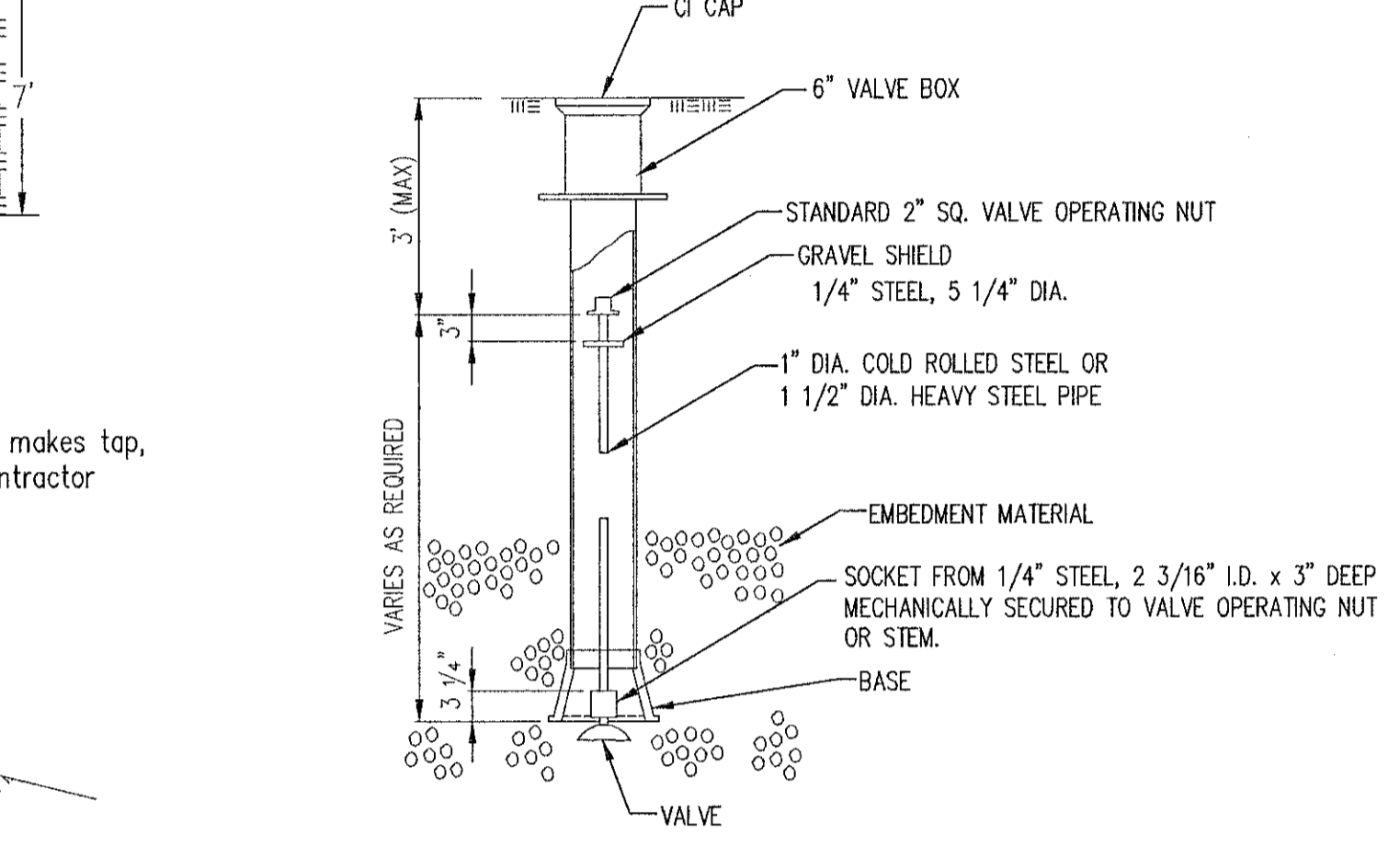
**ANCHORED VALVE ASSEMBLY, SPECIAL**



- MATERIALS LIST**
- 1- MJ GATE OR BUTTERFLY VALVE (AS PER PLAN)
  - 1- CI MJ CAP WHEN NECESSARY
  - 1- 6" VALVE BOX
  - 20' OF PIPE (BID WITH PIPE)
  - 2 - #6 REINF. BARS
  - CONCRETE SUPPORT BLOCK SHALL BE FULL WIDTH OF THE TRENCH

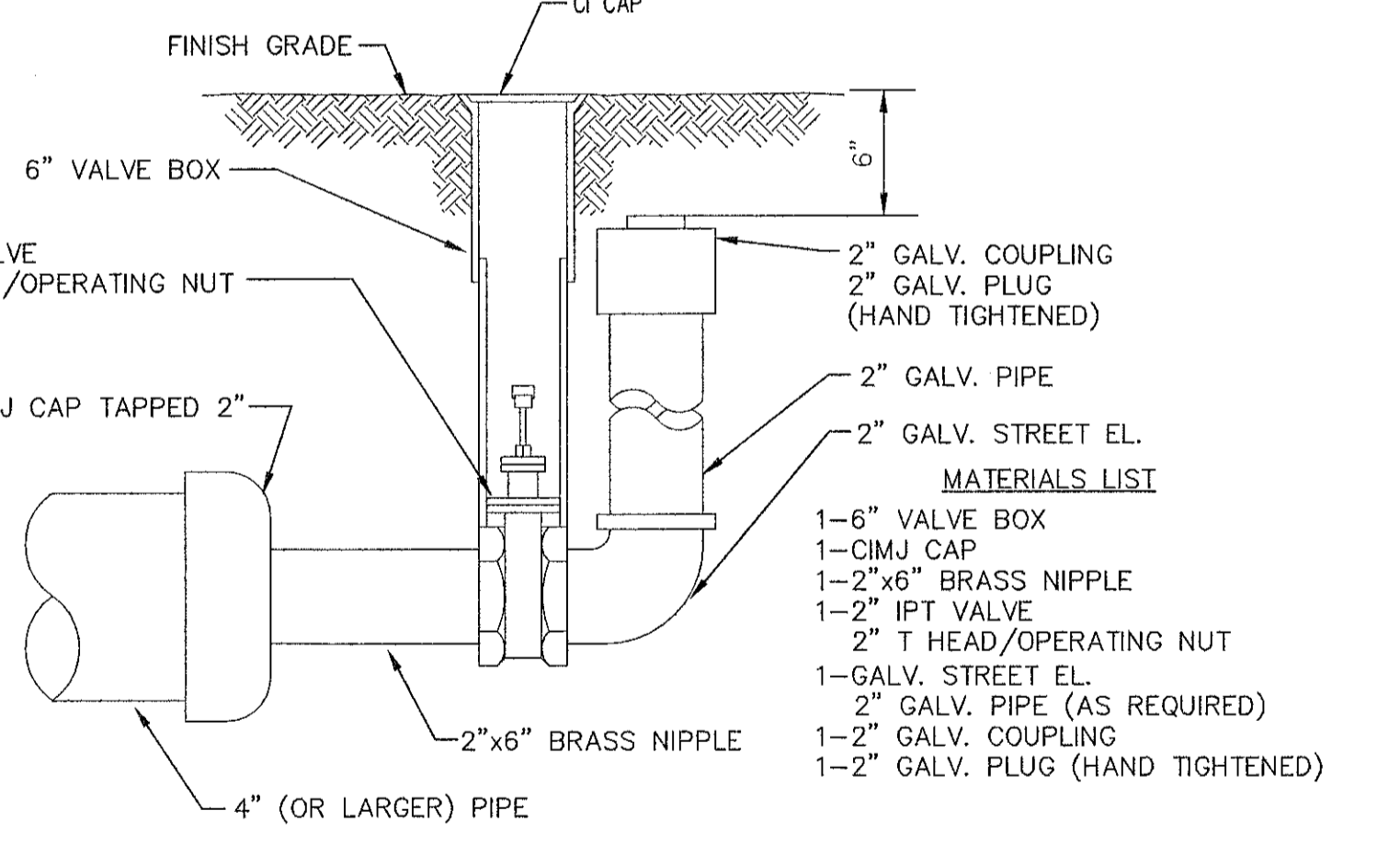
- Notes:**
- Concrete Block at Valve to have sufficient bearing in undisturbed soil to prevent thrust movement as shown in table at right. Field Engineer to determine thrust loading of undisturbed soil and final size of thrust block.
  - The thrust block shall be constructed such that bolts, nuts, and other MJ accessories are kept clear of concrete.
  - All valves at dead ends and at other locations as called out on the plans shall be blocked as shown here.

THRUST AT VALVES	
VALVE	THRUST AT 150 #/sq
4"	1809 lbs.
6"	4245 lbs.
8"	7540 lbs.
12"	16965 lbs.



**VALVE STEM EXTENSION DETAIL**

NOTE: ONE VALVE STEM EXTENSION FOR EACH VALVE BURIED GREATER THAN 5'.



**2" BLOWOFF ASSEMBLY**

**STANDARD WATER ASSEMBLY DETAIL**

CITY ENGINEER  
**GARY JANZEN, P.E.**

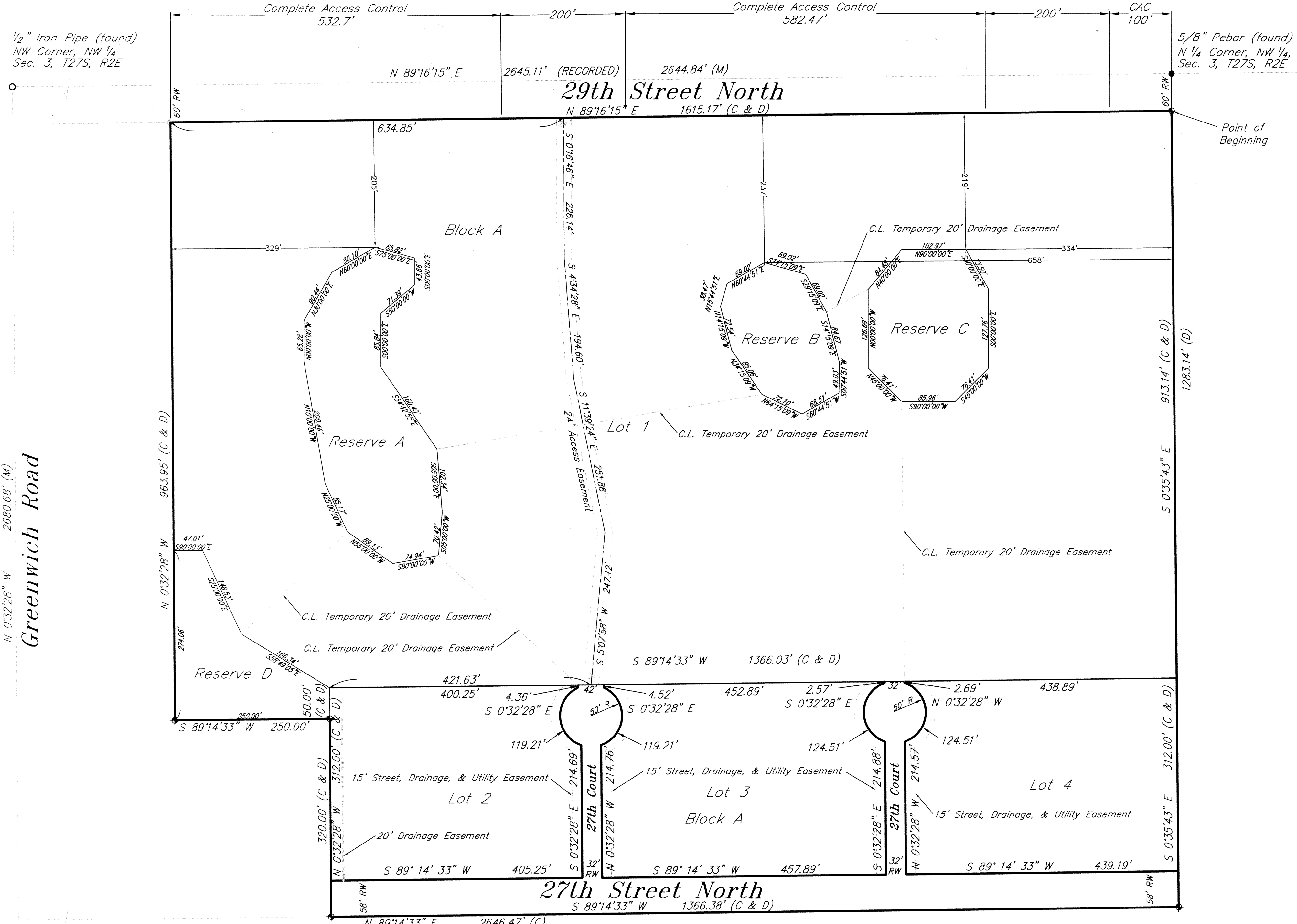
PROJECT NUMBER	OCA NUMBER	DATE
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CITY ENGINEER'S OFFICE  
CITY HALL - SEVENTH FLOOR  
455 NORTH MAIN STREET  
WICHITA, KANSAS 67202-1620  
(316) 268-4501

SHEET  
**4.0**



REVISED: JULY 2015



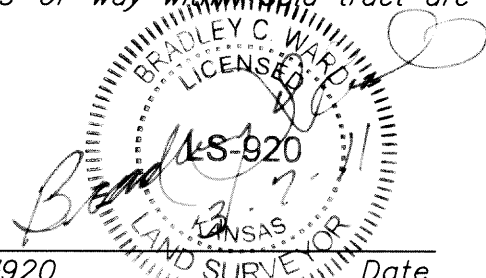
**Stoney Pointe Addition**  
**Wichita, Sedgwick County, Kansas**  
 Part of the NW 1/4, Section 3  
 Township 27 South, Range 2 East, of the 6th. P.M.

State of Kansas }  
 County of Sedgwick } SS  
 I, Bradley C. Ward, a licensed land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on the 12th day of October, 2010, and the accompanying final plat prepared and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

**LEGAL DESCRIPTION**  
 A tract of land lying within a portion of Greenwich Business Center Addition, an addition to Wichita, Sedgwick County, Kansas; said tract being described as, Lots 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 and portions of Lots 7 and 18, Block 1, TOGETHER with, Lots 1 and 2, Block 2, TOGETHER with, Lots 16 and 17, Block 3, TOGETHER with, 27th Street Court, Essex Street, 28th Street North and part of 27th Street North rights-of-way being vacated, TOGETHER with, Reserves D and E, being more particularly described as follows:

Beginning at the Northeast corner of said Lot 1, Block 2, said addition; thence along the East line of Lots 1 and 2, Block 2, and extended along the East lines of Lots 16 and 17, Block 3, along a platted bearing of S 0°35'43" E, a distance of 1283.14 feet to the Southeast corner of said Lot 17, Block 3; thence along the Southerly line of said addition, S 89°14'33" W, a distance of 1366.38 feet; thence parallel with the West line of said Lot 18, N 0°32'28" W, a distance of 320.00 feet; thence parallel with the Southerly line of said addition S 89°14'33" W, a distance of 250.00 feet, to said West line of Lot 18; thence along the West line of Lots 18, 17 and 16, Block 1 and extended to the North line of said Lot 7, N 0°32'28" W, a distance of 963.95 feet; thence along the North line of Lots 7, 8, 9 and Reserve D, Block 1 and extended along the North line of Reserve E and Lot 1, Block 2, on a platted bearing of N 89°16'15" E, a distance of 1615.17 feet the Point of Beginning.

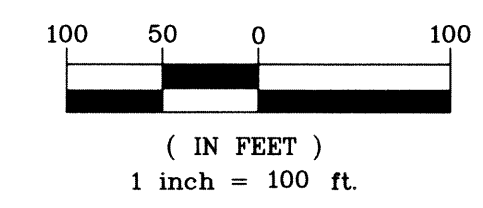
Said tract contains 45.77 acres ±.  
 All easements and rights-of-way within said tract are hereby vacated by virtue of KSA 12-512(b) amended.



Bradley C. Ward, L.S. #920  
 Not original unless signed in blue ink!

**Benchmark:**  
 Brass disc on top of curb in front of fire hydrant, Lot 1, Block 1, Regency Park Addition to Wichita, Sedgwick County, Kansas  
 Elevation=1378.96 (NGVD 29) (191.56 City of Wichita datum)

**Notes:**  
 1. This Addition is subject to conditions of Protective Overlay No. 74.  
 2. Developer shall provide and record with the appropriate governing body permanent drainage and access easements at the time of construction to allow access to the reserves through and from public and or private streets and easements.



5/8" Rebar (set) KEMPA CLS #157

Register of Deeds - Bill Meek  
 DOC #/FLM-PG: 29212158  
 Receipt #: 1779309  
 Page Recorded: 1  
 Cashier Initials: JP  
 Authorized By: [Signature]  
 Date Recorded: 4/12/2011 9:24:37 AM

1/2" Iron Pipe (found)  
 W 1/4 Corner, NW 1/4  
 Sec. 3, T27S, R2E

State of Kansas }  
 County of Sedgwick } SS

Know all men by these presents, that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots and a Block, reserves and streets to be known as Stoney Pointe Addition, Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. The streets, drainage and utility easements are hereby granted as indicated for street and drainage purposes and for the construction and maintenance of all public utilities. Temporary drainage easements are hereby granted for the conveyance of storm water and shall automatically vacate at such time as the conveyance of storm water is confined to permanent 20' drainage easements, to be accepted by the City and recorded by separate instrument with the Sedgwick County Register of Deeds. The access easement is hereby dedicated for the benefit of the adjoining properties. Reserves A, B, C, and D are dedicated for storm water detention, landscaping, irrigation and beautification. A drainage plan has been developed for the plat and all drainage easements, rights-of-way, and reserves A, B, C, and D shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water. Minimum pad elevations for Lot 1 are detailed on the master grading plan. Reserves A, B, C and D shall be owned and maintained by the owner of Lot 1, for the use as a drainage reserve and utility easement. Complete access control except for 2 openings shall be as shown on the plat. And further, that the land contained herein is held and shall be conveyed subject to any applicable restrictions, reservations and covenants now on file or hereafter filed in the Office of the Register of Deeds of Sedgwick County, Kansas.

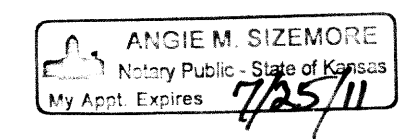
By: NORTH GREENWICH / 29TH LLC, a Kansas limited liability company

[Signature]  
 Kevin Mullen, President, Ritchie Investment Company, Inc., Manager of NORTH GREENWICH / 29TH, LLC, a Kansas limited liability company  
 3/7/2011 Date

State of Kansas }  
 County of Sedgwick } SS

This instrument was acknowledged before me on this 7th day of March 2011, by Kevin Mullen, President, Ritchie Investment Company, Inc., Manager of North Greenwich/29th LLC, a Kansas limited liability company  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day last above written.

[Signature]  
 Angie M. Sizemore  
 Notary Public  
 My Commission Expires: 7/25/11



State of Kansas }  
 County of Sedgwick } SS

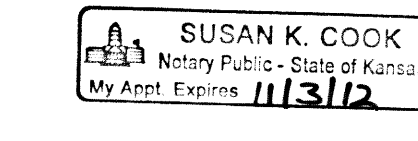
Intrust Bank, N.A. holders of a mortgage on the above described property, does hereby consent to the plat of Stoney Pointe Addition.

Intrust Bank, N.A.  
 Gary Schmitt, Executive Vice President

State of Kansas }  
 County of Sedgwick } SS

This instrument was acknowledged before me on this 7th day of March 2011, by Gary D. Schmitt, Executive Vice President of Intrust Bank, N.A.  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day last above written.

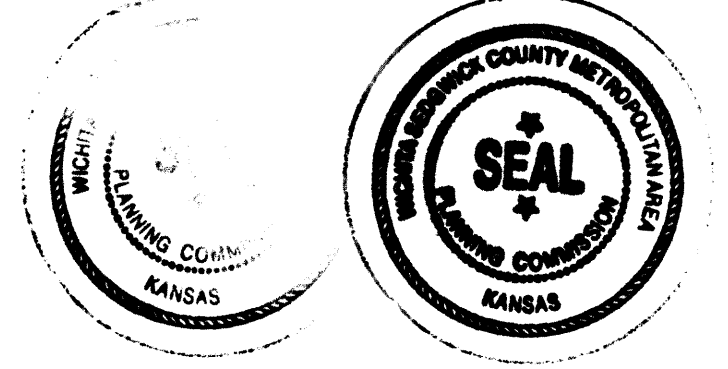
[Signature]  
 Susan K. Cook  
 Notary Public  
 My Commission Expires: 11/3/12



State of Kansas }  
 City of Wichita } SS

This plat of Stoney Pointe Addition, Wichita, Sedgwick County, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 12th day of December, 2010. Wichita-Sedgwick County Metropolitan Area Planning Commission.

[Signature]  
 Debra Miller Stevens, Chair  
 [Signature]  
 John L. Schlegel, Secretary



State of Kansas }  
 City of Wichita } SS

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 12th day of April, 2011.

At the Direction of the City Council

[Signature]  
 Karen Sublett, City Clerk

Entered on transfer record this 12 day of April, 2011.

[Signature]  
 Kelly B. Arnold, County Clerk



State of Kansas }  
 County of Sedgwick } SS

This is to certify that this plat has been filed for record in the Office of the Register of Deeds this 12th day of April, 2011, at 9:24:37 a.m. and is duly recorded.

[Signature]  
 Bill Meek, Register of Deeds  
 [Signature]  
 Tonya Buckingham, Deputy

Reviewed in accordance with K.S.A. 58-2005 on this 12th day of April, 2011.



[Signature]  
 Tricia L. Robello, L.S. #1246  
 Deputy County Surveyor  
 Sedgwick County, Kansas

Filename: 10088\Stoney Pointe Final Plat.dwg Prepared: 2-3-11

**kemiller**  
 engineering  
 516 S. Market, Wichita, KS 67202 316/264-0242