

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:

Kansas One-Call	687-2470
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The Contractor must notify the following in case of an emergency:

Cox Communications	262-4270
Kansas Gas Service	1-888-482-4950
Everg	383-8650
AT&T	268-2245
City of Wichita Water Dept.	268-4563
City of Wichita Sewer Maint.	268-4024
City of Wichita Storm Sewer Maint.	268-4090
City of Wichita Traffic Maint.	268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor ONLY with the Developer or Baughman Company approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed Land Surveyor in accordance with state laws.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the Contractor and until project is accepted by the City of Wichita. The on-site Engineer shall complete weekly reports on the status of erosion control measures. The Contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site Engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMP's."
- All excess excavation shall remain on-site and shall be stockpiled West of the North Pond.
- All of Res. "A" above the water surface disturbed by construction shall be seeded and mulched as follows:

SEED -- Kansas Premium Fescue Blend; 8#/1000 Sq. Ft.
Rye grass (PLS); 3#/1000 Sq. Ft. and
FERTILIZER -- 12-24-12 Ratio at 45 Lbs./Ac.
MULCH -- 2 Tons Prairie Hay / Acre - where E.C. Mat not specified.

All other disturbed areas not in street R/W are to be seeded as follows:
SEED -- Rye grass (PLS)--5#/1000 Sq. Ft.

All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".

An additional bid item for "Seeding, Temporary" has been included and may be used at the discretion of the Design Engineer. Temporary seed shall be Annual Rye at of 5 Lbs./1000 Sq. Ft. unless otherwise noted and shall be planted when permanent seed or sod cannot be used due to seasonal limitations.
- The Developer for this project is Travis Whisler.
Address: 8918 W 21st Street Suite 200 #201,
Wichita, KS 67205
PH# (316) 371-4499
Email: twcustomhomes@gmail.com

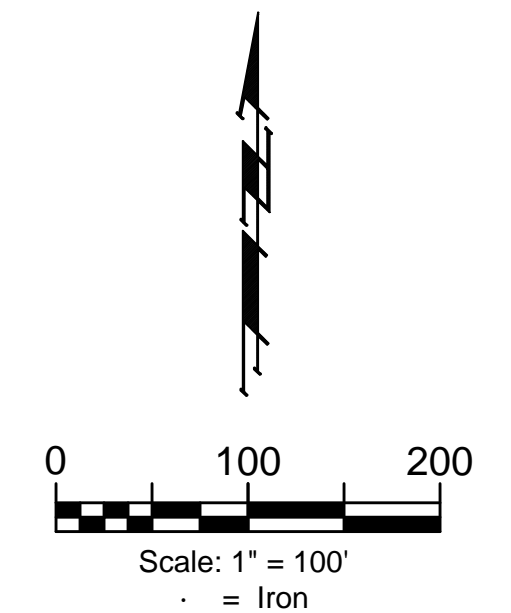
STORMWATER DRAIN #511 IMPROVEMENTS

to serve

SKYWAY WEST 6TH ADDITION

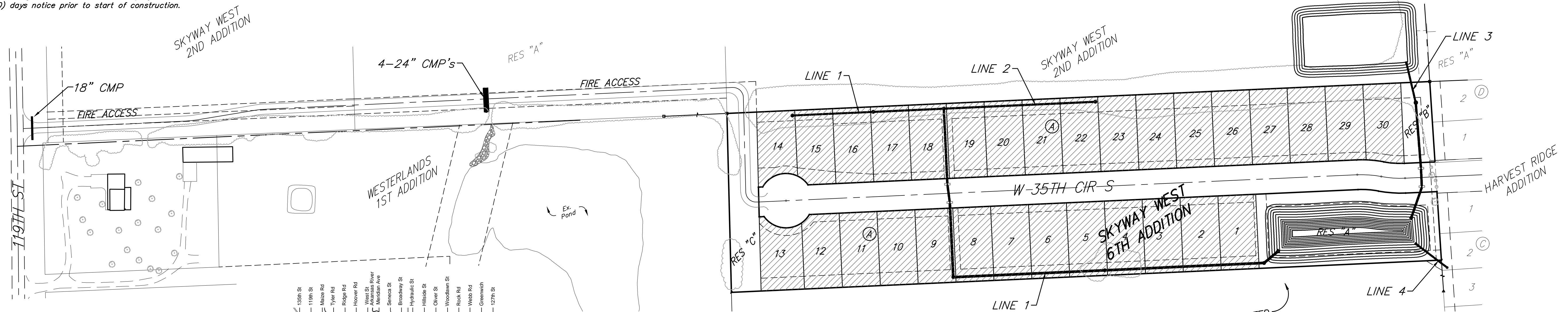
CITY OF WICHITA, KANSAS

Paul Gunzelman, P.E. City Engineer
Project Number: 458-2023-085537
Org Code Number: 47312123
Munis Number: E3100



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Stormwater Certification:
(New Development) or Redevelopment

Stormwater Permit # _____

NOI Permit # S-AR94-1836
KSR121418

These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Site Area (Acres) = 11.0 ac.

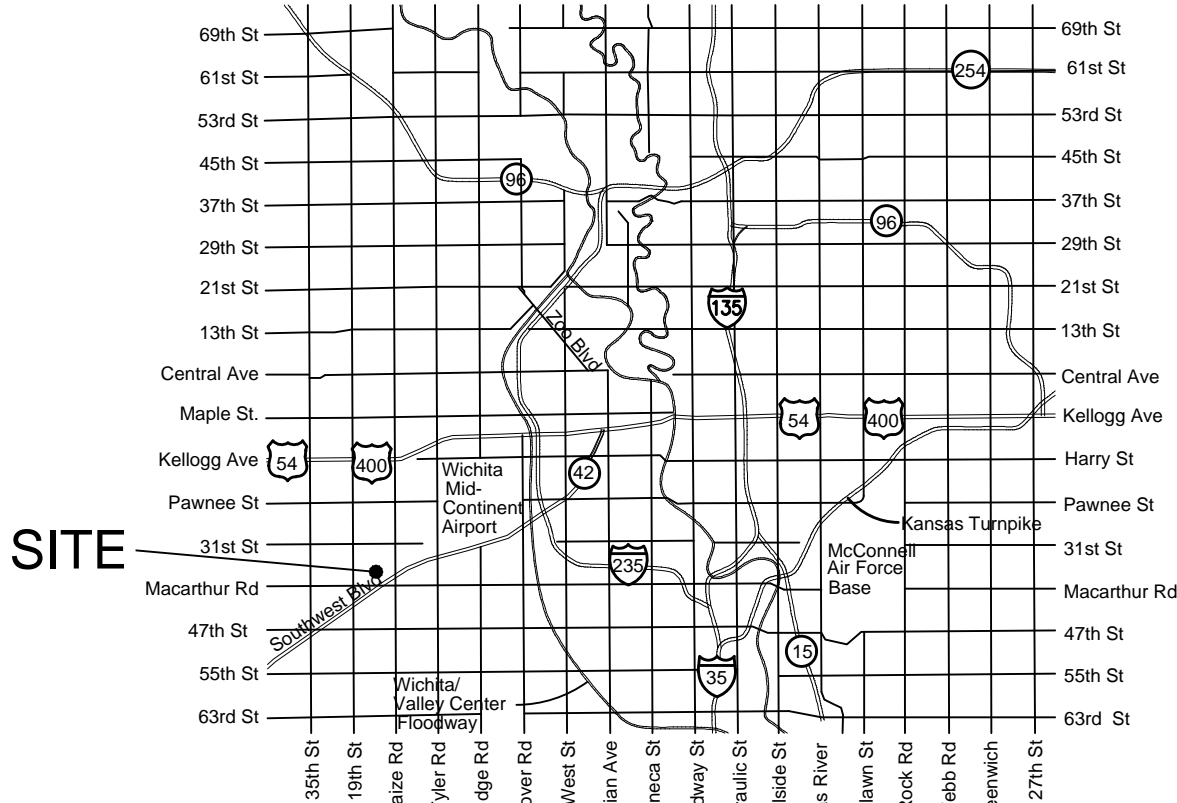
Disturbed Area (Acres) = 13.0 ac.

Water Quality Treatment: Wet Ponds

Downstream Channel Protection: Wet Ponds

Detention: Wet Ponds

The BMP used for this development is Wet Ponds



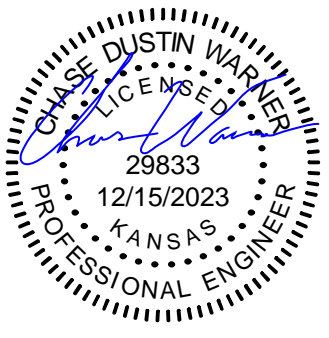
BENCHMARKS

BENCHMARK #1:
CROSS CUT IN SQUARE CUT, TOP OF CURB AT WEST END OF CURB RETURN, NORTHWEST CORNER OF SHEFFORD AND W 35TH ST S, 14.5' SOUTH & 5.0' WEST OF THE SOUTHWEST CORNER OF LOT 1, BLOCK D, HARVEST RIDGE ADDITION. ELEV. = 1336.39 (NAVD88)

BENCHMARK #2:
CROSS CUT IN SQUARE CUT ON TOP FRONT CENTER OF CATCH BASIN, WEST SIDE OF HOLLYWOOD, 4.6' NORTH & 12.8' EAST OF SOUTHWEST CORNER OF LOT 2, BLOCK C, HARVEST RIDGE ADDITION. ELEVATION = 1335.39 (NAVD88)

VICINITY MAP

BENEFIT DISTRICT



December 15, 2023

BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com

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