

CONCRETE FLUME REMOVAL TO BE COORDINATED WITH CITY OF WICHITA AND ADJACENT PROPERTY OWNER. CONTRACTOR TO KEEP AND ENSURE POSITIVE DRAINAGE TO CITY GUTTER.

FENCE REMOVAL TO BE COORDINATED WITH THE CITY OF WICHITA AND ADJACENT PROPERTY OWNER.

LOT 1  
QUIK TRIP 1ST ADDITION

MOBILE MANOR SOUTH 2ND ADDITION

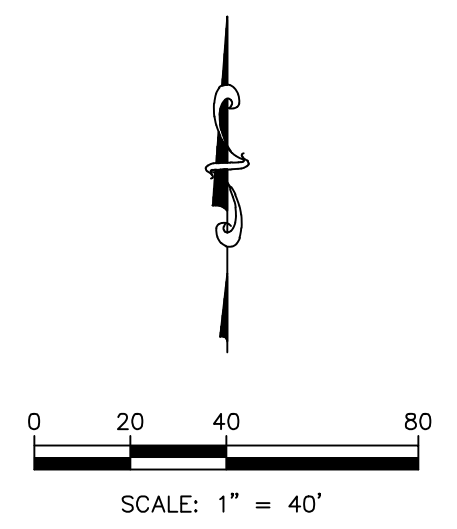
NE COR. OF TRACT A (PS)  
1/2" REBAR W/KVE  
CLS-20 CAP

LOT 2  
MOBILE MANOR SOUTH 2ND ADDITION

SOUTH LINE OF LOT 1,  
MOBILE MANOR SOUTH 2ND ADDITION

LOT 1  
LOT 2

1/2" REBAR W/  
MKEC CAP



- GRADING NOTES:**
1. THE CONSTRUCTION AREA SHALL BE CLEARED, CRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES.
  2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
  3. OFF-SITE FILL MATERIAL SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN FOUR INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO BRINGING ON SITE.
  4. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
  5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
  6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
  8. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED.
  9. ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED BY RIP RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS, THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
  10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL RYE GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
  11. CONTRACTOR SHALL USE SILT FENCE, OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
  12. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
  13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
  14. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
  15. THE SITEMARK FOR THIS PROJECT SHALL MEET OR EXCEED SITEMARK SPECIFICATIONS.

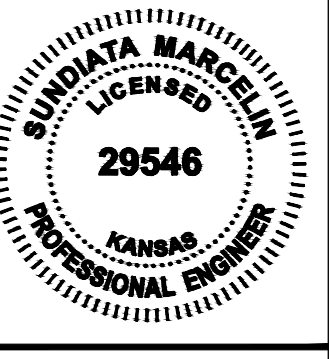
EARTHWORKS		
ITEM	CUBIC YARDS	NOTES
CUT	407	0% SHRINKAGE ASSUMED
FILL	9,535	10% SHRINKAGE ASSUMED
NET	9,128	APPROX. 9,128 CY IMPORT REQUIRED - FILL COMPACTED TO 95% DENSITY (ASSUME 10% SHRINKAGE)

**LEGEND (PROPOSED)**  
 1282.78 SPOT ELEVATION  
 LO=1282.8 LOWEST OPENING ELEVATION  
 FLOW DIRECTION

THIS PLAN SHEET IS PART OF AN OVERALL KAW VALLEY ENGINEERING PLAN SET FOR THE SPECIFIC IMPROVEMENTS CONTEMPLATED THEREIN. AS SUCH, THE INFORMATION CONTAINED MAY BE LIMITED AND SHOULD ONLY BE INTERPRETED WITHIN THE CONTEXT OF THE COMPLETE PLAN SET.

SMM	SMM	SMM	SMM
CS	TDA	DSN	CHK

REV	DATE	DESCRIPTION
B	04/16/24	RFI & CITY COMMENTS
0	03/01/24	BIDDING



SUNDIATA MARCELIN  
ENGINEER  
KS # 29546

**KAW VALLEY ENGINEERING**  
 KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/24

**MAC MERIDIAN ADDITION**  
**WEST MACARTHUR ROAD**  
**WICHITA, KANSAS 67217**  
**STORM SEWER IMPROVEMENTS**  
**FOUR CORNER GRADING PLAN**

PROJ. NO.	G21D1997
DESIGNER	SMM
DRAWN BY	TDA
CFN	1997D_GP
SHEET	REV
08	1